



City of
ALACHUA

THE GOOD LIFE COMMUNITY

FOR PLANNING USE ONLY

Case #: _____
Application Fee: \$ _____
Filing Date: _____
Acceptance Date: _____
Review Type: P&Z

Certificate of Appropriateness Application

Reference City of Alachua Land Development Regulations 2.4.6

You must have all information for your application to be considered complete. Incomplete applications will not be accepted.

A. PROJECT TYPE

- ☐ Demolition ☐ Removal
☐ New Construction ☐ Addition
☒ Alteration of Exterior Features

B. APPLICANT

1. Applicant's Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s) or Contact Person(s): Derek Hickman Title: Operations Manager
Company (if applicable): Hickman Metal Roofing
Physical address: 3499 NW 97th Blvd. Suite #5
Mailing Address: Same
City: Gainesville State: Florida ZIP: 32606
3. If the applicant is agent for the property owner*:
Name of Owner (title holder): Rudy Rothseiden
Mailing Address: PO Box 991
City: Alachua State: Florida ZIP: 32616
Telephone: (386) 462-2446 FAX: (352) 318-3844 e-mail: rudy.rothseiden@gmail.com
Cell

C. PROPERTY AFFECTED

1. Address of Subject Property: 14804 NW 140th Street Alachua, FL 32615
2. Parcel ID Number(s): 03655-000-000
3. Existing Use of Property: Office 1 Story
4. Future Land Use Map Designation: Professional Bldg.
5. Zoning Designation: CBD
6. Acreage: 0.74
7. Number of Existing Structures on the Property: 2

D. ATTACHMENTS

1. A detailed drawing which identifies the dimensions of the property, location of existing building(s) and those proposed (if applicable), distances of buildings from property lines, building setback lines (dimensioned), and names of adjacent streets. A current survey or site plan may be submitted to meet this requirement, if all requested information is provided.
2. Set of plans and specifications for the project. All drawings must be clear, concise, and drawn to scale. Plans must include and dimension all exterior elevations and provide a dimensioned floor plan illustrating all rooms within any proposed addition (if applicable).
3. Photographs of existing building(s) (all facades or elevations of building(s) and adjacent buildings). Photographs must clearly illustrate the appearance and conditions of existing building(s) affected by the project, close-up pictures of any specific elements under consideration by the project (for

example, windows or doors if proposed to be removed and/or replaced), as well as photographs depicting such elements and their relation with neighboring buildings.

4. If demolition is proposed, a report from a registered structural engineer stating the condition of the structure.
5. The applicant must provide a report which addresses the following:

(1) *Affect Exterior Appearance*

Whether the proposed action will affect the exterior appearance of the subject land or structure or the appearance of any interior portion specifically identified in any relevant designation ordinance.

(2) *Affect Consistent with Historical, Architectural, or Other Relevant Qualities*

Whether any such affect is consistent with the historical, architectural, or other qualities which the relevant designation ordinance seeks to protect and enforce.

(3) *Negative or Positive Impact on Neighboring Lands of Historical Significance*

Whether the proposed action will have a negative or positive impact on neighboring lands that have historic significance.

(4) *Effect of Denial*

Whether the denial of a Certificate of Appropriateness would deprive the owner of reasonable beneficial use of their land.

(5) *Demolition*

In cases where a Certificate of Appropriateness is proposed for demolition of all or a portion of a Historic Property, the applicant shall demonstrate:

- (a) That no other feasible alternative can be found;
 - (b) The extent to which the land may not be beneficially used without approval of the demolition;
 - (c) The ability to obtain a reasonable return from the existing structure(s); and
 - (d) Whether or not the building, structure, or land contributes to a Historic Overlay (HO) District, or no longer has historical significance.
6. Proof of ownership.
 7. Proof of payment of taxes.
 8. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any necessary technical review will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any legislative and/or quasi-judicial action of any kind on the petition, appeal, or development application.

All attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that:

1. I /We must comply with the current Florida Building Code through the Building Department and obtain any necessary permits prior to receiving a final certificate of occupancy.
2. I/We must comply with the requirements of the Alachua County Fire Marshall.
3. I /We must obtain a Local Business Tax Receipt.
4. I/We must meet parking standards and any use specific standards for the zoning district
5. Falsifying information on this application may result in the Certificate of Appropriateness being revoked.



Signature of Applicant

Derek Hickman - Operations Manager

Typed or printed name and title of applicant

1/6/2016

Date

Signature of Co-applicant

Typed or printed name of co-applicant

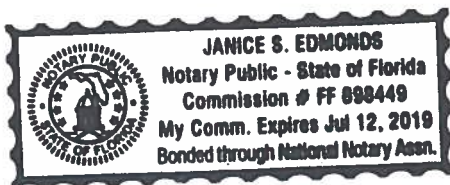
Date


State of Florida County of Alachua

The foregoing application is acknowledged before me this 6 day of January, 2016 by Derek

Hickman, who is/are personally known to me, or who has/have produced _____
as identification.

NOTARY SEAL




Signature of Notary Public, State of Florida



Authorized Agent Affidavit

A. PROPERTY INFORMATION

Address of Subject Property: 14804 NW 140th Street Alachua, FL 32615

Parcel ID Number(s): 03655-000-000

Acreage: 0.74

B. PERSON PROVIDING AGENT AUTHORIZATION

Name: Rudy Rothseiden

Title: Owner

Company (if applicable):

Mailing Address: PO Box 991

City: Alachua

State: Florida

ZIP: 32616

Telephone: (386) 462-2446

FAX:

e-mail: rudy.rothseiden@gmail.com

C. AUTHORIZED AGENT

Name: Derek Hickman

Title: Operations Manager

Company (if applicable): Hickman Construction, INC D/B/A Hickman Metal Roofing

Mailing address: 3499 NW 97th Blvd. Ste. #5

City: Gainesville

State: Florida

ZIP: 32606

Telephone: (352) 377-2101

FAX: (352) 377-4656

e-mail: derekhickman@hotmail.com

D. REQUESTED ACTION:

Install New Metal Roof and change paint color of exterior walls

I hereby certify that I am the property owner of record, or I have received authorization from the property owner of record to file an application for a development permit related to the property identified above. I authorize the agent listed above to act on my behalf for purposes of this application.

Signature of Applicant

Signature of Co-applicant

Typed or printed name and title of applicant

Typed or printed name of co-applicant

State of Florida

County of Alachua

The foregoing application is acknowledged before me this 13th day of January, 2016 by Rudy

Rothseiden, who is/are personally known to me, or who has/have produced as identification.



JAMES R. WHEELER
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE837343
Expires 12/3/2016

Signature of Notary Public, State of Florida

City of Alachua ♦ Planning and Community Development Department
PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121
Revised 9/30/2014

D.1) See attached property Survey

D.2) See attached Roof Plan for the affected structure

D.3) See attached photographs of existing structure and surrounding properties. Also included is a digital rendering of the structure with the proposed roof type and some previous projects completed with the same material. Also included is material specifications and information.

5.1) Affect Exterior Appearance

Proposed Changes on this application will affect the appearance of the roof and exterior color. The change will be to remove existing shingle roof and replace with an unpainted/ Galvalume standing seam metal roof. Wall paint will change from white to a medium green color. Trim colors will remain white.

5.2) Affect Consistent with Historical, Architectural, or Other Relevant Qualities

This structure was built in 1925. At that time the only commercially available roofing types were metal, tile, asbestos shingles, and organic shingles. Composite fiberglass asphalt shingle roofing which is currently in place became commercially available in the 1980's. Metal Roofing has been used since the 1500's and the corrugated metal roofing available since 1840 and widely used since early 1900's in the US. Concerning the paint color, there is no historical significance to the color, existing or proposed.

5.3) Negative or Positive Impact on Neighboring Lands of Historical Significance

The change to a metal roof will have only positive impacts to the surrounding structures. It will provide a historically accurate presentation as well as raise property values. Surrounding properties already have similar roofing types, and this roof will not be out of place or unique for the area. Concerning the paint color, a positive impact will come of it, removing old loose peeling paint, and giving the property a fresh coat of paint over the original siding.

5.4) Effect of Denial

Denial of this COA would prevent the owner from being able to install and energy efficient, long lasting roof on their home while preserving the historical accuracy. Alternative roofing types such as composite shingles which are currently in place are energy inefficient and have an expected lifespan of 15 – 20 years instead of the 50 – 100 year lifespan of metal. The paint color change denial would only have effect on exterior appearance and not the actual function of the property.

5) Demolition

Not Applicable

6) Proof of Ownership

See attached property appraisers information showing Rudy Rothseiden as owner.

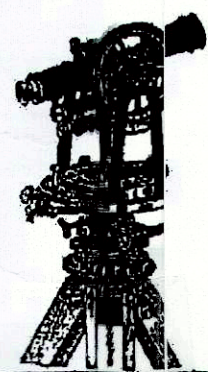
7) Proof of Payment of Taxes

See attached Alachua County Tax Collectors report showing current and previous tax payments received for this property.

8) Fee

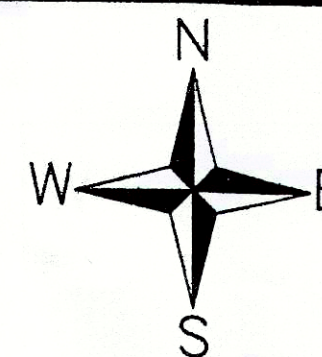
Per the fee schedule the fee for this COA is \$350, see attached check #26719

	DATE	REVISION	F.B. - PGS.	W.O. #
1				
2				
3				
4				
5				

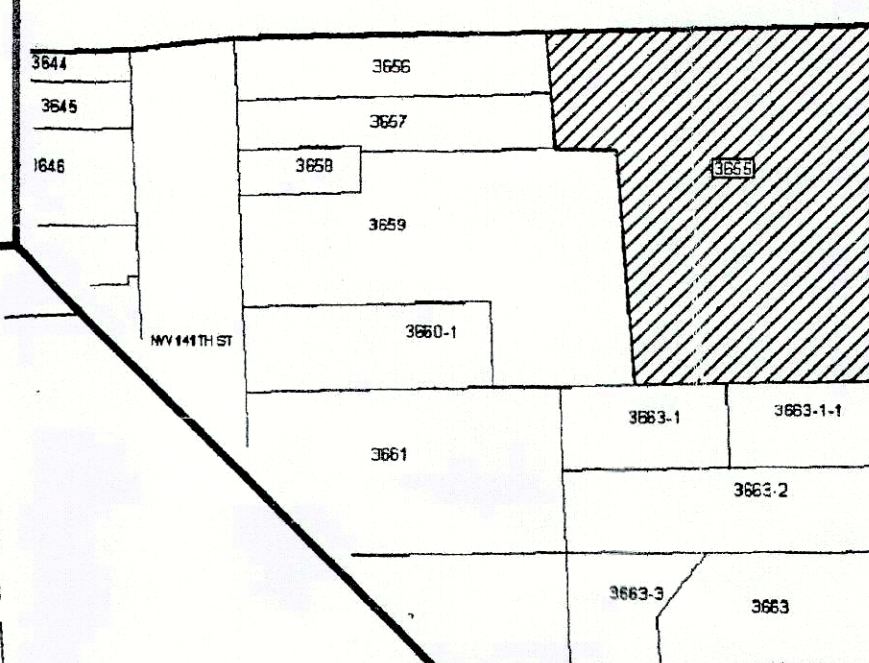


LEGAL DESCRIPTION:

LOT 1, BLOCK 6 OF OLMSTEAD SURVEY OF ALACHUA AS PER PLAT THEREOF, AS RECORDED IN PLAT BOOK "C", PAGE NO. 79B OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. LESS THE WEST 40' OF THE SOUTH 141' THEREOF PER O.R. BOOK 921, PAGE 344 OF SAID PUBLIC RECORDS.



BOUNDARY SURVEY



LOCATION MAP
n.t.s.

ABBREVIATIONS:

A/C = AIR CONDITIONER
ASPH. = ASPHALT
B/C = BACK OF CURB
B.L. = BASELINE
B.S.L. = BUILDING SETBACK LINE
C.A.T.V. = CABLE ANTENNAED TELEVISION
C.B.(S.) = CONCRETE BLOCK (& STUCCO)
C.L. = CENTERLINE
C.O. = CLEANOUT
C.O.(S) = COLUMN(S)
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
D.E. = DRAINAGE EASEMENT
ELEC. = ELECTRIC
ELEV. = ELEVATION
ESMT = EASEMENT
E/P = EDGE OF PAVEMENT
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION
F.F. = FINISH FLOOR
HYDT. = FIRE HYDRANT
ID = IDENTIFICATION
(L) = FURNISHED LEGAL DESCRIPTION DATA
L.B. = LICENSED BUSINESS
(M) = FIELD MEASURED DATA
M.H. = MANHOLE
OE = OVERHEAD ELECTRIC
O.R.(B.) = OFFICIAL RECORDS (BOOK)
OU = OVERHEAD UTILITIES
(P) = RECORD PLAT DATA
P.C. = POINT OF CURVATURE
P.I. = POINT OF INTERSECTION
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.R.M. = PERMANENT REFERENCE MONUMENT
P.O.B. = POINT OF BEGINNING
P.O.R. = POINT OF REFERENCE
P.O.T. = POINT OF TERMINUS
P.T. = POINT OF TANGENCY
P.U.E. = PUBLIC UTILITIES EASEMENT
R = RANGE
R.C.P. = REINFORCED CONCRETE PIPE
RESID. = RESIDENCE
R/W = RIGHT-OF-WAY
SECT. = SECTION
S.S. = SANITARY SEWER
SQ FT = SQUARE FEET
T = TOWNSHIP
TYP. = TYPICAL
UE = UNDERGROUND ELECTRIC
W.M. = WATER METER

LEGEND:

(UNLESS OTHERWISE NOTED)

- = FOUND 5/8" REBAR NO IDENTIFICATION
- = FOUND 3/4" IRON PIPE NO IDENTIFICATION
- ✱ = FOUND NAIL & DISK P.L.S. # 4789
- ✱ = SET NAIL & DISK P.L.S. #5548
- ⊕ = WOOD POWER POLE
- ⊕ = WATER METER
- ⊕ = TELEPHONE RISER
- ⊕ = STORM MANHOLE

TITLE NOTE :

THIS OFFICE HAS NOT ABSTRACTED THIS PARCEL OR ANY CLAIMS OF TITLE, EASEMENTS, OR RESTRICTIONS THAT MAY AFFECT THIS PARCEL. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS ARE NOT CERTIFIED HEREON.

FENCE NOTE :

SOME FENCE TIES AS SHOWN HEREON HAVE BEEN DRAWN EXAGGERATED FOR THE SAKE OF REPRESENTATION. (IF APPLICABLE)

BEARING NOTE :

BEARINGS SHOWN HEREON, ARE REFERRED TO AN ASSUMED VALUE OF S 03°40'32"E, FOR THE EAST LINE OF BLOCK 6.

SURVEY NOTE :

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, EASEMENTS, OR CLAIMS OF EASEMENTS, OTHER THAN AS SHOWN ON THIS DRAWING.

PROPERTY LINES SHOULD NOT BE RECONSTRUCTED BASED ON DISTANCES TO IMPROVEMENTS.
THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.

CERTIFIED TO :

- 1) HARTLEY BROTHERS CONSTRUCTION
- 2)
- 3)
- 4)
- 5)

FLOOD NOTE:

(MAP DATED: 2/02/96)
ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 120664-0025-A, THIS PROPERTY IS IN ZONE "X", WHICH IS AN AREA OUTSIDE THE 500-YEAR FLOOD PLAIN, AS SCALED FROM SAID MAP.



J.W. BROWN, INC.
Engineers Land Surveyors

101 NW 75th STREET, GAINESVILLE, FL 32607 (PH. 331-3663)

SCALE: 1" = 20' DATE: 6/28/04 DRAWN BY: S.L.L.

LB #3586 CHECKED BY:

FIELD WORK COMPLETED: 6/23/04 F.B. 393 PGS. 75

PREPARED FOR: HARTLEY BROTHERS CONSTRUCTION WORK ORDER # 18772-04

CERTIFICATE OF SURVEYOR:

(NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND "CAPPER")

I DO HEREBY CERTIFY THAT THE SURVEY DATA SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PERFORMED UNDER MY SUPERVISION OF THE HEREON DESCRIBED PROPERTY, AND IT MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 FLORIDA STATUTES AND CHAPTER 61G17, FLORIDA ADMINISTRATIVE CODE.

BY: ALAN J. HAAKER - REGISTERED LAND SURVEYOR, FLORIDA CERTIFICATE #5548

DATE: 7-2-2004

Metal Sales Product Catalog

Metal Roof & Wall Panels Products



Architectural
Commercial
Post Frame
Residential

ms metal sales
manufacturing corporation

THE METAL SALES DIFFERENCE

For more than 50 years, Metal Sales Manufacturing Corporation has earned a reputation as the premier provider of innovative metal building components and accessories. We've backed this reputation with the industry's largest professional sales and service team, supported by 21 branches located throughout the United States.

We offer a full line of exceptional quality metal roof and wall panels for agricultural, commercial, architectural, industrial and residential projects of every shape and size – new construction or retrofit.

But our technology and durable designs are only part of the story. Architects, contractors and installers appreciate the impeccable service from our highly trained professional staff, ready to answer any question, or help devise custom solutions to your building and energy saving needs.

- Serving the architectural, commercial, residential, industrial and agricultural markets for nearly half a century
- In-house engineering and design assistance available
- A wide selection of materials and finishes available, including MS Colorfast45®, ColorFit40™, PVDF, Weathering Steel, Aluminum, Stainless Steel and Copper
- Over 75 profiles available with matching trim and accessories
- All standard colors meet or exceed steep slope ENERGY STAR® requirements and many are also LEED compliant
- 21 convenient locations nationwide, including Alaska
- Ability to ship worldwide
- Up to 45 year finish warranties available
- Panel testing including FM-4471, UL 580, ASTM E 1592 and approvals including Miami-Dade County, ICC Evaluation Report and Florida Building Code (FBC) 2014
- 20 year weathertightness warranty available (on select profiles)
- Curving capabilities available – (see pages 3 and 8)



Metal Sales is dedicated to leading the metal building component industry, by setting new standards for operating efficiency, product design, active service management and lasting value. We strongly believe that by investing in our corporation, we will ensure the best products and services for our customers, high job satisfaction for our employees and continued innovation and growth for our industry.

Profile Selection

STANDING SEAM PANELS

Magna-Loc, Magna-Loc 180.....	3
Curved Magna-Loc.....	3
T-Armor Series™.....	4
Seam-Loc 24®.....	5
Snap-Loc 24.....	5
Vertical Seam, Vertical Seam Plus.....	6
Clip-Loc.....	6

CONCEALED FASTENED PANELS

Image II™.....	7
Mini-Batten, Curved Mini-Batten.....	8
Box-Batten.....	8
Maxi-Batten.....	8
TL-17 Series.....	9
Soffit Panel.....	10
Flush Face Series.....	11

EXPOSED FASTENED PANELS

Verti-Line Series.....	12
7/8" Corrugated.....	13
Interior Liner Series.....	13
Stile.....	14
5V-Crimp.....	14
IC72-Panel.....	15
V-Line 32.....	15
Exposed Fastened Series.....	16, 17
Deep Rib Series.....	18
Industrial Rib Series.....	19

METAL BUILDING PANELS

PBR-Panel.....	20
R-Panel.....	20
PBU-Panel.....	20
U-Panel.....	20
Pro-Panel II®.....	21
Classic Rib®.....	21
1.25" Corrugated.....	22
2.5" Corrugated.....	22
Delta Rib, Delta Rib 3.....	23
Span-Line 36A.....	23
Bi-Rib.....	24
Dual Rib.....	24
Strongpanel.....	24

INSULATED WALL & ROOF PANELS

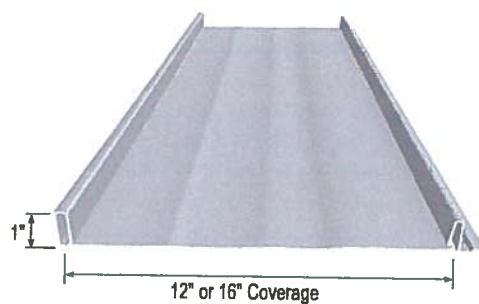
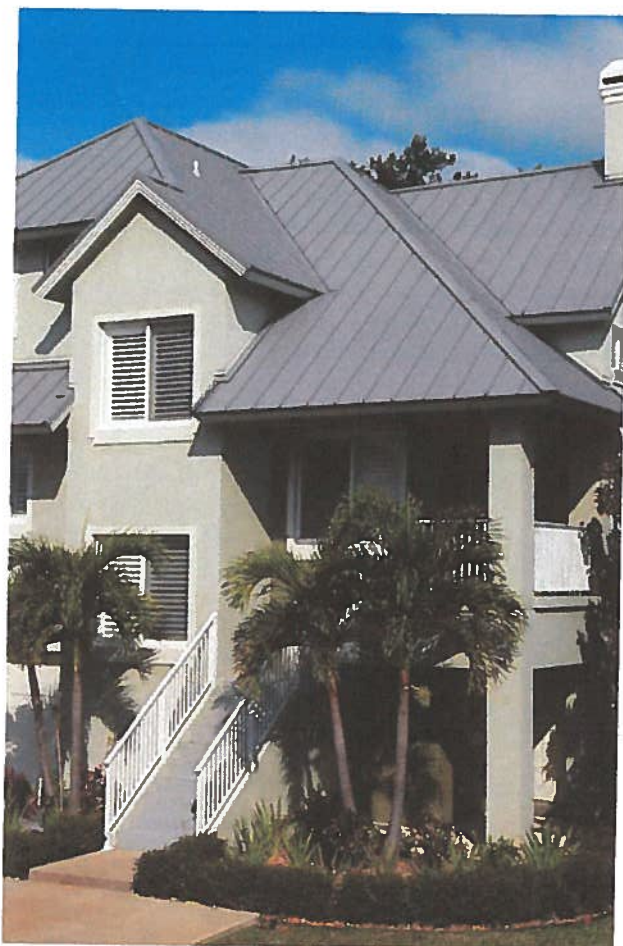
IMPower Series™.....	25
----------------------	----

SECONDARY FRAMING

Retro-Master®.....	26
Metal-Over-Metal.....	26
Secondary Framing.....	27

Image II

- ▶ Architectural concealed direct-fastened roof panel
- ▶ Panel coverage: 12" or 16"
- ▶ 1" rib height
- ▶ Gauges: 26 ga. standard
- ▶ Minimum roof slope: 3:12
- ▶ Applies over solid substrate with 30# felt underlayment
- ▶ Finishes: MS Colorfast45®, PVDF and Acrylic Coated Galvalume®
- ▶ Contact Metal Sales for load-carrying capabilities



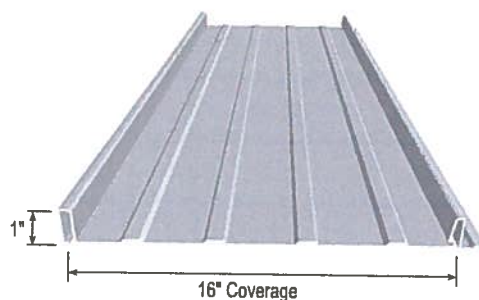
Striated

Fastening legs vary by branch



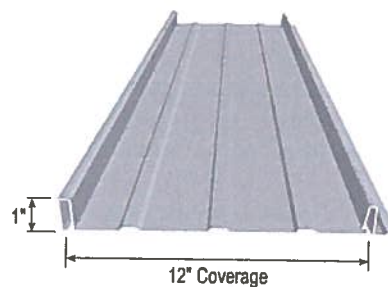
16" Minor Rib

Fastening legs vary by branch



12" Minor Rib

Fastening legs vary by branch



Testing and Approvals

- ▶ UL 263, Fire Resistance Rating – per assembly
- ▶ UL 580, Class 90 Wind Uplift, Construction, #529
- ▶ UL 790, Class A Fire Resistance Rating – per assembly
- ▶ UL 2218, Class 4 Impact Resistance
- ▶ Miami-Dade County approved, NOA 14-0107.04
- ▶ Texas Department of Insurance Evaluation Reports, RC-162, RC-398 and RC-399
- ▶ ICC Evaluation Report, ESR-2385
- ▶ 2014 FBC Approved
 - 26 ga. over 5/8" Plywood, 11560.5
 - 26 ga. over 1/2" Plywood, 11560.4
 - 26 ga. over 7/16" OSB, 14645.11
 - 0.032" Aluminum over 7/16" OSB, 11560.2
 - 0.032" Aluminum over 5/8" Plywood, 11560.3



Metal Sales Manufacturing Corporation

This specification data sheet is provided by Metal Sales Manufacturing Corporation as a technical support tool incident to the sale of its Image II, 1" Mini-Batten, 1.5" Mini-Batten, Curved 1" Mini-Batten, and Stile products. Contact Metal Sales for more information on these and other products.

Telephone: 800.406.7387

www.metalsales.us.com

Section 07 41 13 - METAL ROOF PANELS

1. PRODUCT NAMES

Image II, 1" Mini-Batten, 1.5" Mini-Batten, Curved 1" Mini-Batten, and Stile architectural metal roof panels.

2. MANUFACTURER

Metal Sales Manufacturing Corporation

545 South 3rd Street, Suite 200

Louisville, KY 40202

Toll Free: 800.406.7387

Phone: 502.855.4300

Fax: 502.855.4200

Web: www.metalsales.us.com

E-Mail: info@metalsales.us.com

3. PRODUCT DESCRIPTION

Basic Use

For more than 50 years, Metal Sales has earned a reputation as the premier provider of metal building components and accessories. Metal Sales maintains the industry's largest professional sales and service team, supported by 21 branches located throughout the United States, and offers a full line of high quality metal roof and wall panels for agricultural, commercial, architectural, industrial, and residential projects of every shape and size for both new construction and retrofit applications. Metal Sales is dedicated to leading the metal building component industry, by setting new standards for operating efficiency, product design, active service management and lasting value.

Manufacturer Memberships and Affiliations

CRRC - Cool Roof Rating Council

MCA - Metal Construction Association

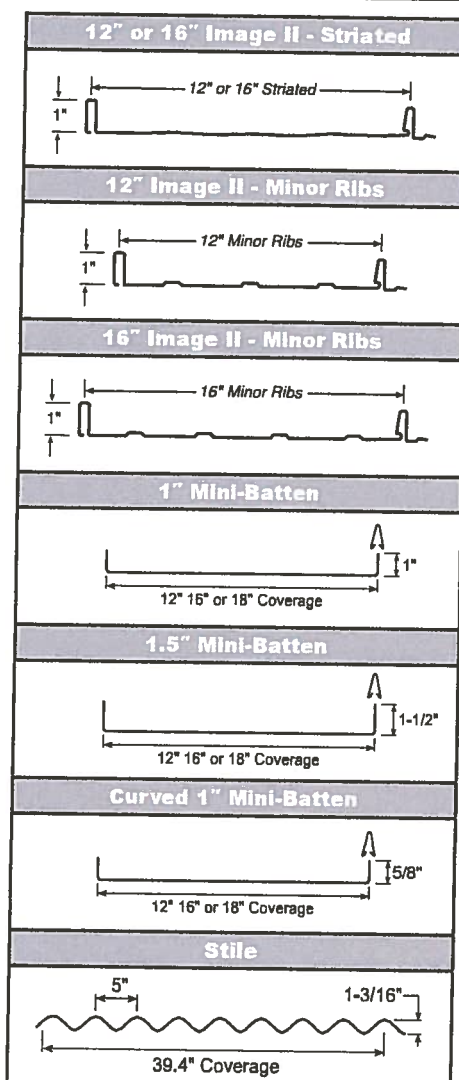
CSI - Construction Specifications Institute

MRA - Metal Roofing Alliance

NRCA - National Roofing Contractors Association

USGBC - United States Green Building Council

ENERGY STAR® Partner



4. TECHNICAL DATA

Applicable Standards

ASTM International (ASTM):

●ASTM A 653 - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process.

●ASTM A 792 - Standard Specification for Steel Sheet, 55% Aluminum-Zinc Alloy-Coated by the Hot-Dip Process.

●ASTM A 1011 - Standard Specification for Steel, Sheet and Strip, Hot-Rolled, Carbon, Structural, High-Strength Low-Alloy, High-Strength Low-Alloy with Improved Formability, and Ultra-High Strength.

●ASTM B 209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate.



Denzinger Dentist Office, New Albany, IN

●ASTM D 2244 - Standard Practice for Calculation of Color Tolerances and Color Differences from Instrumentally Measured Color Coordinates.

●ASTM D 4214 - Standard Test Methods for Evaluating the Degree of Chalking of Exterior Paint Films.

●ASTM E 119 - Standard Test Methods for Fire Tests of Building Construction and Materials.

●ASTM E 1514 - Standard Specification for Structural Standing Seam Steel Roof Panel Systems.

●ASTM E 1592 - Standard Test Method for Structural Performance of Sheet Metal Roof and Siding Systems by Uniform Static Air Pressure Difference.

●ASTM E 1637 - Standard Specification for Structural Standing Seam Aluminum Roof Panel Systems.

●ASTM E 1646 - Standard Test Method for Water Penetration of Exterior Metal Roof Panel Systems by Uniform Static Air Pressure Difference.

●ASTM E 1680 - Standard Test Method for Rate of Air Leakage through Exterior Metal Roof Panel Systems

●ASTM E 2140 - Standard Test Method for Water Penetration of Metal Roof Panel Systems by Static Water Pressure Head.

Underwriters Laboratories (UL):

●UL 263 - Fire Tests of Building Construction and Materials.

●UL 580 - Tests For Uplift Resistance of Roof Assemblies.

●UL 790 - Standard Test Methods for Fire Tests of Roof Coverings.

●UL 2218 - Impact Resistance of Prepared Roof Covering Materials.

Approvals

Miami-Dade County: Code Approvals, Notice of Acceptance (NOA).

State of Florida: Florida Building Code 2010 Test Protocols for High-Velocity Hurricane Zones

Texas Windstorm Evaluation.

Physical Properties:

Test reports are available to design professionals upon request.

Note: Industry designation for material thickness is moving away from "gauge" to decimal thickness in inches. Metal Sales Manufacturing Corporation recommends use of a minimum thickness requirement of 0.018-inch (0.46-mm) instead of 26 gauge, 0.0236-inch (0.60-mm) instead of 24 gauge, and 0.0296-inch (0.75-mm) instead of 22 gauge.

Technical Properties for Image II Products:

►Panel Coverage: 12 inches (304.8 mm) or 16 inches (406.4 mm).

►Rib Height: 1 inch (25.4 mm).

►Material: Aluminum-zinc alloy-coated steel sheet, ASTM A 792, Class AZ50 or AZ55 coating designation, structural quality, Grade 50, 0.0236-inch (0.60-mm) minimum thickness. Select AZ50 for painted material or AZ55 for unpainted material.

►Material: Aluminum sheet, ASTM B 209, 0.032 inch (0.813 mm) or 0.040 inch (1.016 mm) thick.

►Minimum Roof Slope Capability: 3:12 over solid substrate.

►Side Lap: Snap seamed.

►Attachment: Concealed direct fastened panel.

►Application: Designed for application over solid substrate.

►Panel Surface Configuration: Striations or minor ribs.

►Surface Finish: PVDF (Kynar 500 or Hylar 5000), MS Colorfast45 or Acrylic Coated Galvalume.

►Color: Contact Metal Sales Manufacturing Corporation for information on color availability.

►Testing: Fire Resistance Rating: Designed for compliance with UL 263 and UL 790 Class A Fire Resistance Ratings.

Impact Resistance: Complies with UL 2218, Class 4. Water Infiltration: No leakage when tested according to Florida Building Code TAS 100.15.

Wind Uplift Resistance: Complies with UL 580, Class 90 Wind Uplift, Construction 529.

Code and Testing Agency Approvals:

Complies with Miami-Dade County Approval NOA 08-0229.12.



Residence, Louisville, KY

Complies with 2010 State of Florida Building Code Approval: 11560.2, 11560.3, 11560.4 and 14645.10. Complies with Texas Windstorm Evaluation RC-162.

Technical Properties for 1" Mini-Batten, 1.5" Mini-Batten or Curved 1" Mini-Batten Products:

►Panel Coverage: 12 inches (304.8 mm), 16 inches (406.4 mm) or 18 inches (457.2 mm).

►Rib Height: 1 inch (25.4 mm) or 1-1/2 inches (38.1 mm).

►Material: Aluminum-zinc alloy-coated steel sheet, ASTM A 792, [AZ50] [AZ55] coating designation, structural quality, Grade 50, [minimum thickness].

►Minimum Roof Slope Capability: 3:12.

►Minimum Convex Radius Capability (barrel shape): 4'-0".

►Minimum Concave Radius Capability (u-shape): 4'-0".

►Side Lap: Snap-on batten cap.

►Attachment: Concealed clip designed for thermal movement.

►Application: Designed for application over solid substrate.

►Surface Finish: PVDF (Kynar 500 or Hylar 5000), MS Colorfast45, Acrylic Coated Galvalume.

►Color: Contact Metal Sales Manufacturing Corporation for information on color availability.

►Testing: Fire Resistance Rating: Complies with UL 263 and UL 790 Class A Fire Resistance Ratings.

Impact Resistance: Complies with UL 2218 Class 4. Wind Uplift Resistance: Comply with UL 580, Class 90 Wind Uplift, Construction 397, 397A, and 430. (Applies to 1" Mini-Batten panels.)

Wind Uplift Resistance: Comply with UL 580, Class 90 Wind Uplift, Construction 352. (Applies to 1.5" Mini-Batten panels.)

Technical Properties for Stile Products:

►Panel Coverage: 39.4 inches (1000 mm).

►Rib Height: 1-3/16 inches (30.2 mm).

►Material: Galvanized steel sheet, ASTM A 653, G90 coating designation, structural quality, Grade 40, minimum thickness.

►Minimum Roof Slope Capability: 3:12 over solid substrate.

►Side Lap: Mechanically fastened.

►Attachment: Exposed direct fastened panel.

►Application: Designed for application over solid substrate.

►Surface Finish: PVDF (Kynar 500 or Hylar 5000).

►Color: Spanish Clay, Slate Grey, Ocean Blue, Classic Green, Regal Red, Tudor Brown, White.

►Testing: Fire Resistance Rating: Complies with UL 790 Class A Fire Resistance Ratings.

Impact Resistance: Complies with UL 2218 Class 4. Water Penetration: No leakage when tested according to Florida Building Code TAS 100.

Wind Uplift Resistance: Complies with UL 580, Class 90 Wind Uplift, Construction 533.

Code and Testing Agency Approvals:

Complies with Miami-Dade County Approval NOA 08-0229.11.

Complies with 2010 State of Florida Building Code Approval: 11560.7, 11560.8.

Complies with Texas Windstorm Evaluation RC-163.

Environmental Considerations

Construction metals generally are readily recyclable at the end of their service life. The raw materials used in manufacture of standing seam panels also come from recycled sources. Post industrial and post consumer recycled content varies.

Fire Performance

Flame-Spread Index: 25 or less (Class A).

Smoke-Developed Index: 450 or less.

5. INSTALLATION

Handling and Storage

Handle and store product according to Metal Sales recommendations. Deliver materials in original, unopened, undamaged containers with identification labels intact. Store materials above ground, under waterproof covering, protected from exposure to harmful weather conditions and at temperature and humidity conditions recommended by manufacturer. Provide proper ventilation of metal panel system to prevent condensation build-up between each panel and trim or flashing component. Store metal panel products in manufacturer's unopened packaging until ready for installation. Exercise caution in unloading and handling metal panel system to prevent bending, warping, twisting and surface damage.

Preparation

Install substrate boards over roof deck and sheathing over entire roof surface using recommended fasteners. Install furring, eave angles, sub-purlins, and other miscellaneous roof panel support members and anchor according to metal roof panel manufacturer's recommendations.

Underlayment Installation

Install self-adhering sheet underlayment and felt underlayment as required. Apply slip sheet over underlayment prior to installing metal roof panels. Install flashing in compliance with requirements in Division 07 Section "Sheet Metal Flashing and Trim."

Thermal Insulation Installation

Install polyethylene vapor retarder if required. Install board insulation if required, in compliance with installation requirements in Division 07 Section "Thermal Insulation."

Install blanket insulation if required, in compliance with installation requirements in Division 07 Section "Thermal Insulation."

Metal Roof Panel Installation

Verify that site conditions are acceptable for installation. Do not proceed with installation until unacceptable conditions are corrected. Comply with panel manufacturer's installation instructions including but not limited to special techniques, interface with other work, and integration of systems. Fasten metal roof panels to supports with concealed clips at each standing-seam joint at location, spacing, and using proper fasteners as recommended by panel manufacturer. Comply with installation tolerances as required.

Accessory Installation

Install accessories using techniques recommended by manufacturer and which will assure positive

anchorage to building and weather tight mounting. Provide for thermal movement. Coordinate installation with flashings and other components. For Flashing and Trim, comply with performance requirements, manufacturer's written installation instructions, and the SMACNA "Architectural Sheet Metal Manual." Provide concealed fasteners where possible, and install units to true level. Install work with laps, joints, and seams that will be permanently watertight.

Field Quality Control

If requested by Owner, provide manufacturer's field service consisting of product use recommendations and periodic site visits for inspection of product installation in accordance with manufacturer's instructions.

Precautions, Cleaning and Protection

Touch-up paint is used to cover and protect unexpected scratches on the paint finish that may occur during installation of panel. Touch-up paint will not weather as well or at the same rate as the original system. Test in an area that will not be noticeable. Metallic paint colors are available at an additional charge. Minor differences in color and appearance are normal and to be expected.

To minimize possible differences in appearance, an entire project should be painted at one time, from one batch of paint, using the same application equipment. Additionally, fabricated panels, flat sheet, and flashings should be oriented in the same direction.

After installation remove temporary coverings and protection of adjacent work areas. Repair or replace any installed products that have been damaged. Clean installed panels in accordance with manufacturer's instructions prior to Owner's acceptance. Remove and lawfully dispose of construction debris from Project site. Protect installed product and finish surfaces from damage during construction.

Building Codes

Current data on building code requirements and product compliance may be obtained from Metal Sales technical support specialists. Installation must comply with the requirements of authority having jurisdiction.

6. AVAILABILITY AND COST

Availability

Metal Sales products are nationally distributed and supported from 21 convenient locations nationwide, including Alaska. Metal Sales has the ability to ship worldwide. Contact Metal Sales for information on local availability.

Cost

Budget installed cost information may be obtained from a local Metal Sales distributor or through the manufacturer.

7. WARRANTIES

Paint Finish Warranty

Metal Sales' standard PVDF (Kynar 500®) Fluorocarbon System Warranty for film integrity, chalk rating and fade rating in which manufacturer agrees to repair or replace panels that show evidence of deterioration within specified warranty period. Deterioration shall include but is not limited to color fading of more than 5 Hunter units when tested according to ASTM D 2244, chalking in excess of a No. 8 rating when tested according to ASTM D 4214 or cracking, checking, peeling or failure of paint to adhere to bare metal. Warranty Period for film integrity is 45 years and for chalk and fade rating is 35 years.

8. MAINTENANCE

No specific maintenance is required for properly installed Metal Sales standing seam panel products. Periodic roof inspection to verify system integrity, drainage functionality and repair of storm damage is advised.

9. TECHNICAL SERVICES

Technical assistance, including more detailed information, product literature, test results, project lists, assistance in preparing project specifications and arrangements for application supervision, is available by contacting Metal Sales.

10. FILING SYSTEMS

Additional product information is available from the manufacturer upon request.

1. McGraw-Hill Sweets
2. ARCAT



Residence

**EVALUATION REPORT OF
METAL SALES MANUFACTURING CORPORATION
'26 GA. IMAGE II PANEL'**

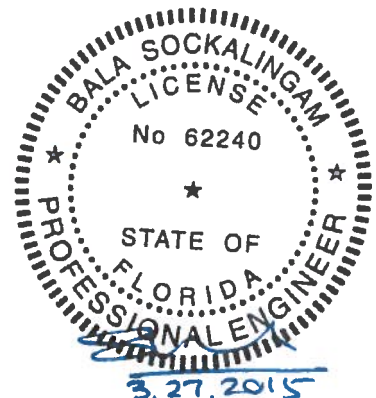
**FLORIDA BUILDING CODE 5TH EDITION (2014)
FLORIDA PRODUCT APPROVAL
FL 11560.4-R2
ROOFING
METAL ROOFING**

**Prepared For:
Metal Sales Manufacturing Corporation
545 South 3rd Street, Suite 200
Louisville, KY 40202
Telephone: (502) 855-4300
Fax: (502) 855-4290**

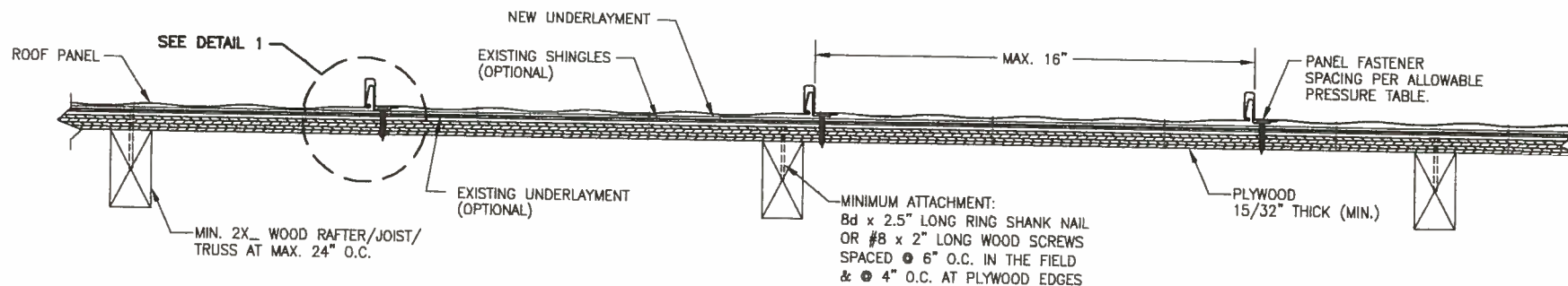
**Prepared By:
Bala Sockalingam, Ph.D., P.E.
Florida Professional Engineer #62240
1216 N Lansing Ave., Suite C
Tulsa, OK 74106
Telephone: (918) 492-5992
FAX: (866) 366-1543**

**This report consists of
Evaluation Report (2 Pages including cover)
Installation Details (1 Page)**

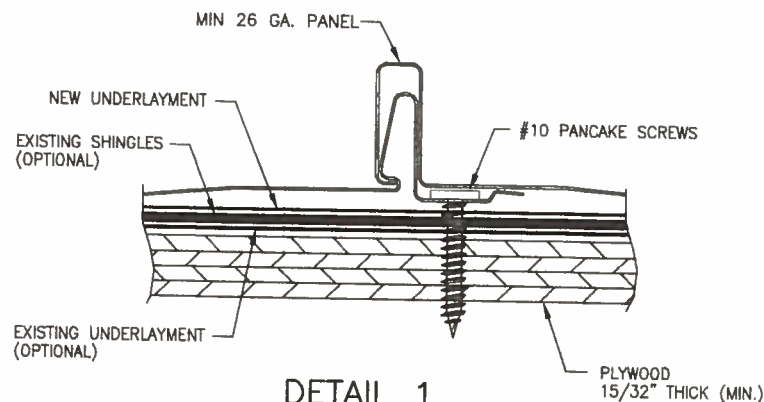
**Report No. C2009-4
Date: 3.27.15**



Manufacturer:	Metal Sales Manufacturing Corporation
Product Name:	Image II
Panel Description:	Max. 16" wide coverage with 1" high ribs
Materials:	Min. 26 ga., 50 ksi steel. Galvanized coated steel (ASTM A653) or Galvalume coated steel (ASTM A792) or painted steel (ASTM A755).
Deck Description:	Min. 15/32" thick plywood for new and existing constructions. Designed and installed as per FBC 2014.
Deck Attachment: (Minimum)	8d x 2.5" long ring shank nails or #8 x 2" long wood screws @ 6" o.c. in the plywood field and @ 4" o.c. at edges
New Underlayment:	Minimum underlayment as per FBC 2014 Section 1507.4.5.1
Existing Underlayment: (Optional)	One layer of asphalt shingles over one layer of #30 felt. For reroofing construction only.
Slope:	2:12 or greater in accordance with FBC 2014 Section 1507.4.2
Design Uplift Pressure: (Factor of Safety = 2)	84.25 psf @ fastener spacing of 24" o.c.
Fastener Pattern:	#10-12 pancake head screws along panel seam. Fastener shall be of sufficient length to penetrate through the deck a minimum of 1/4".
Test Standards:	Roof assembly tested in accordance with TAS 125-03 'Standard Requirements for Metal Roofing Systems'.
Code Compliance:	The product described herein has demonstrated compliance with FBC 2014 Section 1507.4
Product Limitations:	Design wind loads shall be determined for each project in accordance with FBC 2014 Section 1609 or ASCE 7-10 using allowable stress design. The maximum fastener spacing listed herein shall not be exceeded. This evaluation report is not applicable in High Velocity Hurricane Zone. Fire classification is not within scope of this Evaluation Report. Refer to FBC 2014 Section 1505 and current approved roofing materials directory or ASTM E108/UL790 report from an accredited laboratory for fire ratings of this product.
Supporting Documents:	TAS 125 Test Reports Hurricane Test Laboratory, LLC HTL Report #: 0103-0714-09, Reporting Date 9/1/09



TYPICAL PANEL INSTALLATION X-SECTION



DETAIL 1

ALLOWABLE UPLIFT PRESSURE

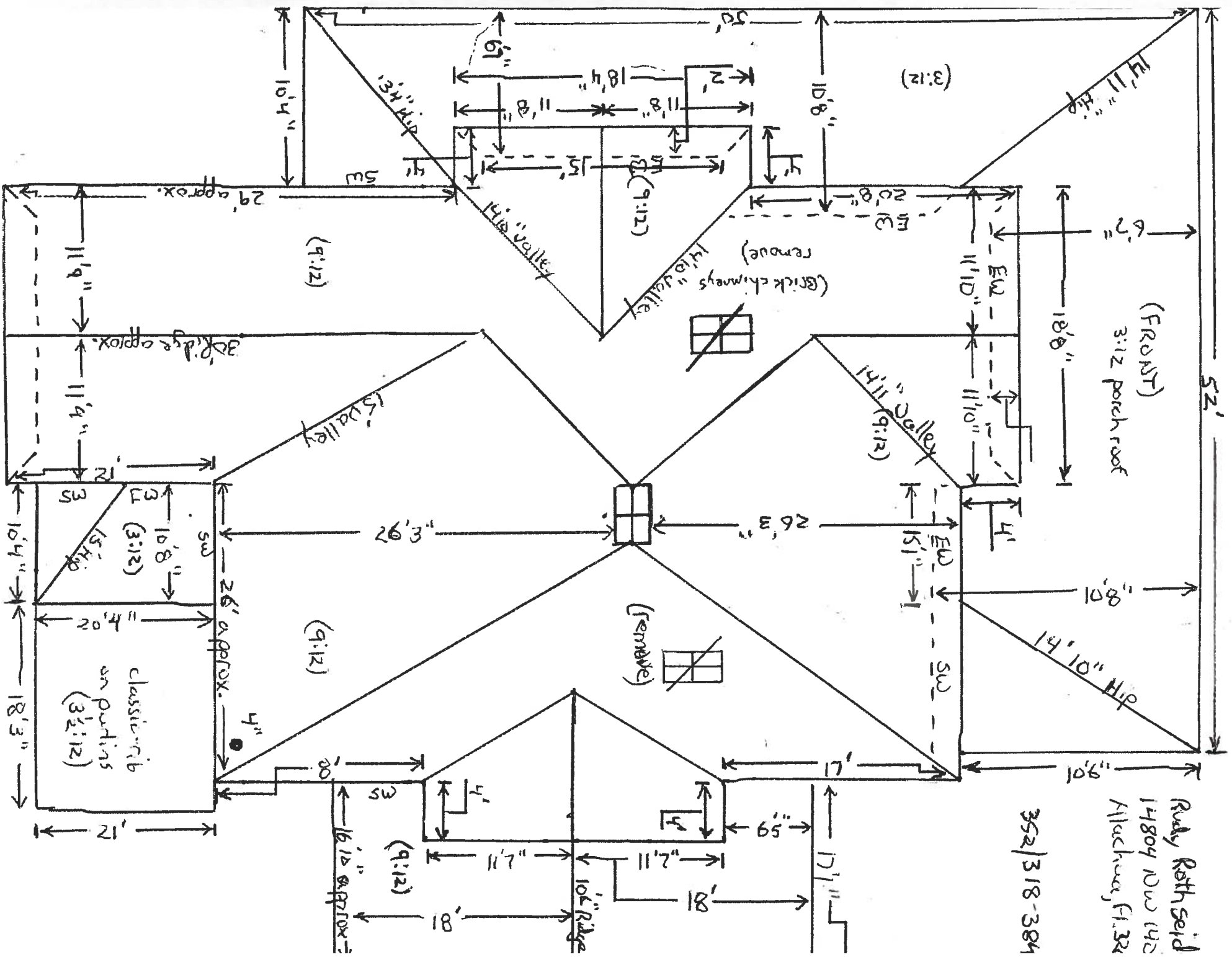
FASTENER SPACING (IN)	PRESSURE (PSF)
24	84.25

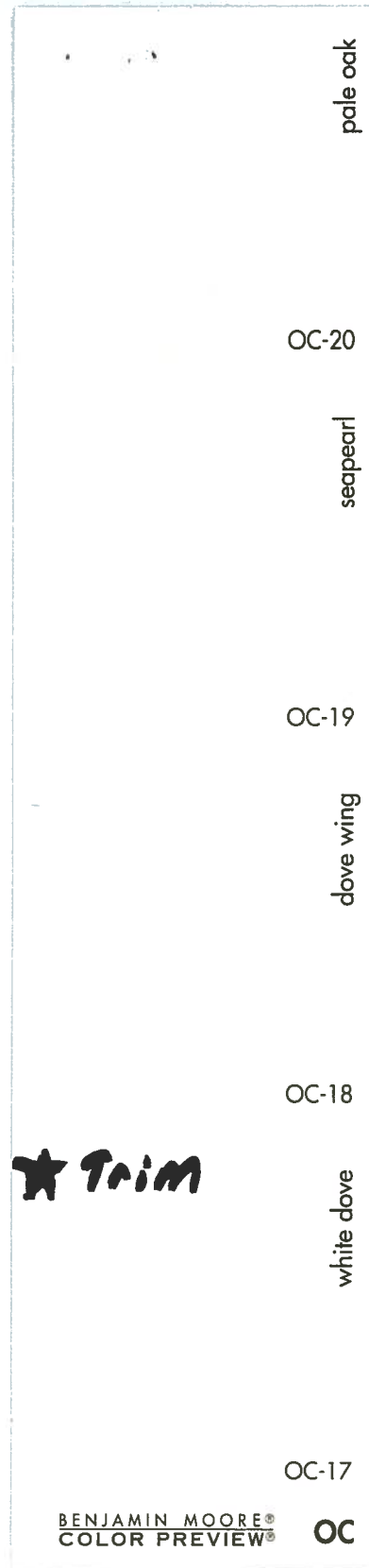
GENERAL NOTES:

1. ARCHITECTURAL ROOF PANEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (FBC).
2. ROOF PANELS ARE SHALL BE MIN. 26 GA. MAX. EFFECTIVE COVERING WIDTH OF PANEL = 16".
3. THE ROOF PANELS SHALL BE INSTALLED OVER SHEATHING & STRUCTURE AS SPECIFIED ON THIS DRAWING.
4. REQUIRED DESIGN WIND LOADS SHALL BE DETERMINED FOR EACH PROJECT. THIS PANEL SYSTEM MAY NOT BE INSTALLED WHEN THE REQUIRED DESIGN WIND LOADS ARE GREATER THAN THE ALLOWABLE WIND LOADS SPECIFIED ON THIS DRAWING.
5. ALL FASTENERS MUST BE IN ACCORDANCE WITH THIS DRAWING & THE FLORIDA BUILDING CODE. IF A DIFFERENCE OCCURS BETWEEN THE MINIMUM REQUIREMENTS OF THIS DRAWING & THE CODE, THE CODE SHALL CONTROL.
6. RAFTERS/JOISTS/TRUSSES MUST BE DESIGNED TO WITHSTAND WIND LOADS AS REQUIRED FOR EACH APPLICATION AND ARE THE RESPONSIBILITY OF OTHERS.

DRAWN BY: B.S.		CHECKED BY: D.S.	
PLOT: DATE: 3/25/15			
DATE	BY	REVISION DESCRIPTION	NO.
DRAWING TITLE: IMAGE II PANEL			
CONSULTANTS: BALA SOCKALINGAM, PH.D., P.E.		MANUFACTURER: METAL SALES MANUFACTURING CORP.	
1216 N LANSING AVE. SUITE C TULSA, OK 74106		545 SOUTH 3RD ST. SUITE 200 LOUISVILLE, KY 40202	
PHONE: 918-492-5992 FAX: 918-493-3388		502-855-4300	
DRAWING NO. 2009-4		REV.	
PAGE NO. 1		OF 1	

352/318-384







AURA[®]

WATERBORNE EXTERIOR PAINT

SATIN FINISH 631

Features

- Extreme hide, never more than two coats in any color
- Color lock technology and extreme UV resistance
- Low temperature application
- Superior adhesion
- Delivers a high-build paint film for excellent durability
- Soap and water clean up
- Fast dry and re-coat times
- Resistant to fading, cracking, peeling, chalking blistering, dirt pick-up
- Provides a mildew resistant film
- Self priming in most situations
- Vapor permeable

Recommended For

Recommended for exterior use on wood, fiber cement board, hard board, vinyl and aluminum siding, shakes, unglazed brick, concrete, stucco, cinder block and primed metal.

General Description

A super premium quality, 100% acrylic exterior satin latex finish. This product combines the advantages of our latest resin technology and our proprietary Gennex[®] colorant system to provide the ultimate exterior coating. This high solids formula is suitable for a variety of exterior surfaces and can be applied as low as 40°F.

Limitations

- Do not apply when air and surface temperatures are below 40°F (4.4°C).

Product Information

Colors:—Standard:

White (01)

—Tint Bases:

1X, 2X, 3X, & 4X Tint Bases only with Gennex[®] Waterborne Colorant

—Special Colors:

Contact your Benjamin Moore representative

Certification:

VOC compliant in all regulated areas

The following results are based on independent, third-party laboratory testing:

-Passes Wind Driven Rain Test (1.3 oz)

ASTM D6904 (TT-C-555B)

1 coat 066 Moore's[®] Masonry Sealer @ 4 mils WFT

1 coats Aura[®] Exterior Paint Satin Finish 631 each @ 1.85 DFT

-Passes Alkali Resistance Test (24 hrs. no effect)

ASTM D1308

1 coat 066 Moore's[®] Masonry Sealer @ 4 mils WFT

1 coats Aura[®] Exterior Paint Satin Finish 631 each @ 1.85 DFT

-Passes Conical Mandrel Flexibility Test (no cracking)

ASTM D522

1 coat Aura[®] Exterior Paint Satin Finish 631 @ 1.6 DFT

-Passes Mildew, Mold Resistance Test (no growth)

ASTM D3273

-ASTM D1653 Water Vapor Transmission Properties

60.2 perms @ 2.0 mils DFT

-ASTM D2370

Tensile Properties

Peak Tensile Strength, psi 406

Elongation at Break, percent 380

Technical Assistance:

Available through your local authorized independent Benjamin Moore[®] retailer. For the location of the retailer nearest you, call 1-800-826-2623, see www.benjaminmoore.com, or consult your local Yellow Pages.

Technical Data

Pastel Base

Vehicle Type 100% Acrylic Latex

Pigment Type Titanium Dioxide

Volume Solids 40.4%

Coverage per Gallon at Recommended Film Thickness 250 – 350 Sq. Ft.

Recommended Film Thickness – Wet 4.6 – 6.4 mils
– Dry 1.9 – 2.6 mils

Depending on surface texture and porosity. Be sure to estimate the right amount of paint for the job. This will ensure color uniformity and minimize the disposal of excess paint.

Dry Time @ 77° F – To Touch 1 Hour
(25° C) @ 50% RH – To Recoat 4 Hours

Painted surfaces can be washed after two weeks. High humidity and cool temperatures will result in longer dry, recoat and service times.

Dries By Evaporation, Coalescence

Viscosity 102 ± 2 KU

Flash Point None

Gloss / Sheen Satin (25-35 @ 60°)

Surface Temperature – Min. 40° F
at Application – Max 90° F

Thin With See Chart

Clean Up Thinner Clean Water

Weight Per Gallon 11.2 lbs

Storage Temperature – Min. 40° F
– Max 90° F

Volatile Organic Compounds (VOC)

44 Grams / Liter 0.37 LBS / Gallon

†Reported values are for Pastel Base. Contact Benjamin Moore for values of other bases or colors.

Aura® Waterborne Exterior Paint Satin Finish 631

Surface Preparation

Surfaces must be clean and free of grease, wax, and mildew. Remove any chalk and loose or scaling paint. If previously coated with cement-base waterproofing paints, clean by sandblasting. Glossy surfaces must be dulled. Un-weathered areas such as eaves, ceilings, and overhangs should be washed with a detergent solution and/or rinsed with a strong stream of water from a garden hose to remove contaminants that can interfere with proper adhesion. Stains from mildew must be removed by cleaning with Benjamin Moore® Clean (318) prior to coating the surface. **Caution:** Refer to the (318) Clean technical data and material safety data sheets for instructions on its proper use and handling. For metal surfaces, remove rust. Wipe down with paint thinner to remove surface oils.

Difficult Substrates: Benjamin Moore offers a number of specialty primers for use over difficult substrates such as bleeding woods, grease stains, crayon markings, hard glossy surfaces, or other substrates where paint adhesion or stain suppression is a particular problem. Your Benjamin Moore® retailer can recommend the right problem-solving primer for your special needs.

WARNING! If you scrape, sand or remove old paint, you may release lead dust. LEAD IS TOXIC. EXPOSURE TO LEAD DUST CAN CAUSE SERIOUS ILLNESS, SUCH AS BRAIN DAMAGE, ESPECIALLY IN CHILDREN. PREGNANT WOMEN SHOULD ALSO AVOID EXPOSURE. Wear a NIOSH-approved respirator to control lead exposure. Carefully clean up with a HEPA vacuum and a wet mop. Before you start, find out how to protect yourself and your family by contacting the National Lead Information Hotline at 1-800-424-LEAD or log on to www.epa.gov/lead.

Primer/Finish Systems

Aura® Waterborne Exterior Satin Finish is self priming on most properly prepared substrates, including: wood, fiber cement board, hardboard, nonferrous metals and cured masonry surfaces. On bare substrates two coats are required; previously painted surfaces can be finished with 1 or 2 coats. **Special Note:** For certain deep colors, Aura® Color Foundation must be used to achieve maximum hide and the desired topcoat color. Consult your retailer.

Wood and engineered wood products:

Primer: No primer needed

Finish: 2 coats Aura® Waterborne Exterior Paint Flat Finish (629)

Bleeding Type Woods, (Redwood and Cedar):

Primer: Fresh Start® Fast Dry Alkyd Primer (094); for light tannin bleed situations 1 or 2 coats of Fresh Start® 100% Acrylic Superior Primer (046) may be used

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Hardboard Siding, Bare or Factory Primed:

Primer: Fresh Start® Fast Dry Alkyd Primer (094), Fresh Start® all Purpose 100% Acrylic Primer (N023) or Fresh Start® 100% Acrylic Superior Primer (046)

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Vinyl & Vinyl Composite Siding

Note: Ensure that the surface is properly cleaned and in good condition. For colors that are safe for use on these substrates, use approved Vinyl Select colors. For more information, see

<http://www.benjaminmoore.com/en-us/for-contractors/painting-vinyl-and-aluminum-siding>

Primer: Fresh Start® Multi-Purpose Latex Primer (N023).

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Rough or Pitted Masonry: Poured and precast concrete and block construction should be allowed to cure for at least 30 days. New masonry only needs to be cured for 7 days when using Super Spec® Masonry Interior / Exterior 100% Acrylic Masonry Sealer (N066). All surfaces must be thoroughly brushed with stiff fiber bristles to remove loose particles.

Primer: Super Spec® Latex Block Filler (160) or Super Spec® Masonry Interior/Exterior Hi-Build Block Filler (206)

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Poured or Pre-cast Concrete and Fiber Cement Siding:

Primer: No primer needed

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Masonry, Weathered and Unpainted, Soft with Age (Including Unglazed Brick): Remove any loose, sandy masonry by dry brushing.

Primer: Super Spec® Masonry Interior / Exterior 100% Acrylic Masonry Sealer (N066) or Super Spec® Alkyd Masonry Sealer (C077)

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Ferrous Metal (Steel and Iron):

Primer: Super Spec HP® Acrylic Metal Primer (P04) or Super Spec HP® Alkyd Metal Primer (P06)

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Non-Ferrous Metal (Galvanized & Aluminum): All new metal surfaces must be thoroughly cleaned with Super Spec HP® Oil & Grease Emulsifier (P83) to remove contaminants. New shiny non-ferrous metal

metal surfaces that will be subject to abrasion should be dulled with very fine sandpaper or a synthetic steel wool pad to promote adhesion

Primer: Not required on properly prepared surfaces

Finish: 1 or 2 coats Aura® Waterborne Exterior Paint Satin Finish (631)

Repaint, All Substrates: Prime bare areas with the primer recommended for the substrate above.

Application

Use the same application techniques as you would for any low-VOC compliant coating. Use a Benjamin Moore® Premium roller or Premium extra firm nylon polyester brush for best results. Aura® paint features excellent flow and leveling; it's not necessary to over brush to smooth out brush marks. Aura® dries faster than other acrylic paints; avoid lap marks by not painting in direct sunlight and by coating sections of the surface either down or across the structure to natural breaks, maintaining a wet edge. If your edge begins to dry or you see that you missed a spot and the paint is already setting up, allow it to dry completely before touching up that area.

This product can also be sprayed.

Thinning/Cleanup

Conditioning with Benjamin Moore® 518 Extender may be necessary under certain conditions to adjust open time or spray characteristics. The chart below is for general guidance		
	Mild conditions Humid (RH> 50%) with no direct sunlight & with little to no wind	Severe conditions Dry (RH<50%), in direct sunlight, or windy conditions
Brush: Nylon / Polyester	No thinning necessary	Add 518 Extender or water: Max of 8 fl. oz. to a gallon paint Never add other paints or solvents.
Roller: Aura® Roller Cover		
Spray: Airless Pressure: 2000 -3000 psi Tip: 0.015-0.017		
* Under normal application conditions AURA® may be sprayed to achieve a high build one coat system over properly prepared substrates that are in good condition. Refer to Surface Preparation / Priming Sections for appropriate priming and preparation information. High Build System Coverage: 160 – 265 sq. ft. 6-10 mils wet film thickness.		

Cleanup: Wash painting tools in warm soapy water immediately after use. Spray equipment should be given a final rinse with mineral spirits to prevent rusting.

USE COMPLETELY OR DISPOSE OF PROPERLY. Dry, empty containers may be recycled in a can recycling program. **Local disposal requirements vary; consult your sanitation department or state-designated environmental agency on disposal options.**

Environmental, Health & Safety Information

Use only with adequate ventilation. Do not breathe spray mist or sanding dust. Ensure fresh air entry during application and drying. Avoid contact with eyes and prolonged or repeated contact with skin. Avoid exposure to dust and spray mist by wearing a NIOSH approved respirator during application, sanding and clean up. Follow respirator manufacturer's directions for respirator use. Close container after each use. Wash thoroughly after handling.

WARNING: This product contains a chemical known to the state of California to cause cancer and birth defects, or other reproductive harm.

FIRST AID: In case of eye contact, flush immediately with plenty of water for at least 15 minutes; for skin, wash thoroughly with soap and water. If symptoms persist, seek medical attention. If you experience difficulty breathing, leave the area to obtain fresh air. If continued difficulty is experienced, get medical attention immediately.

IN CASE OF SPILL – Absorb with inert material and dispose of as specified under Thinning/Cleanup.

**KEEP OUT OF REACH OF CHILDREN
PROTECT FROM FREEZING
Refer to Material Safety Data Sheet for
additional health and safety information.**

Benjamin Moore & Co., 101 Paragon Drive, Montvale, NJ 07645 Tel: (201) 573-9600 Fax: (201) 573-9046 www.benjaminmoore.com M72 631 US 080912

Aura, Benjamin Moore, Fresh Start, Gennex, Super Spec, Super Spec HP and the triangle "M" symbol

are registered trademarks of Benjamin Moore & Co..

© 2009, 2012 Benjamin Moore & Co.

All rights reserved

Hickman

METAL ROOFING

State Certified Roofing Contractor: #CCC057887

Existing Property





ALACHUA
INTEGRATIVE MEDICINE

Family Practice

(386) 418-1234

Nutritional Therapy · Psychiatry
Therapeutic Massage · Acupuncture
Counseling · Hypnotherapy

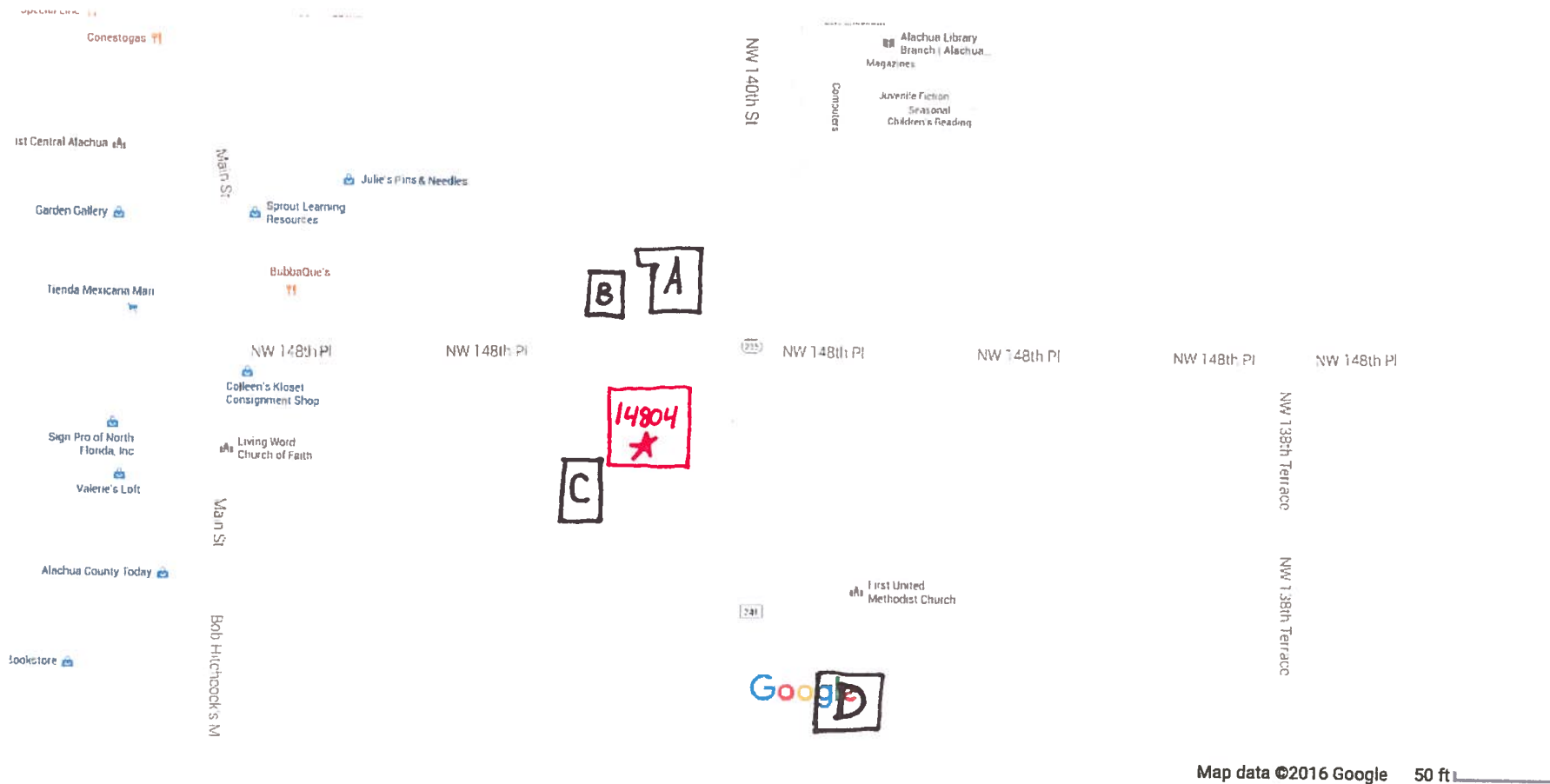
Hickman

METAL ROOFING

State Certified Roofing Contractor: #CCC057887

Surrounding Properties

Google Maps

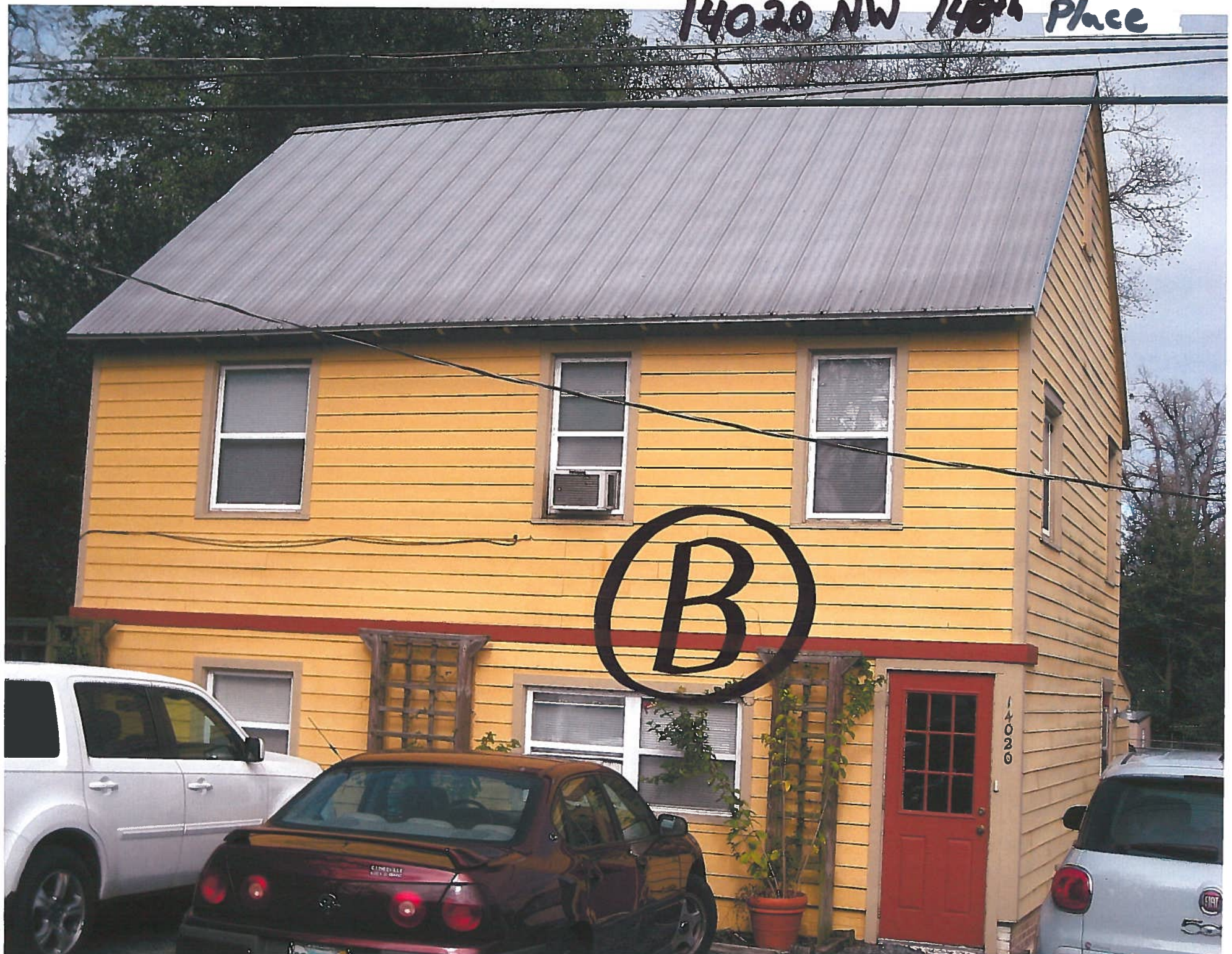


14818 NW 140th Street



14818
Bookkeeping
&
Tax Center, Inc.
386-462-4941

14020 NW 148th Place







14707 NW 140th Street



Hickman

METAL ROOFING

State Certified Roofing Contractor: #CCC057887

Previously completed projects
in the proposed product type
and finish.







Hickman

METAL ROOFING

State Certified Roofing Contractor: #CCC057887

Digital rendering of existing property with
proposed roof product and exterior paint
colors



ALACHUA
INTEGRATIVE MEDICINE
Family Practice
(386) 418-1234

Nutritional Therapy · Psychiatry
Therapeutic Massage · Acupuncture
Counseling · Hypnotherapy

Parcel: 03655-000-000*Search Date: 1/4/2016 at 9:07:26 AM - Data updated: 01/04/16*

Taxpayer:	ROTHSEIDEN RUDY	Legal:	OLMSTEAD SURVEY PB C-79B LOT 1 BK 6 SEE PB A-68(LESS W 40 FT OF S 141 FT THEREOF PER OR 921/344) OR 4349/1836
Mailing:	PO BOX 991 Alachua, FL 32616		
Location:	14804 NW 140TH ST ALACHUA		
Sec-Twn-Rng:	15-8-18		
Use:	Office 1 Story		
Tax Jurisdiction:	Alachua		
Area:	Alachua Bus Dist		
Subdivision:	Olmsteads Survey of Alachua & C-79B		

Assessment History

** Exempt Amount and Taxable Value History reflect County Amounts. School Board and City Amounts may differ **

Year	Use	Land	MktLand	Building	Misc	Market	SOH Deferred	Assessed	Exempt**	Taxable**	Taxes
2015	Office 1 Story	97100	97100	49600	0	146700	0	146700	0	146700	3706.08
2014	Office 1 Story	97100	97100	49600	0	146700	0	146700	0	146700	3661.8
2013	Office 1 Story	97100	97100	49700	0	146800	0	146800	0	146800	3663.57
2012	Office 1 Story	97100	97100	54500	0	151600	0	151600	0	151600	3775.13
2011	Office 1 Story	97100	97100	63400	0	160500	0	160500	0	160500	4083.4
2010	Prof Offices	97100	97100	127600	0	224700	0	224700	0	224700	5667.62
2009	Prof Offices	97100	97100	135500	6400	239000	0	239000	0	239000	6006.66
2008	Prof Offices	97100	97100	137400	6700	241200	0	241200	0	241200	5488.5
2007	Prof Offices	97100	97100	134200	7000	238300	0	238300	0	238300	5440.39
2006	Prof Offices	97100	97100	120600	7200	224900	0	224900	0	224900	5700.85
2005	Single Family	29100	29100	71700	5500	106300	0	106300	0	106300	2786.44
2004	Single Family	29100	29100	66100	5600	100800	0	100800	0	100800	2667.57
2003	Single Family	25900	25900	64200	5900	96000	0	96000	0	96000	2600.3
2002	Single Family	25900	25900	41300	6200	73400	0	73400	0	73400	2016.18
2001	Single Family	25900	25900	39600	6400	71900	0	71900	0	71900	1973.74
2000	Single Family	9100	9100	37400	6700	53200	0	53200	0	53200	1492.88
1999	Single Family	9100	9100	35800	6900	51800	0	51800	0	51800	1442.43
1998	Single Family	9100	9100	32800	7100	49000	0	49000	0	49000	1404.99
1997	Single Family	9100	9100	31200	7300	47600	0	47600	0	47600	1392.63
1996	Single Family	9100	9100	28300	7700	45100	0	45100	0	45100	1321
1995	Single Family	9100	9100	27900	7900	44900	8130	36770	25500	11270	330.11

Land

Use	Zoning	Acres
Professional Bldg	CBD	0.74
2015 Certified Land Value: 97100		

Building

Actual Year Built	1925	Area Type	Square Footage
Effective Year Built	1965	Base Area (BAS)	2196
Use:	Medical Office	Unfin Screened Porch (USP)	171
Bedrooms:	3	Semi-Finished Base (SFB)	360
Baths:	1.5	Finished Open Porch (FOP)	714
Stories:	1	Heated Area: 2556 Total Area: 3441	
Exterior Wall:	Single Siding		
AC:	Central Air		
Heating:	Forced Air Duct		

2015 Certified Building Value: 49600

Miscellaneous

Description	Units
CP 1	500
Garage 1	700
OP 1	300
Drive/Walk	400
Deck 2	190
2015 Certified Miscellaneous Value: 0	

Sale

Date	Price	Vacant	Qualified	OR Book	OR Page	Instrument
05/12/2015	173700	No	No	4349	1836	Certificate for Title
11/30/2005	100	No	No	3273	0832	Quitclaim Deed
11/21/2005	100	No	No	3273	0830	Quitclaim Deed
09/23/2005	305000	No	Yes	3224	0914	Warranty Deed
07/20/2004	165000	No	Yes	2959	1006	Warranty Deed
07/17/1984	100	No	No	2017	0622	Deed
07/31/1973	100	Yes	No	0847	0194	Deed

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2925471 1 PG(S)

5/13/2015 2:15 PM
BOOK 4349 PAGE 1836

J. K. IRBY

Clerk of the Court, Alachua County, Florida

ERECORDED

Receipt # 653569

Doc Stamp-Mort: \$0.00

Doc Stamp-Deed: \$0.00

Intang. Tax: \$0.00

IN THE CIRCUIT COURT OF THE EIGHTH JUDICIAL
CIRCUIT IN AND FOR ALACHUA COUNTY,
FLORIDA

GENERAL JURISDICTION DIVISION

CASE NO.: 012014CA001411XXXXXX

CITIMORTGAGE, INC.

Plaintiff,

vs.

SHAWNA A. DORAN, et. al.

Defendant(s).

CERTIFICATE OF TITLE

The undersigned Clerk of the Court, certifies that he or she executed and filed a certificate of sale in this action on April 30, 2015, 2014, for the property described herein and that no objections to the sale have been filed within the time allowed for filing objections. The following property in Alachua County, Florida:

LOT 1, BLOCK 6, OLMSTEAD SURVEY OF ALACHUA, AS PER PLAT BOOK A, PAGE 68, IN THE EAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 8 SOUTH; RANGE 18 EAST.

LESS

BEGINNING AT A POINT ON THE SOUTH LINE OF LOT 1 OF BLOCK 6 AT A POINT 230 FEET EAST OF THE SOUTHWEST CORNER OF LOT 2, BLOCK 6 OF OLMSTEAD'S SURVEY OF THE TOWN OF ALACHUA, ACCORDING TO PLAT THERE OF RECORDED IN PLAT BOOK A, PAGE 68, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, AND RUN THENCE NORTH 141 FEET, THENCE RUN WEST 63 FEET, MORE OR LESS, TO THE EAST LINE OF THE PRESCRIPTIVE RIGHT OF WAY OF THE S.A.L. RAILROAD SPUR TRACK, THENCE SOUTH ALONG THE EAST LINE OF SAID RIGHT OF WAY OF SAID RAILROAD TO THE SOUTH LINE OF SAID LOT 2, THENCE EAST TO THE POINT OF BEGINNING IN LOT 1, OF SAID BLOCK 6 OF OLMSTEAD SURVEY.

- a/k/a 14804 NW 140 STREET, ALACHUA, FL 32615

was sold to

Rudy Rothseiden
P.O. Box 991
Alachua, FL 32616

WITNESS my hand and the seal of the court this 15th day of May, 2015.



Fid Amount:
\$173,641.95

J.K. Irby
As Clerk of the Court

By: *[Signature]*
As Deputy Clerk

Doc. St. Amt. \$ 1,215.90
J.K. "Buddy" Irby, Clerk of Circuit Court
Alachua County - By *[Signature]*
Deputy Clerk

14-43668

J.K. "BUDDY" IRBY
CLERK OF COURTS
ALACHUA COUNTY, FLA.

2015 MAY 12 AM 8:40

FILED
OK 47





2015 Roll Details — Real Estate Account At 14804 NW 140TH ST

Real Estate Account #03655 000 000

Parcel details

Latest bill

Full bill history

Print this page

2015	2014	2013	2012	...	2002
PAID	PAID	PAID	PAID		PAID

Apply for the 2016 Installment Payment Plan

Get Bills by Email

Owner: ROTHSEIDEN RUDY

PO BOX 991

Alachua, FL 32616

Situs: 14804 NW 140TH ST

PAID 2015-12-02 \$3,557.84

Effective 2015-11-30

Receipt #15-0042835

Account number: 03655 000 000

Alternate Key: 1013470

Millage code: 1700

Millage rate: 25.1507

Assessed value: 146,700

School assessed value: 146,700

Location is not guaranteed to be accurate.

Property Appraiser - GIS

2015 Annual bill

View

Ad valorem: \$3,689.61

Non-ad valorem: \$16.47

Total Discountable: 3706.08

No Discount NAVA: 0.00

Total tax:

Legal description

OLMSTEAD SURVEY PB C-79B LOT 1 BK 6 SEE PB A-68(LESS W 40 FT OF S 141 FT THEREOF PER OR 921/344) OR 4349/1836

Location

Book, page, item: --

Geo number: 15-08-18-03655000000

Range: 18

Township: 08

Section: 15



© 1997–2016, Grant Street Group. All rights reserved.

[Help](#) - [Contact us](#) - [Terms of service](#) - [Tax Collector home](#)

Powered by
GRANT STREET GROUP
Software That Works®



Bill History — Real Estate Account At 14804 NW 140TH ST

Real Estate Account #03655 000 000

[Parcel details](#)

[Latest bill](#)

[Full bill history](#)

[Print this page](#)

☐ Get Bills by Email

[Apply for the 2016 Installment Payment Plan](#)

Amounts as of 01/06/2016

Bill	Balance				
2015 Annual Bill	\$0.00	12/02/2015	Paid \$3,557.84 Receipt #15-0042835		Print (PDF)
		Effective 11/30/2015			
2014 Annual Bill	\$0.00	11/24/2014	Paid \$3,515.33 Receipt #14-0026717		Print (PDF)
2013 Annual Bill	\$0.00	11/22/2013	Paid \$3,517.03 Receipt #13-0027058		Print (PDF)
2012 Annual Bill	\$0.00	11/28/2012	Paid \$3,624.12 Receipt #12-0037613		Print (PDF)
2011 Annual Bill	\$0.00	11/28/2011	Paid \$3,920.06 Receipt #2011-9004477		Print (PDF)
2010 Installment Bill #4		06/28/2011	Paid \$1,372.07 Receipt #2010-1092668		Print (PDF)
2010 Installment Bill #3		12/30/2010	Paid \$1,292.19 Receipt #2010-3023395		Print (PDF)
2010 Installment Bill #2		09/23/2010	Paid \$1,434.10 Receipt #2009-9127124		Print (PDF)
2010 Installment Bill #1		07/26/2010	Paid \$1,576.76 Receipt #2009-9108051		Print (PDF)
Tax Deed Application #2985		06/28/2011	Deed paid off		
		04/29/2011	Deed applied		
		Paid \$5,675.12			
2009 Annual Bill		06/28/2011	Paid \$6,939.43 Receipt #2010-1092668		Print (PDF)
Tax Deed Application #2985		06/28/2011	Deed paid off		
		04/29/2011	Deed applied		
2008 Annual Bill	\$0.00	06/28/2011	Paid \$7,764.19 Receipt #2010-1092668		Print (PDF)
Tax Deed Application #2985		06/28/2011	Deed paid off		
		04/29/2011	Deed applied		
2007 Annual Bill	\$0.00	04/30/2010	Paid \$6,774.39 Receipt #2009-9078414		Print (PDF)
Redeemed certificate #937	Face \$5,892.81 Rate 7.75%	04/30/2010	Certificate redeemed		
		05/30/2008	Certificate issued		
		05/01/2008	Advertisement file created		
2006 Annual Bill	\$0.00	03/30/2009	Paid \$6,489.92 Receipt #2008-8066332		Print (PDF)
Redeemed certificate #804	Face \$6,174.92 Rate 0.25%	03/30/2009	Certificate redeemed		
		05/31/2007	Certificate issued		
		05/01/2007	Advertisement file created		
2005 Annual Bill	\$0.00	05/10/2006	Paid \$2,873.88 Receipt #2005-5023178		Print (PDF)
2004 Annual Bill	\$0.00	09/26/2005	Paid \$3,039.89 Receipt #2004-4040254		Print (PDF)
Redeemed certificate #870	Face \$2,889.18 Rate 0.25%	09/26/2005	Certificate redeemed		
		05/25/2005	Certificate issued		
		05/01/2005	Advertisement file created		
2003 Annual Bill	\$0.00	03/12/2004	Paid \$2,600.30 Receipt #2003-3066723		Print (PDF)
2002 Annual Bill	\$0.00	03/07/2003	Paid \$2,016.18 Receipt #2002-0263865		Print (PDF)
Total Balance	\$0.00				

Amounts as of 01/06/2016



© 1997–2016, Grant Street Group. All rights reserved.

[Help](#) - [Contact us](#) - [Terms of service](#) - [Tax Collector home](#)



ACCOUNT NUMBER	ESCROW CD	APPLICABLE VALUES AND EXEMPTIONS BELOW	MILLAGE CODE
03655 000 000			1700

14804 NW 140TH ST

ROTHSEIDEN RUDY
PO BOX 991
Alachua, FL 32616

OLMSTEAD SURVEY PB C-79B LOT 1 BK 6
SEE PB A-68(LESS W 40
See Additional Legal on Tax Roll

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.7950	146,700	0	146,700	1,290.23
BOCC CNTY DEBT LL	0.1595	146,700	0	146,700	23.40
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0900	146,700	0	146,700	13.20
LIBRARY GENERAL	1.3638	146,700	0	146,700	200.07
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP31 PROJECT (S01)	1.5000	146,700	0	146,700	220.05
SCHL DISCRNRY & CN (S01)	0.7480	146,700	0	146,700	109.73
SCHL GENERAL	5.0940	146,700	0	146,700	747.29
SCHOOL VOTED (S01)	1.0000	146,700	0	146,700	146.70
SUWANNEE RIVER WATER MGT DIST	0.4104	146,700	0	146,700	60.21
17 CITY OF ALACHUA	5.9900	146,700	0	146,700	878.73
TOTAL MILLAGE	25.1507		AD VALOREM TAXES		\$3,689.61

WANT TO RECEIVE YOUR BILL ELECTRONICALLY NEXT YEAR? VISIT www.AlachuaCollector.com AND SIGN UP FOR E-BILLS!

PAY ONLINE WITH E-CHECK



SCAN TO PAY

PAY ONLY ONE AMOUNT.

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
R710 710 BOCC SOLID WASTE MGMT	1.000	@ 16.4700	16.47
NON-AD VALOREM ASSESSMENTS			\$16.47

COMBINED TAXES AND ASSESSMENTS \$3,706.08

If Paid By
Please Pay **Nov 30, 2015**
\$0.00

JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

2015 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

1013470

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03655 000 000	14804 NW 140TH ST	

ROTHSEIDEN RUDY
PO BOX 991
Alachua, FL 32616

IF PAID BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2015	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

Receipt # 15-0042835

11/30/2015

Effective Date

\$3,557.84

Paid 12/02/2015

Please Retain this Portion for your Records. Receipt Available Online.