



Professional Consultants



JACKSONVILLE | GAINESVILLE | OCALA

8563 Argyle Business Loop, Ste. 3, Jacksonville, Florida 32244

132 NW 76th Drive, Gainesville, Florida 32607

101 NE 1st Avenue, Ocala, Florida 34470

planning.surveying.engineering.construction.

Application Package
Table of Contents

- 1. Cover Letter**
- 2. LsCPA Application**
- 3. Ownership Affidavit**
- 4. Property Deeds**
- 5. Property Tax Information**
- 6. Neighborhood Workshop Materials**
- 7. Justification Report**
- 8. CHW Map Set**

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August 16, 2016

Kathy Winburn, AICP, Planning Director
City of Alachua Planning & Zoning
15100 NW 142nd Terrace
Alachua, FL 32615

Re: Tara Village Comprehensive Plan Text Amendment, Large-scale Comprehensive Plan Amendment (LsCPA) & Planned Development – Residential (PD-R) Rezoning

Dear Kathy:

CHW resubmits these revised Comprehensive Plan Text Amendment, LsCPA and PD-R application packages on behalf of our clients, Tara Village, Inc. The packages include the following for each application:

- Three (3) copies of each revised application packages; and
- One (1) CD-ROM with a PDF of the complete package for each application.

These revisions are submitted in response to the Development Review Team comments received on August 10, 2016. Below are statements summarizing how each comment was addressed.

LsCPA (Map) Application

1. The Needs Analysis on Pages 16-17 has been revised to base the population projection and current household information on more recent BEBR data.
2. The Site Suitability Analysis was revised to include regulated plant and animal species, all other on-site soils, wellfield protection zones, and historic structures.

Comprehensive Plan Text Amendment

1. The Needs Analysis on Pages 9-10 has been revised to base the population projection and current household information on more recent BEBR data.
2. The response to TE Objective 1.1 on Pages 11-12 has been revised to clearly state that CR 235 is the only affected roadway segment.

Rezoning Application

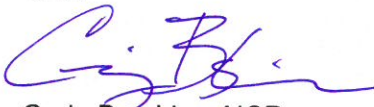
1. The response to Logical Development Pattern on Pages 13-14 has been revised to further explain that future development on Tax Parcel 03975-015-000 (which has been removed from the PD-R) will be consistent with the Agriculture FLU and zoning requirements or go through the process of amending these designations which would include public notification and a neighborhood workshop.
2. The response to Pre-mature Development on Pages 14-15 has been revised to base the population projection and current household information on more recent BEBR data.
3. The response to Not Deviate from Pattern of Development on Pages 16-17 has been revised to further explain that future development on Tax Parcel 03975-015-000 (which has been removed from the PD-R) will be consistent with the Agriculture FLU and zoning requirements or go through the process of amending these designations which would include public

notification and a neighborhood workshop. Compatibility with adjacent parcels is addressed in this response as well as throughout the entire report.

4. Sheet 2 of the PD Master Plan has been revised to replace references to LsCPA application with PD-R Rezoning application.
5. The response to Dimensional Standards on Pages 23-24 has been revised to further explain that future development on Tax Parcel 03975-015-000 (which has been removed from the PD-R) will be consistent with the Agriculture FLU and zoning requirements or go through the process of amending these designations which would include public notification and a neighborhood workshop.
6. The Site Suitability Analysis was revised to include regulated plant and animal species, all other on-site soils, wellfield protection zones, and historic structures.
7. The table on the PD Master Plan Sheet 1 has been revised to identify Common Area / Open Space as area (C).
8. Note 4 on the PD Master Plan Sheet 1 has been revised to indicate that approximately $\pm 31\%$ of the site will be Open Space.
9. Note 1 on the PD Master Plan Sheet 2 has been revised per staff's recommendation.

We trust this submittal is sufficient for your review, recommendation for approval, and presentation to the Planning and Zoning Board. Please contact me directly if you have any questions or need any additional information.

Sincerely,
CHW



Craig Brashier, AICP
Planning Manager

L:\2015\15-0440\Planning\Application\160816 Resubmittal\LTR_160816_Cvr LsCPA & PD-R.docx

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City of Alachua Comprehensive Plan Amendment Application

FOR PLANNING USE ONLY

Case #: _____

Application Fee: \$ _____

Filing Date: _____ Acceptance Date: _____

Review Type: P&Z, CC

☒ **Large Scale Comprehensive Plan Amendment** (greater than 10 acres)

☐ **Small Scale Comprehensive Plan Amendment** (10 acres or less)

NOTE: It is the burden of the applicant to be familiar with the requirements of Chapter 163, Florida Statutes, which are related to Comprehensive Plan Amendments. Requirements for Comprehensive Plan Amendments may change with each Legislative Session. Please contact the Planning and Community Development Department if you need assistance with locating this information.

A. PROJECT

1. Project Name: Tara Village
2. Address of Subject Property: 12207 NW 157th Street
3. Parcel ID Number(s): 03974-004-000 and 03974-005-000
4. Existing Use of Property: Vacant / Undeveloped
5. Existing Future Land Use Map Designation: Agriculture
6. Proposed Future Land Use Map Designation: Moderate Density Residential
7. Acreage: ±21.64

B. APPLICANT

1. Applicant's Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s) or Contact Person(s): Craig Brashier, AICP Title: Planning Manager
Company (if applicable): CHW
Mailing address: 132 NW 76th Drive
City: Gainesville State: FL ZIP: 32607
Telephone: () 331-1976 FAX: () 331-2476 e-mail: craigb@chw-inc.com
3. If the applicant is agent for the property owner*:
Name of Owner (title holder): Tara Village, Inc.
Mailing Address: 7717 NW 20th Lane
City: Gainesville State: FL ZIP: 32605

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property? ☐ Yes ☒ No
If yes, list names of all parties involved: _____
If yes, is the contract/option contingent or absolute? ☐ Contingent ☐ Absolute

D. ATTACHMENTS

1. Statement of proposed change and maps which illustrate the proposed change.
2. Urban Sprawl Analysis which evaluates as to whether the plan amendment incorporates a development pattern or urban form that achieves four or more of the following eight criteria:
 - (I) Directs growth and development to areas of the community in a manner that does not adversely impact natural resources;
 - (II) Promotes the efficient and cost effective provision or extension of public infrastructure and services;
 - (III) Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that support a range of housing choices and a multimodal transportation system;
 - (IV) Promotes conservation of water and energy;
 - (V) Preserves agricultural areas and activities;

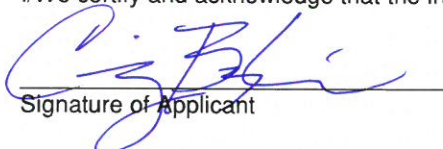
City of Alachua ♦ Planning and Community Development Department
PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

Revised 9/1/2011

- (VI) Preserves open space and natural lands and provides for public open space and recreation needs;
 - (VII) Creates a balance of land uses based on demands of residential population for the nonresidential needs of an area; and,
 - (VIII) Provides uses, densities and intensities of use and urban form that would remediate an existing or planned sprawl development pattern or provides for an innovative development pattern such as transit oriented development or new towns.
3. Concurrency Impact Analysis which considers the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools in accordance with Article 2.4.14 of the Land Development Regulations.
 4. Needs Analysis which demonstrates the necessity for the proposed increase in the proposed Future Land Use Map Designation. This analysis may consist, in whole or part, of a market impact study or real estate needs analysis.
 5. Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)
 6. A current aerial map of the property (may be obtained from the Alachua County Property Appraiser).
 7. Three (3) sets of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits. (Obtain from the Alachua County Property Appraiser).
 8. If the application includes any Future Land Use Map Designation which permits residential uses, Public School Student Generation Form.
 9. Legal description with tax parcel number.
 10. Proof of ownership.
 11. Proof of payment of taxes.
 12. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any necessary technical review will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any legislative and/or quasi-judicial action of any kind on the petition, appeal, or development application.

All 12 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.


Signature of Applicant

Craig Brashier, AICP, Planning Manager

Typed or printed name and title of applicant

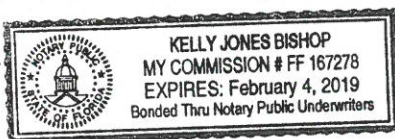
Signature of Co-applicant

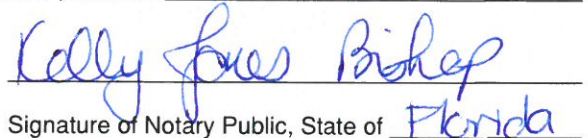
Typed or printed name of co-applicant

State of Florida County of Alachua

The foregoing application is acknowledged before me this 24th day of May, 2016 by Craig Brashier, who is/are personally known to me, or who has/have produced _____ as identification.

NOTARY SEAL




Signature of Notary Public, State of Florida

Tara Village

Alachua County Tax Parcel 03974-004-000

Legal Description

A tract of land situated in the NW ¼ of Section 27, Township 8 South, Range 18 East, Alachua County Florida, said tract of land being more particularly described as follows:

Commence at the Southwest corner of the aforementioned NW ¼ of Section 27, Township 8 South, Range 18 East for a point of reference and run North 01 deg. 12 min. 59 sec. East, along the West line of said Section 27, a distance of 1076.07 feet to an iron pipe and the True Point of Beginning; thence continue North 01 deg. 12 min. 59 sec. East along said West line a distance of 343.08 feet to an iron pipe, said iron pipe being 1229.42 feet South of the NW corner of said Section 27; thence run South 89 deg. 17 min. 43 sec. East parallel with the South line of said NW 1/4, a distance of 1238.91 feet to a concrete monument on the Westerly right of way line of Interstate Highway No. 75 (300 foot right of way); thence run South 21 deg. 27 min. 14 sec. East along said Westerly right of way line, a distance of 748.32 feet to a concrete monument; thence run North 89 deg. 17 min. 43 sec. West, parallel with said South line, a distance of 904.67 feet to a concrete monument; thence run North 01 deg. 12 min. 59 sec. East, parallel with said West line of Section 27, a distance of 350.00 feet to a concrete monument; thence run North 89 deg. 17 min. 43 sec. West, parallel with said South line, a distance of 622.68 feet to the True Point of Beginning.

Subject to restrictions, reservations and easements of record, (except that this reference shall not act to reimpose the same) and taxes for the current and subsequent years.

Tara Village

Alachua County Tax Parcel 03974-005-000

Legal Description

A tract of land situated in Section 27, Township 8 South, Range 18 East, Alachua County, Florida, said tract of land being more particularly described as follows:

Commence at the Southwest corner of the Northwest $\frac{1}{4}$ of the aforementioned Section 27, Township 8 South, Range 18 East for the point of reference, and run North 01 deg. 12 min. 59 sec. East along the west line of said Section 27, a distance of 726.07 feet to an iron pipe and the true Point of Beginning; thence continue North 01 deg. 12 min. 59 sec. East, along said West line, a distance of 350.00 feet to an iron pipe, thence run South 89 deg. 17 min. 43 sec. East, parallel with the South line of said Northwest $\frac{1}{4}$ a distance of 622.68 feet to a concrete monument; thence run south 01 deg. 12 min. 59 sec. west, parallel with said west line, a distance of 350.00 feet to a concrete monument; thence run South 89 deg. 17 min. 43 sec. East, parallel with said South line, a distance of 277.80 feet to a concrete monument; thence run South 01 deg. 12 min. 59 sec. West, parallel with said west line, a distance of 726.07 feet to a concrete monument; said concrete monument lying on said South line; thence run North 89 deg. 17 min. 43 sec. West, along said South line, a distance of 600.32 feet to an iron pipe; thence run North 01 deg. 12 in. 59 sec. East, parallel with said West line, a distance of 726.07 feet; thence run North 89 deg. 17 min. 43 sec. West, parallel with said South line, a distance of 300.16 feet to the True Point of Beginning, containing 15.009 acres more or less.

Less that tract of land containing 5.003 acres more or less conveyed by warranty

deed dated December 15, 1981 and recorded in official records Book 1182, page 440, public records of Alachua County, Florida, and Less that tract of land containing 5.003 acres more or less conveyed by Warranty deed dated October 16, 1981, recorded in Official Record Book 1386, page 379, public records of Alachua County, Florida.

Subject to restrictions, reservations and easements of record, (except that this reference shall not act to reimpose the same) and taxes for the current and subsequent years.



City of
ALACHUA

THE GOOD LIFE COMMUNITY

FOR PLANNING USE ONLY

Case #: _____
Application Fee: \$ _____
Filing Date: _____
Acceptance Date: _____
Review Type: Admin

Public School Student Generation Form for Residential Development in the City of Alachua

A. APPLICANT

1. Applicant's Status (check one):

☐ Owner (title holder)

☒ Agent

2. Name of Applicant(s) or Contact Person(s): Craig Brashier, AICP Title: Planning Manager

Company (if applicable): CHW

Mailing address: 132 NW 76th Drive

City: Gainesville

State: FL

ZIP: 32607

Telephone: (352) 331-1976

FAX: (352) 331-2476

e-mail: craigb@chw-inc.com

3. If the applicant is agent for the property owner*:

Name of Owner (title holder): Tara Village, Inc.

Mailing Address: 7717 NW 20th Lane

City: Gainesville

State: FL

ZIP: 32605

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

B. PROJECT

1. Project Name: Tara Village

2. Address of Subject Property: 12207 NW 157th Street

3. Parcel ID Number(s): 03974-004-000 and 03974-005-000

4. Section 27 Township 08 Range 18 Grant N/A Acreage: ±21.64

5. Existing Use of Property: Vacant / Undeveloped

6. Future Land Use Map Designation: Moderate Density Residential

7. Zoning Designation: Planned Development - Residential (PD-R)

8. Development Data (check all that apply):

☒ Single Family Residential

Number of Units 20

☐ Multi-Family Residential

Number of Units _____

☐ Exempt (see exempt developments on page 2)

9. Review Type:

Preliminary Development Order

☒ Comprehensive Plan Amendment

☒ Large Scale

☐ Small Scale

☒ Site Specific Amendment to the Official Zoning Atlas (Rezoning)

☐ Revised

Final Development Order

☐ Preliminary Plat

☐ Final Plat

☐ Site Plan

10. School Concurrency Service Areas (SCSA): Based on the project location, identify the corresponding SCSA for each school type. Maps of the SCSAs can be obtained from the Alachua County Growth Management Department Map Gallery by clicking on the "Public Schools" tab: http://growth-management.alachuacounty.us/gis_services/map_gallery/

Elementary: Alachua

Middle: Mebane

High: Santa Fe

City of Alachua ♦ Planning and Community Development Department
PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

Revised April 30, 2014

Explanation of Student Generation Calculation: Student Generation is calculated based on the type of residential development and the type of schools. The number of students stations (by school type – Elementary, Middle and High School) used for calculating the school concurrency impacts is equal to the number of dwelling units by housing type multiplied by the student generation multiplier (for housing type & school type) established by the School Board. **Calculations are rounded to the nearest whole number.** Student Generation for each school type is calculated individually, in order to correctly assess the impact on the School Concurrency Service Area (SCSA) for each school type (Elementary, Middle and High School).

of Elementary School Student Stations = # of housing units x Elementary school student generation multiplier
 # of Middle School Student Stations = # of housing units x Middle school student generation multiplier
 # of High School Student Stations = # of housing units x High school student generation multiplier

Student Generation Calculations: Single Family Residential Development

Elementary School	20	units	x	0.15	Elementary School Multiplier*	3	Student Stations**
Middle School	20	units	x	0.07	Middle School Multiplier*	1	Student Stations**
High School	20	units	x	0.09	High School Multiplier*	2	Student Stations**

Student Generation Calculations: Multi-Family Residential Development

Elementary School	_____	units	x	_____	Elementary School Multiplier*	_____	Student Stations**
Middle School	_____	units	x	_____	Middle School Multiplier*	_____	Student Stations**
High School	_____	units	x	_____	High School Multiplier*	_____	Student Stations**

* Student generation multipliers may be obtained from SBAC at:

http://www.sbac.edu/pages/ACPS/Departments_Programs/DepartmentsAF/D_thru_F/FacilitiesMainConstr/Local_Certification_Packets/City_of_Alachua

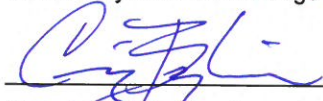
** Round to the nearest whole number

EXEMPT DEVELOPMENTS (check all that apply):

- ☐ Existing legal lots eligible for a building permit.
- ☐ Development that includes residential uses that has received final development plan approval prior to the effective date for public school concurrency, or has received development plan approval prior to June 24, 2008, provided the development approval has not expired.
- ☐ Amendments to final development orders for residential development approved prior to the effective date of public school concurrency, and which do not increase the number of students generated by the development.
- ☐ Age-restricted developments that prohibit permanent occupancy by persons of school age, provided this condition is satisfied in accordance with the standards of the Public Schools Facilities Element or the ILA.
- ☐ Group quarters that do not generate public school students, as described in the ILA.

A completeness review of the application will be conducted within 5 business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.



 Signature of Applicant

 Signature of Co-applicant

Craig Brashier, AICP, Planning Manager

Typed or printed name and title of applicant

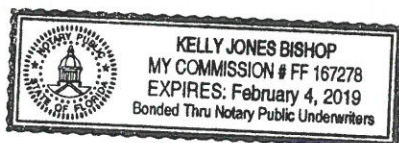
 Typed or printed name of co-applicant

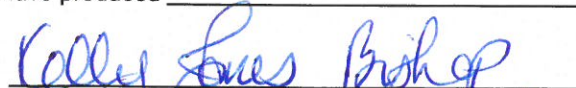
State of Florida County of Alachua

The foregoing application is acknowledged before me this 24th day of May, 2016 by Craig

Brashier, who is/are personally known to me, or who has/have produced _____
 as identification.

NOTARY SEAL




 Signature of Notary Public, State of Florida

City of Alachua ♦ Planning and Community Development Department
 PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

Revised April 30, 2014

Certification

This application for a determination of adequacy of public schools to accommodate the public school students generated by the proposed development has been reviewed for compliance with the school concurrency management program and in accordance with the ILA. The following determinations have been made:

☐ **Approved** based upon the following findings:

Elementary SCSA: _____

- ☐ Capacity Available
- ☐ Capacity Available in 3 years
- ☐ Capacity Available in Adjacent SCSA

Middle SCSA: _____

- ☐ Capacity Available
- ☐ Capacity Available in 3 years
- ☐ Capacity Available in Adjacent SCSA

High SCSA: _____

- ☐ Capacity Available
- ☐ Capacity Available in 3 years
- ☐ Capacity Available in Adjacent SCSA

Capacity Required: _____

Available Capacity: _____

Available Capacity: _____

Available Capacity: _____

Capacity Required: _____

Available Capacity: _____

Available Capacity: _____

Available Capacity: _____

Capacity Required: _____

Available Capacity: _____

Available Capacity: _____

Available Capacity: _____

☐ **Denied** for reasons stated: _____

☐ **Local Government Certification**

Approved by: _____

Date: _____

☐ **School Board Staff Certification**

Vicki McGrath, Director, Community Planning
School Board of Alachua County
352-955-7400 x 1423

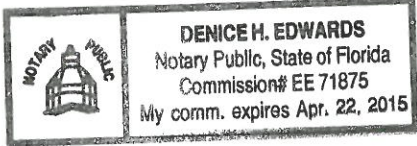
Date: _____

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PROPERTY OWNER AFFIDAVIT

Owner Name: Tara Village, Inc.			
Address: 7717 NW 20th Lane Gainesville, Florida 32605		Phone: (352) 870-8772	
Agent Name: Causseaux, Hewett, and Walpole, Inc.			
Address: 132 NW 76th Drive Gainesville, Florida 32607		Phone: (352) 331-1976	
Parcel No.: 03974-004-000 & 03974-005-000			
Acreage: ±21.64		S: 27	T: 8 R: 18
Requested Action: Large-scale Comprehensive Plan Amendment (Ls-CPA): From Agriculture to Moderate Density Residential			
I hereby certify that: I am the property owner of record. I authorize the above listed agent to act on my behalf for the purposes of this application.			
Property owner signature: <u>[Signature]</u>			
Printed name: <u>B. LASSEN</u>			
Date: <u>01.12.13</u>			
The foregoing affidavit is acknowledged before me this <u>12th</u> day of <u>January</u> , 20 <u>13</u> , by <u>Berit H Lassen</u> , who is/are personally known to me, or who has/have produced <u>FLDL</u> as identification.			
NOTARY SEAL		<u>[Signature]</u> Signature of Notary Public, State of <u>Florida</u>	
			

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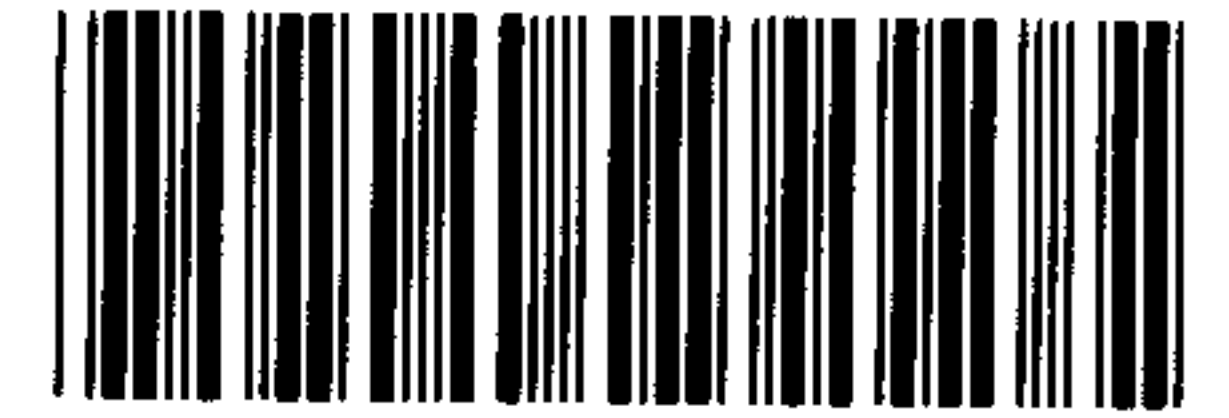
Mar 25, 2010 12:00 PM
BOOK 3944 PAGE 1138

J. K. IRBY
Clerk Of Circuit Court
Alachua County, Florida
CLERK13 Receipt # 438081

This Document Prepared by and Return to:

JOHN C. BOVAY, ATTORNEY AT LAW
BOVAY & COOK, P.A.
901 N.W. 57th Street
Gainesville, FL 32605
(352) 331-9092

Doc Stamp-Deed: \$0.70



2564193

2 PGS

Tax Parcel I.D. No: 03974-004-000

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, made and executed as of the 22nd day of March, 2010 by A.A. Moukhtara Company, whose post office address is 7717 NW 20th Lane, Gainesville, FL 32605, ("Grantor"), to Tara Village, Inc., a Florida Corporation ("Grantee").

WITNESSETH that said Grantor, for and in consideration of the sum of Ten and no/100 (\$10.00) Dollars, and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, does grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee, and Grantee's heirs and assigns forever, all of the following described land, situate, lying and being in Alachua County, Florida, to wit:

A tract of land situated in the NW ¼ of Section 27, Township 8 South, Range 18 East, Alachua County Florida, said tract of land being more particularly described as follows:

Commence at the Southwest corner of the aforementioned NW ¼ of Section 27, Township 8 South, Range 18 East for a point of reference and run North 01 deg. 12 min. 59 sec. East, along the West line of said Section 27, a distance of 1076.07 feet to an iron pipe and the True Point of Beginning; thence continue North 01 deg. 12 min. 59 sec. East along said West line a distance of 343.08 feet to an iron pipe, said iron pipe being 1229.42 feet South of the NW corner of said Section 27; thence run South 89 deg. 17 min. 43 sec. East parallel with the South line of said NW 1/4, a distance of 1238.91 feet to a concrete monument on the Westerly right of way line of Interstate Highway No. 75 (300 foot right of way); thence run South 21 deg. 27 min. 14 sec. East along said Westerly right of way line, a distance of 748.32 feet to a concrete monument; thence run North 89 deg. 17 min. 43 sec. West, parallel with said South line, a distance of 904.67 feet to a concrete monument; thence run North 01 deg. 12 min. 59 sec. East, parallel with said West line of Section 27, a distance of 350.00 feet to a concrete monument; thence run North 89 deg. 17 min. 43 sec. West, parallel with said South line, a distance of 622.68 feet to the True Point of Beginning.

Subject to restrictions, reservations and easements of record, (except that this reference shall not act to reimpose the same) and taxes for the current and subsequent years.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To have and to hold, the same in fee simple forever.


And the Grantor hereby covenants with the said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor.

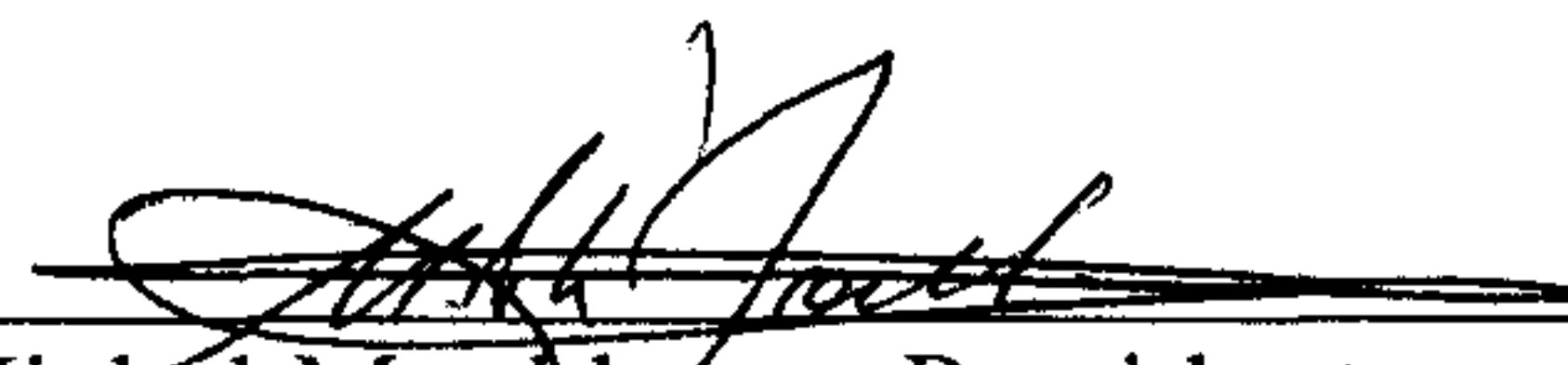
This deed was prepared without the benefit of a title abstract or survey.

“Grantor” and “Grantee” include the masculine and feminine and singular and plural as the context requires.

IN WITNESS WHEREOF, Grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness: Brittany Burns


Michel Moukhtara, President
A.A. Moukhtara Company

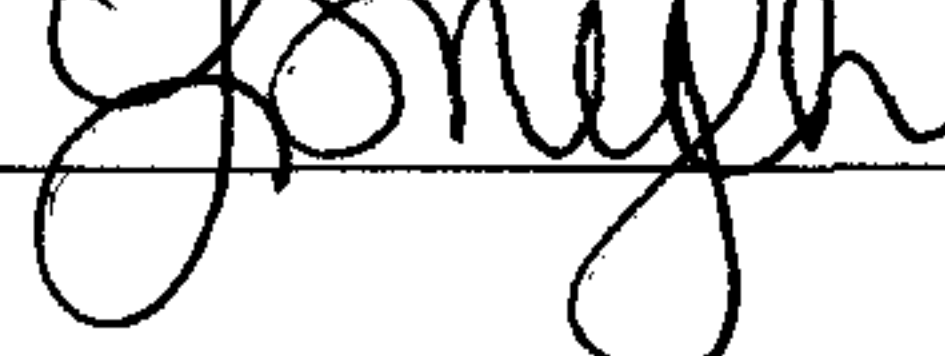

Witness: Manssa Heible

INSTRUMENT # 2564193
2 PGS

STATE OF FLORIDA
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me on March 22, 2010, by _____ who is ☒ personally known to me or ☐ who has produced _____ as identification.

Notary Public - State of Florida

Sign: 

My Commission Expires

Print: _____



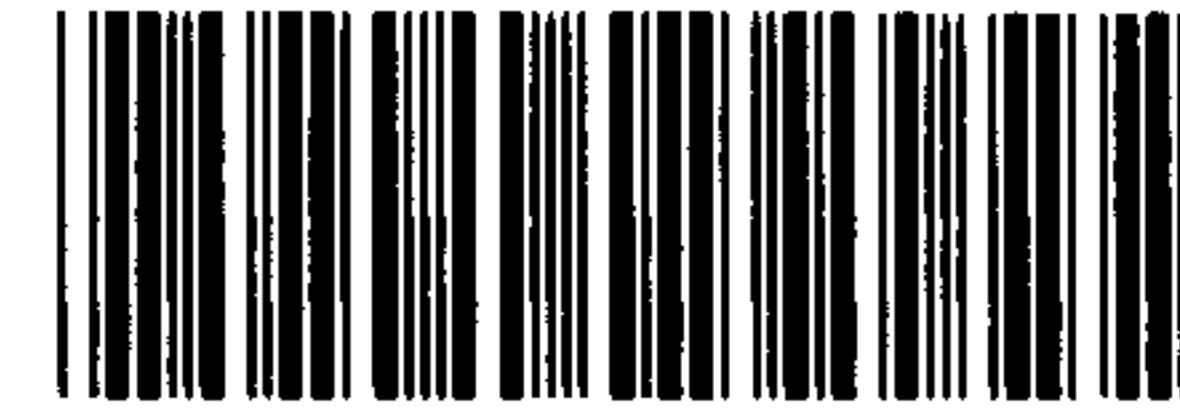
Mar 25, 2010 12:00 PM
BOOK 3944 PAGE 1147

J. K. IRBY
Clerk Of Circuit Court
Alachua County, Florida
CLERK13 Receipt # 438081

This Document Prepared by and Return to:

JOHN C. BOVAY, ATTORNEY AT LAW
BOVAY & COOK, P.A.
901 N.W. 57th Street
Gainesville, FL 32605
(352) 331-9092

Doc Stamp-Deed: \$0.70



2564197

2 PGS

Tax Parcel I.D. No: 03974-005-000

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED, made and executed as of the 22nd day of March, 2010 by A.A. Moukhtara Company, whose post office address is 7717 NW 20th Lane, Gainesville, FL 32605, ("Grantor"), to Tara Village, Inc., a Florida Corporation ("Grantee").

WITNESSETH that said Grantor, for and in consideration of the sum of Ten and no/100 (\$10.00) Dollars, and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, does grant, bargain, sell, alien, remise, release, convey and confirm unto the said Grantee, and Grantee's heirs and assigns forever, all of the following described land, situate, lying and being in Alachua County, Florida, to wit:

A tract of land situated in Section 27, Township 8 South, Range 18 East, Alachua County, Florida, said tract of land being more particularly described as follows:

Commence at the Southwest corner of the Northwest ¼ of the aforementioned Section 27, Township 8 South, Range 18 East for the point of reference, and run North 01 deg. 12 min. 59 sec. East along the west line of said Section 27, a distance of 726.07 feet to an iron pipe and the true Point of Beginning; thence continue North 01 deg. 12 min. 59 sec. East, along said West line, a distance of 350.00 feet to an iron pipe, thence run South 89 deg. 17 min. 43 sec. East, parallel with the South line of said Northwest ¼ a distance of 622.68 feet to a concrete monument; thence run south 01 deg. 12 min. 59 sec. west, parallel with said west line, a distance of 350.00 feet to a concrete monument; thence run South 89 deg. 17 min. 43 sec. East, parallel with said South line, a distance of 277.80 feet to a concrete monument; thence run South 01 deg. 12 min. 59 sec. West, parallel with said west line, a distance of 726.07 feet to a concrete monument; said concrete monument lying on said South line; thence run North 89 deg. 17 min. 43 sec. West, along said South line, a distance of 600.32 feet to an iron pipe; thence run North 01 deg. 12 in. 59 sec. East, parallel with said West line, a distance of 726.07 feet; thence run North 89 deg. 17 min. 43 sec. West, parallel with said South line, a distance of 300.16 feet to the True Point of Beginning, containing 15.009 acres more or less.

Less that tract of land containing 5.003 acres more or less conveyed by warranty

deed dated December 15, 1981 and recorded in official records Book 1182, page 440, public records of Alachua County, Florida, and Less that tact of land containing 5.003 acres more or less conveyed by Warranty deed dated October 16, 1981, recorded in Official Record Book 1386, page 379, public records of Alachua County, Florida.

Subject to restrictions, reservations and easements of record, (except that this reference shall not act to reimpose the same) and taxes for the current and subsequent years.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To have and to hold, the same in fee simple forever.

And the Grantor hereby covenants with the said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor.

This deed was prepared without the benefit of a title abstract or survey.


“Grantor” and “Grantee” include the masculine and feminine and singular and plural as the context requires.

IN WITNESS WHEREOF, Grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness: Brittany Burns


Witness: Munssa Helble


Michel Moukhtara, President
A.A. Moukhtara Company

INSTRUMENT # 2564197 2 PGS

STATE OF FLORIDA
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me on March 22, 2010, by _____ who is ☒ personally known to me or ☐ who has produced _____ as identification.

Notary Public - State of Florida
My Commission Expires

Sign: 
Print: _____



Application Package
Table of Contents

1. Cover Letter
2. LsCPA Application
3. Ownership Affidavit
4. Property Deeds
- 5. Property Tax Information**
6. Neighborhood Workshop Materials
7. Justification Report
8. CHW Map Set



2015 Roll Details — Real Estate Account At 12207 NW 157TH ST

Real Estate Account #03974 004 000

Parcel details

Latest bill

Full bill history

Print this page

2015	2014	2013	2012	...	2002
PAID	PAID	PAID	PAID		PAID

Get Bills by Email

PAID 2016-05-23 \$1,884.54
Receipt #15-0157072

Owner: TARA VILLAGE INC
7717 NW 20TH LN
GAINESVILLE, FL 32605
Situs: 12207 NW 157TH ST

Account number: 03974 004 000
Alternate Key: 1014729
Millage code: 1700
Millage rate: 25.1507

Assessed value: 71,300
School assessed value: 71,300

Property Appraiser
Location is not guaranteed to be accurate.

2015 Annual bill View

Ad valorem: \$1,793.24
Non-ad valorem: \$16.47
Total Discountable: 1809.71
No Discount NAVA: 0.00
Total tax:

Legal description

COM SW COR OF NW1/4 N ALONG W/L 1076.07 FT TP POB N 343.08 FT E 1238.91 FT TO WLY R/W I-75 S 21 DEG E 748.32 FT W 904.67 FT N 350 FT W 622.68 FT TO POB OR 3944/1138

Location

Book, page, item: --
Geo number: 27-08-18-03974004000
Range: 18
Township: 08
Section: 27







2015 Roll Details — Real Estate Account #03974 005 000

Real Estate Account #03974 005 000

Parcel details

Latest bill

Full bill history

Print this page

2015	2014	2013	2012	...	2002
PAID	PAID	PAID	PAID		PAID

Get Bills by Email

PAID 2016-05-23 \$849.50
Receipt #15-0157072

Owner: TARA VILLAGE INC
7717 NW 20TH LN
GAINESVILLE, FL 32605
Situs: (unknown)

Account number: 03974 005 000
Alternate Key: 1014730
Millage code: 1700
Millage rate: 25.1507

Assessed value: 32,000
School assessed value: 32,000

Property Appraiser
Location is not guaranteed to be accurate.

2015 Annual bill View

Ad valorem: \$804.82
Non-ad valorem: \$0.00
Total Discountable: 804.82
No Discount NAVA: 0.00
Total tax:

Legal description
COM SW COR OF NW1/4 N ALONG W/L OF NW1/4 726.07 FT TO POB N 350 FT E PAR TO S/L OF NW1/4 622.68 FT S 350 FT W 622.68 FT POB OR 3944/1147
Location

Book, page, item: --
Geo number: 27-08-18-03974005000
Range: 18
Township: 08
Section: 27





Application Package
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1. Cover Letter
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PUBLIC NOTICE

A Neighborhood Meeting will be held to discuss a proposed Large-scale Comprehensive Plan Amendment and Rezoning for ±21.5 acres, generally located on NW 157th Street, south of CR 235 and west of I-75 (Alachua County Tax Parcels 03974-004-000 and 03974-005-000). The proposed changes will amend the Future Land Use Map classification from Agriculture to Moderate Density Residential and the Official Zoning Atlas from Agriculture (A) to Planned Development – Residential (PD-R). This is not a public hearing.

The meeting's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The workshop is Thursday, May 26, 2016 at 5:30 p.m. at the Hathcock Community Center, 15818 NW 140th Street, Alachua, FL 32615.

Contact:

Craig Brashier, AICP

Phone Number:

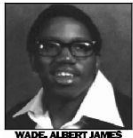
(352) 331-1976



OBITUARIES

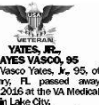
Funeral Notices

Funeral Notices



WADE, ALBERT JAMES

June 27, 1940 – May 4, 2016
Albert James Wade was born on June 27, 1940 to Willie Wade Jr. and Aurea Pearl Wade (Anderson) in St. Petersburg, Florida. He was a 1978 graduate of Bonifay High School where he was a member of the wrestling and track teams. He worked for many years at Portland Restaurant. On May 4, 2016, he peacefully passed away at UH Shands Hospital. Albert was preceded in death by his mother Aurea Pearl Wade, his father Willie Wade Jr., sisters Lenora Wade and Willie Pearl Wade. He is survived by his siblings: Lenore Anderson and John Wade of Jasper, FL; George Anderson (Cherlin), Valdosta, GA; Donald Wade, Spokane, WA; Rossie Williams (Macros), Lithonia, GA; and Mary Wade Jackson, Valle Vista, FL. He is also survived by a host of aunts, uncles, nieces, nephews, cousins, and friends. He will be buried at Forest Meadows Cemetery in Jasper, Florida on Thursday, May 12, 2016 at 11 a.m. Arrangements entrusted to Booker T. Hunt Funeral Home.



YATES, JR., MAYES VASCO

Mayes Vasco Yates, Jr., 95, of Newberry, FL, passed away May 9, 2016 at the VA Medical Center in Lake City. He was born to Mayes Vasco Yates, Sr. and Gussie Mae Cadden Yates on November 28, 1920 in Cairo, GA. He proudly served in the 1st Marine Division in the Marine Corps during WWII and retired as an electrical supervisor at the University of Florida. He was preceded in death by his son, Anthony Yates. Mr. Yates is survived by two sons, Donald Yates (Anna Marie) and Mayes Vasco Yates, Jr. (Judy); daughter Joan Rickard (Thomas); three grandchildren, "Tanner" Yates, DJ Yates, and Kimberly Yates; and great-grandchildren, Katie Yates. Graveside funeral services will be held at 3:00 p.m. on Friday, May 13, 2016 at Forest Meadows Memorial Park East, 3700 SE Hawthorne Road, Gainesville. Visitation will be from 6:00-7:00 p.m. Thursday, May 12, at Forest Meadows Funeral Home, 725 NW 23rd Avenue, Gainesville. An online guestbook is available for condolences at www.forestmeadowsfun.com.



WILLIAMS, ANGELINA

Angelina Williams memorial services will be held on Saturday May 14, @ Carnegie Funeral Home in the Wade Goodloe memorial chapel, 11200 A.H.L. and immediately following the memorial service the family and friends will gather at the Mitchell's Estate (10054 NW 38th Terrace) Chiefland, Florida. Services are under the direction of Carnegie Funeral Home, 227 SE 4th Ave., Chiefland, Florida 32644, (352) 493-1857 or fax (352) 493-0830.



Mr. Donald B. Small

Sending Love Your Way
Sail with me
My Husband
My Confidant
My Best Friend
As I continue my life you still watch over me and I am still your loving wife.
—Valerie Small
For spectators read the 23rd Psalm, may God bless the readers and doors of his word...

MISSING TEEN FISHERMEN

Families of missing boys again clash over phone

The Associated Press

JUPITER — The parents of two teen fishermen who disappeared in a storm off Florida clashed again Wednesday after Apple said it could not retrieve any data from an iPhone discovered in the wreckage of their boat eight months after they capsized.

Blu Stephanos announced Wednesday that the iPhone belonged to his son Austin when he was 17. Austin was 17 when he disappeared last July after their 19-foot boat overturned during a storm off the coast of Jupiter, Florida. A massive sea and air search never found their bodies, but a Norwegian cargo ship picked up their boat near Bermuda in March. Austin's phone was found on board, and the families hoped it would provide clues to what happened.

Other remnants of their lives are on their

way home: The boat and recovered fishing gear are scheduled to arrive back in Florida on Monday aboard a cargo ship.

Meanwhile, Stephanos said in a statement that he will keep the phone as a memento of his son.

"The fact that it can no longer function as a phone doesn't diminish its value as a cherished memory of my beloved son," he wrote.

"It's a small piece of him; something he used to call me at night when he needed to talk to someone, something he put his stickers on and carried with him every day. As any parent would understand, to me, it's not a broken phone, but a memory of my son that I will hold close to my heart and treasure for the rest of my life."

Perry's mother, Pamela Cohen, issued her own statement, saying she wants to work with the other boy's family to have the phone examined by more experts.

"I owe it to Perry to exhaust every possible avenue in pursuit of

finding out what happened to him," wrote Cohen, who took Stephanos to court last month when he balked at having Apple examine the phone.

"According to Apple, there are other experts in the field who may be able to pick up where Apple left off, to continue

the work," she wrote. "We are not giving up on the iPhone's potential for evidence until all viable efforts have been exhausted."

Austin and Perry were close friends, but rifts have appeared between their families since they disappeared.

PUBLIC NOTICE

A Neighborhood Meeting will be held to discuss a proposed Large-scale Comprehensive Plan Amendment and Rezoning for ±21.5 acres, generally located on NW 157th Street, south of CR 235 and west of I-75 (Alachua County Tax Parcels 03974-004-000 and 03974-005-000). The proposed changes will amend the Future Land Use Map classification from Agriculture to Moderate Density Residential and the Official Zoning Atlas from Agriculture (A) to Planned Development – Residential (PD-R). This is not a public hearing.

The meeting's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The workshop is Thursday, May 26, 2016 at 5:30 p.m. at the Hathcock Community Center, 15818 NW 140th Street, Alachua, FL 32615.

Contact:
Craig Brashier, AICP

Phone Number:
(352) 331-1976



PUBLIC NOTICE OF ENACTMENT OF AN ORDINANCE OF THE CITY OF ALACHUA, FLORIDA

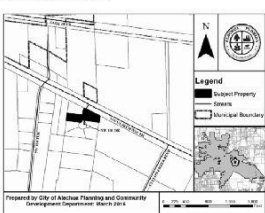
NOTICE OF PUBLIC HEARING BEFORE THE CITY COMMISSION OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the City Commission of the City of Alachua will hold a public hearing on a proposed ordinance. The hearing will be held on May 23, 2016, at 6:30 p.m., in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida.

The ordinance title is as follows:

ORDINANCE 16-05

AN ORDINANCE OF THE CITY OF ALACHUA, FLORIDA, RELATING TO THE SMALL SCALE AMENDMENT OF THE CITY OF ALACHUA COMPREHENSIVE PLAN FUTURE LAND USE MAP; AMENDING THE FUTURE LAND USE MAP FROM INDUSTRIAL TO COMMERCIAL ON APPROXIMATELY 2.5 ACRES, LOCATED SOUTH OF NW US HIGHWAY 441, AND EAST AND WEST OF NW 101ST DRIVE; TAX PARCEL NUMBERS 05964-002-001, 05964-002-006, AND PORTION OF 05964-002-000; REPEALING ALL ORDINANCES IN CONFLICT; PROVIDING SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.01(5), Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

PUBLIC NOTICE OF ENACTMENT OF AN ORDINANCE OF THE CITY OF ALACHUA, FLORIDA

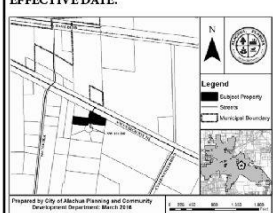
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The ordinance title is as follows:

ORDINANCE 16-06

AN ORDINANCE OF THE CITY OF ALACHUA, FLORIDA, RELATING TO THE AMENDMENT OF THE OFFICIAL ZONING ATLAS; AMENDING THE OFFICIAL ZONING ATLAS FROM LIGHT AND WAREHOUSE INDUSTRIAL (ILW) TO COMMERCIAL INTENSIVE (CI) ON APPROXIMATELY 2.5 ACRES; LOCATED SOUTH OF NW US HIGHWAY 441, AND EAST AND WEST OF NW 101ST DRIVE; TAX PARCEL NUMBERS 05964-002-001, 05964-002-006, AND PORTION OF 05964-002-000; REPEALING ALL ORDINANCES IN CONFLICT; PROVIDING SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.01(5), Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

VALUJET CRASH

Families gather seeking closure 20 years later

By Jennifer Kay
and Freda Priso
The Associated Press

MIAMI — Relatives of the 110 people killed when ValuJet Flight 592 caught fire and plunged into Florida's Everglades gathered Wednesday at the remote crash site on the 20th anniversary of their deaths.

REMEMBERING THE VICTIMS

The first time Walter Simonton saw the Everglades, the desolation overwhelmed him as he grieved for his mother, whose plane was swallowed up by the wetlands. It was shortly after the May 11, 1996, crash of the Atlanta-bound flight from Miami, and mourners gathered with airline officials and emergency responders to drop roses into the murky waters.

Twenty years later, Simonton still felt haunted by the memory as he prepared to return to the remote crash site with his brother and niece.

"Just vast water. Vast grass," he said, unable to find other words to describe the scene.

His mother, Joyce Simonton of Macon, Georgia, was flying home on her 67th birthday. Her remains were never identified.

"Her spirit was there," Simonton said after dropping rose petals into the tall sawgrass near the crashsite. "It was a bit more closure."

LEGAL LEGACY

The crash over Mother's Day weekend killed all 110 passengers and

crew members. The plane plunged into the Everglades while trying to make an emergency return to Miami International Airport.

Federal investigators ultimately blamed a fire caused by improperly stored cargo. Already beset by poor safety ratings, ValuJet never recovered and merged with another low-cost carrier.

One Sabretech employee indicted in the investigation remains a fugitive, according to the FBI's Miami office. Mauro Ocila Valenzuela fled the country before his trial on charges of making false statements and causing the transportation of hazardous material, officials said.

Investigators also determined that the Federal Aviation Administration shared responsibility. The agency revised its regulations for hazardous materials cargo and upgraded its standards for fire detection and suppression equipment in cargo compartments of similar aircraft.

DESOLATE CRASH SITE
At the time of the crash, a witness told investigators the plane seemed to nose-dive and then disappear. The crater created by the plane's impact, about 20 miles into the wilderness from the Miami airport, could not be seen from the nearest highway, and could only be reached by boat or helicopter.

MEMORANDUM

To: Neighbors of 12207 NW 157th Street 15-0440
From: Craig Brashier, AICP, Planning Manager
Date: May 12, 2016
RE: Neighborhood Workshop

A Neighborhood Meeting will be held to discuss a proposed Large-scale Comprehensive Plan Amendment and Rezoning for ±21.5 acres, generally located on NW 157th Street, south of CR 235 and west of I-75 (Alachua County Tax Parcels 03974-004-000 and 03974-005-000). A portion of the project site is located at 12207 NW 157th Street.

The proposed changes will amend the Future Land Use Map classification from Agriculture to Moderate Density Residential and the Official Zoning Atlas from Agriculture (A) to Planned Development – Residential (PD-R). This is not a public hearing.

The meeting's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The neighborhood workshop details are provided below:

Date: Thursday, May 26, 2016
Time: 5:30 p.m.
Location: Hathcock Community Center
15818 NW 140th Street
Alachua, FL 32615

Please contact me at (352) 672-7689 if you have any questions prior to the neighborhood workshop.

03974-007-002
HUBBARD & O'STEEN
15284 NW 118TH AVE
ALACHUA FL 32615

03974-001-006
WATSON DAMON D
3715 NE 70TH LN
GAINESVILLE FL 32609

03980-001-000
CORBETT MARY SK
12220 NW 157TH ST
ALACHUA FL 32615

03974-004-000
TARA VILLAGE INC
7717 NW 20TH LN
GAINESVILLE FL 32605

03980-010-039
SILVA THOMAS
15811 NW 120TH PL
ALACHUA FL 32615

03980-020-090
SUAREZ GEORGE E
2088 JACKSON RIDGE COVE
KENNESAW GA 30144

03980-010-041
WILLIS MARK PAUL
15727 NW 120TH PL
ALACHUA FL 32615

03980-020-024
SAVANNAH STATION
4510 NW 6TH PLACE 3RD FLOOR
GAINESVILLE FL 32607

03980-020-027
SAVANNAH STATION
4510 NW 6TH PLACE 3RD FLOOR
GAINESVILLE FL 32607

03980-020-086
FISHER RONALD P
12171 NW 158TH ST
ALACHUA FL 32615-0269

03980-020-085
SPILMAN SHERRY L
15819 NW 122ND LN
ALACHUA FL 32615-0217

03974-005-000
TARA VILLAGE INC
7717 NW 20TH LN
GAINESVILLE FL 32605

03980-003-030
JOHNSON CHAD B
15704 NW 118TH PL
ALACHUA FL 32615-6418

03974-006-000
GORNT0 AUDREY
11809 NW 157TH ST
ALACHUA FL 32615-6451

03925-003-000
BOWMAN & GUEST
PO BOX 251
ALACHUA FL 32616-0251

03980-020-087
BURDGE DEAN C
12233 NW 158TH ST
ALACHUA FL 32615-0269

03974-005-003
RIVERS JOHN BOYD
15442 NW 118TH AVE
ALACHUA FL 32615

03980-020-025
ZAVOCKI EDNA MAE TRUSTEE
15931 NW 121ST LN
ALACHUA FL 32615-0209

03980-002-001
WACO OF ALABAMA INC
PO BOX 6937
JACKSONVILLE FL 32236-6937

03974-005-001
JONES JONATHAN
15408 NW 118TH AVE
Alachua FL 32615

03974-005-002
LAMBERT LAWRENCE R
15506 NW 118TH AVE
ALACHUA FL 32615-6414

03980-010-001
ODIOT & SOCHUK W/H
15702 NW 120TH PL
ALACHUA FL 32615

03980-020-034
REYES VICTOR
15740 NW 121ST LN
ALACHUA FL 32615

03975-014-000
BURLEY THERESE K
12221 NW 157TH ST
ALACHUA FL 32615-6446

03980-020-035
JASINSKI & JASINSKI
12151 NW 158TH ST
ALACHUA FL 32615

03974-007-000
MARTIN JOSHUA S
15220 NW 118TH AVE
ALACHUA FL 32615

03974-007-001
WILLETT MICHAEL
15314 NW 118TH AVE
ALACHUA FL 32615

03980-020-026
SAVANNAH STATION
4510 NW 6TH PLACE 3RD FLOOR
GAINESVILLE FL 32607

03980-020-084
CHENG & ZHANG W/H
6336 BUFORD ST #302
ORLANDO FL 32835

03975-012-000
HUNT ODELL P
12315 NW 157TH ST
ALACHUA FL 32615-6452

3975-013-000	03980-020-088	03980-020-089
MCGEE HELEN RIVERS	ATKINSON CAMERON	SOUTHWELL RYAN P
12307 NW 157TH ST	12253 NW 158TH ST	12273 NW 158TH ST
ALACHUA FL 32615-6452	ALACHUA FL 32615-0269	ALACHUA FL 32615
03975-015-000	03974-001-001	03980-010-002
TARA VILLAGE INC	BOWMAN DEAN C LIFE ESTATE	CAO CHRISTIAN NICHOLAS
7717 NW 20TH LN	PO BOX 1826	15714 NW 120TH PL
GAINESVILLE FL 32605	ALACHUA FL 32616-1826	ALACHUA FL 32615
03980-010-003	03980-010-004	03980-010-005
NOEL KENNETH D	FISHER JOSEPH	PARNIN JOSEPH L
15726 NW 120TH PL	15800 NW 120TH PL	15816 NW 120TH PL
ALACHUA FL 32615-6677	ALACHUA FL 32615	ALACHUA FL 32615-6676
03980-010-006	03980-010-007	03980-010-008
EVERSON & MANGOLD H/W	MOORE CONSTANCE A	BURNSIDE ROBERT K
15824 NW 120TH PL	15902 NW 120TH PL	15914 NW 120TH PL
ALACHUA FL 32615	ALACHUA FL 32615	ALACHUA FL 32615-6676
03980-010-009	03980-020-028	03980-020-029
MCMILLAN GLADYS A	SAVANNAH STATION	MOORE ROBERT J
15920 NW 120TH PL	4510 NW 6TH PLACE 3RD FLOOR	15777 NW 121ST LN
ALACHUA FL 32615-6676	GAINESVILLE FL 32607	ALACHUA FL 32615
03980-020-030	03980-020-032	03980-020-033
OWEN MICHAEL L JR	SAVANNAH STATION	PENDLETON & TREWEEK
15757 NW 121ST LN	4510 NW 6TH PLACE 3RD FLOOR	15710 NW 121ST LN
ALACHUA FL 32615	GAINESVILLE FL 32607	ALACHUA FL 32615
03980-020-031	03980-020-036	03980-010-040
JOHNS JONATHAN M	SAVANNAH STATION	GOULD KEVIN M
15737 NW 121ST LN	4510 NW 6TH PLACE 3RD FLOOR	15803 NW 120TH PL
Alachua FL 32615	GAINESVILLE FL 32607	ALACHUA FL 32615-6674
03980-010-042	03980-010-043	03980-003-031
TODD MICHAEL J	MAIMAN STEVEN	WATSON DEAGAN D
15715 NW 120TH PL	19 LEHIGH DR	15716 NW 118TH PL
ALACHUA FL 32615-6674	SOMERS POINT NJ 08244	ALACHUA FL 32615
03980-020-091	03980-003-032	03980-003-033
RAVAI & ZARRINGHALAM	HUBBARD TOM	MENDEZ & VULLINGS H/W
1085 ROCK SPORT AVE	15728 NW 118TH PL	2154 NW 78TH PL
REDWOOD CITY CA 94065	ALACHUA FL 32615	Gainesville FL 32609-5863
ANTOINETTE ENDELICATO	DAN RHINE	TOM GORMAN
5562 NW 93 RD AVENUE	288 TURKEY CREEK	9210 NW 59 TH STREET
GAINESVILLE, FL 32653	ALACHUA, FL 21615	ALACHUA, FL 32653

RICHARD GORMAN
5716 NW 93RD AVENUE
ALACHUA, FL 32653

PEGGY ARNOLD
410 TURKEY CREEK
ALACHUA, FL 32615

DAVID FOREST
23 TURKEY CREEK
ALACHUA, FL 32615

JOHN TINGUE
333 TURKEY CREEK
ALACHUA, FL 32615

TCMOA PRESIDENT
1000 TURKEY CREEK
ALACHUA, FL 32615

LINDA DIXON, AICP
ASST. PLANNING DIRECTOR
P.O. BOX 115050
GAINESVILLE, FL 32611

CRAIG PARENTEAU
FL DEP
4801 CAMP RANCH ROAD
GAINESVILLE, FL 32641

JEANNETTE HINSDALE
P.O. BOX 1156
ALACHUA, FL 32616

LYNN COULLIAS
7406 NW 126TH AVENUE
ALACHUA, FL 32615

LYNDA COON
7216 NW 126TH AVENUE
ALACHUA, FL 32615

TAMARA ROBBINS
P.O. BOX 2317
ALACHUA, FL 32616

DR. LEE NIBLOCK
ALACHUA COUNTY MGR
12 SE 1ST STREET
GAINESVILLE, FL 32601



Tara Village Large-scale Comprehensive Plan Amendment and Planned Development- Residential (PD-R) Rezoning

Neighborhood Workshop
May 26, 2016

PURPOSE OF WORKSHOP



- City of Alachua requires Comprehensive Plan Amendment and/or Rezoning applicants to host a neighborhood workshop
- The workshop's purpose is to inform neighbors of the proposed development's nature and to get feedback early in the development process
- This meeting provides the applicant with an opportunity to address questions prior to the application's submission

PUBLIC NOTIFICATION



JACKSONVILLE | GAINESVILLE | OCALA
8563 Argyle Business Loop, Ste. 3, Jacksonville, Florida 32244
132 NW 76th Drive, Gainesville, Florida 32607
101 NE 1st Avenue, Ocala, Florida 34470
WWW.CHW-INC.COM

MEMORANDUM

To: Neighbors of 12207 NW 157th Street 15-0440
From: Craig Brashier, AICP, Planning Manager
Date: May 12, 2016
RE: Neighborhood Workshop

A Neighborhood Meeting will be held to discuss a proposed Large-scale Comprehensive Plan Amendment and Rezoning for ±21.5 acres, generally located on NW 157th Street, south of CR 235 and west of I-75 (Alachua County Tax Parcels 03974-004-000 and 03974-005-000). A portion of the project site is located at 12207 NW 157th Street.

The proposed changes will amend the Future Land Use Map classification from Agriculture to Moderate Density Residential and the Official Zoning Atlas from Agriculture (A) to Planned Development – Residential (PD-R). This is not a public hearing.

The meeting's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

The neighborhood workshop details are provided below:

Date: Thursday, May 26, 2016
Time: 5:30 p.m.
Location: Hathcock Community Center
15818 NW 140th Street
Alachua, FL 32615

Please contact me at (352) 672-7689 if you have any questions prior to the neighborhood workshop.

L:\2015\15-0440\Planning\Workshop\Revised LsCPA & PDR\MAILOUT_160512_NHWS.docx

planning.design.surveying.engineering.construction.

NHWS Notification Mailout

Gainesville Sun Notification

PUBLIC NOTICE

A Neighborhood Meeting will be held to discuss a proposed Large-scale Comprehensive Plan Amendment and Rezoning for ±21.5 acres, generally located on NW 157th Street, south of CR 235 and west of I-75 (Alachua County Tax Parcels 03974-004-000 and 03974-005-000). The proposed changes will amend the Future Land Use Map classification from Agriculture to Moderate Density Residential and the Official Zoning Atlas from Agriculture (A) to Planned Development – Residential (PD-R). This is not a public hearing.

The meeting's purpose is to inform neighboring property owners of the proposal's nature and to seek their comments.

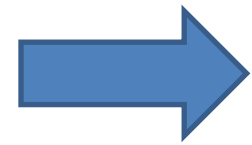
The workshop is Thursday, May 26, 2016 at 5:30 p.m. at the Hathcock Community Center, 15818 NW 140th Street, Alachua, FL 32615.

Contact:
Craig Brashier, AICP

Phone Number:
(352) 331-1976

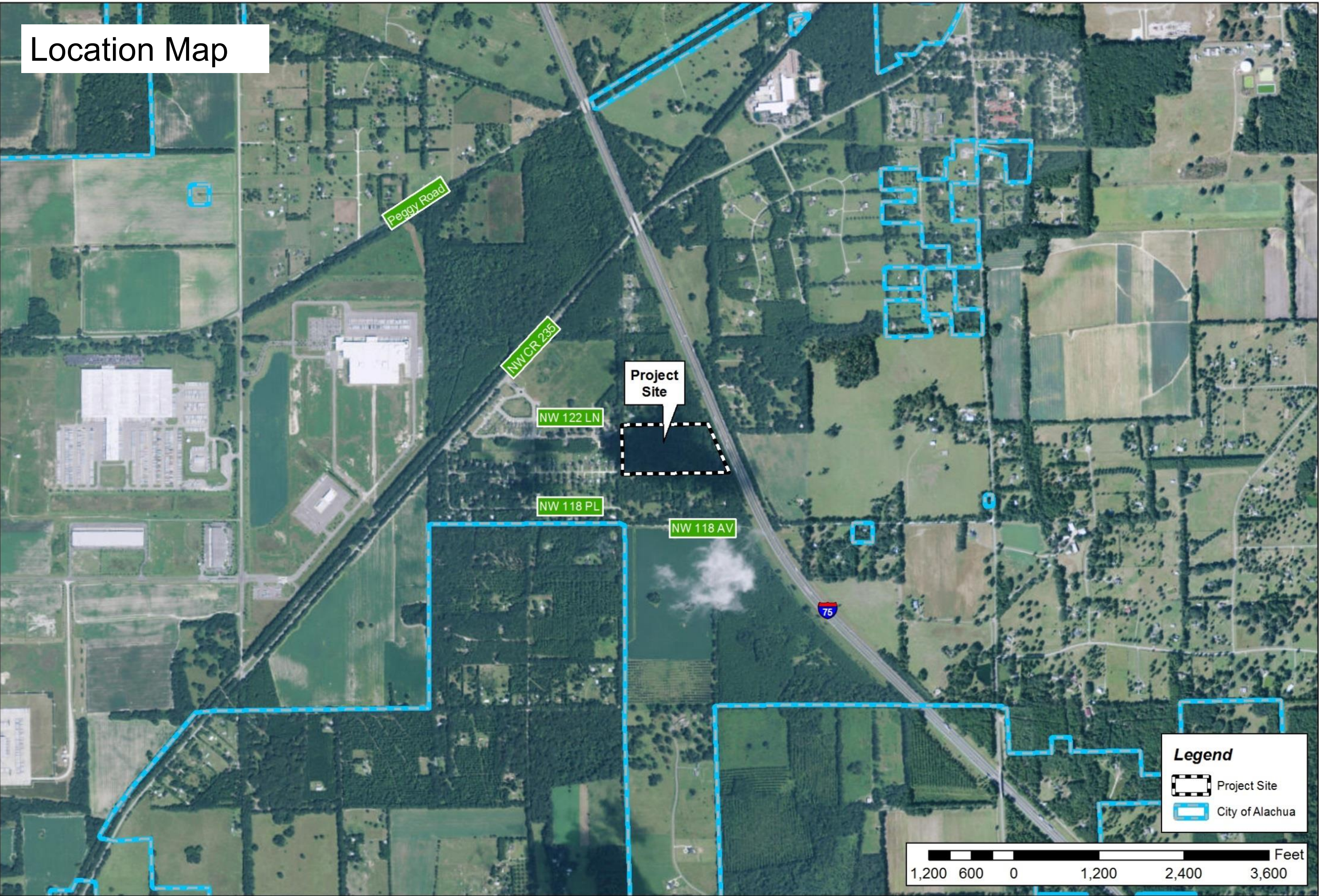


REVIEW PROCESS

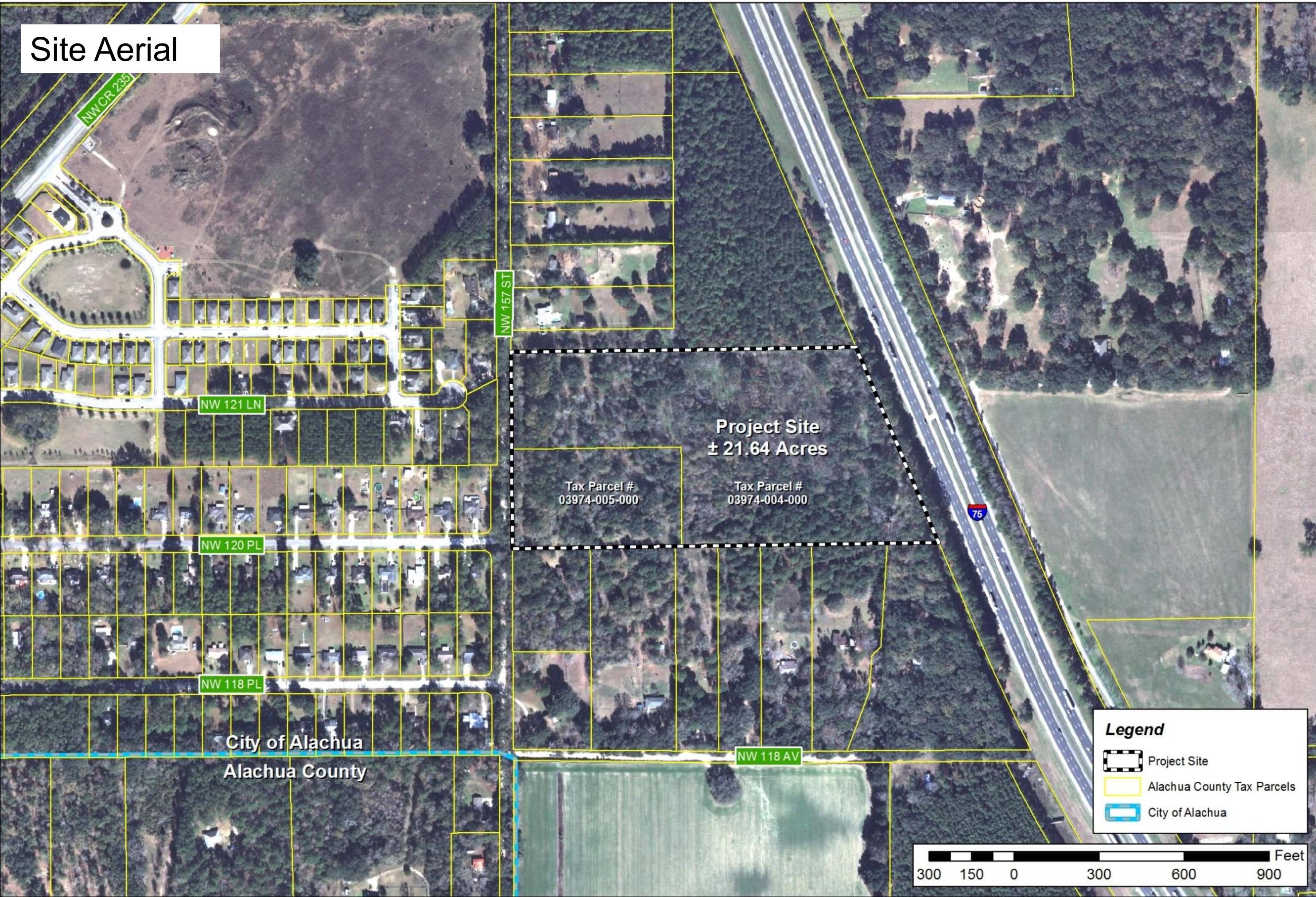


City Pre-application Meeting	March 2016
Neighborhood Workshop	May 26, 2016
Development Plan Submittal	May 31, 2016
Planning & Zoning Board Public Hearing	July 12, 2016 (est. date)
City Commission Public Hearing #1	August 8, 2016 (est. date)
City Commission Public Hearing #2	August 22, 2016 (est. date)

Location Map



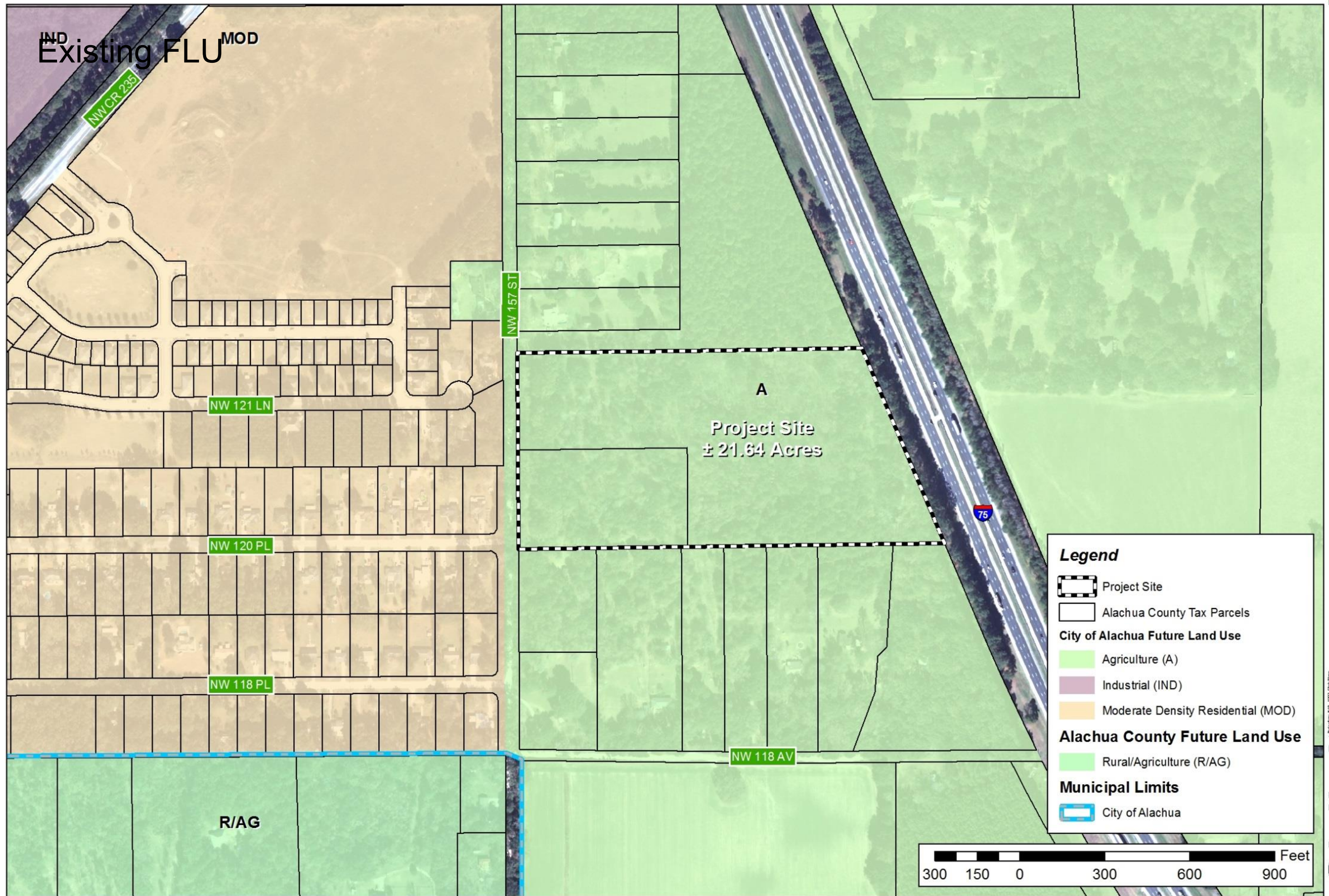
Site Aerial



Summary of Applications



- Project Site: ± 21.64 ac.
- Existing Future Land Use Designation: Agriculture (1 du per 5 acres)
- Proposed Future Land Use Designation: Moderate Density Residential (0 -4 du / ac)
- Existing Zoning District: Agriculture (1 du per 5 acres)
- Proposed Zoning District: Planned Development – Residential (Maximum of 20 single-family residential units)



Legend

- Project Site
- Alachua County Tax Parcels
- City of Alachua Future Land Use**
 - Agriculture (A)
 - Industrial (IND)
 - Moderate Density Residential (MOD)
- Alachua County Future Land Use**
 - Rural/Agriculture (R/AG)
- Municipal Limits**
 - City of Alachua

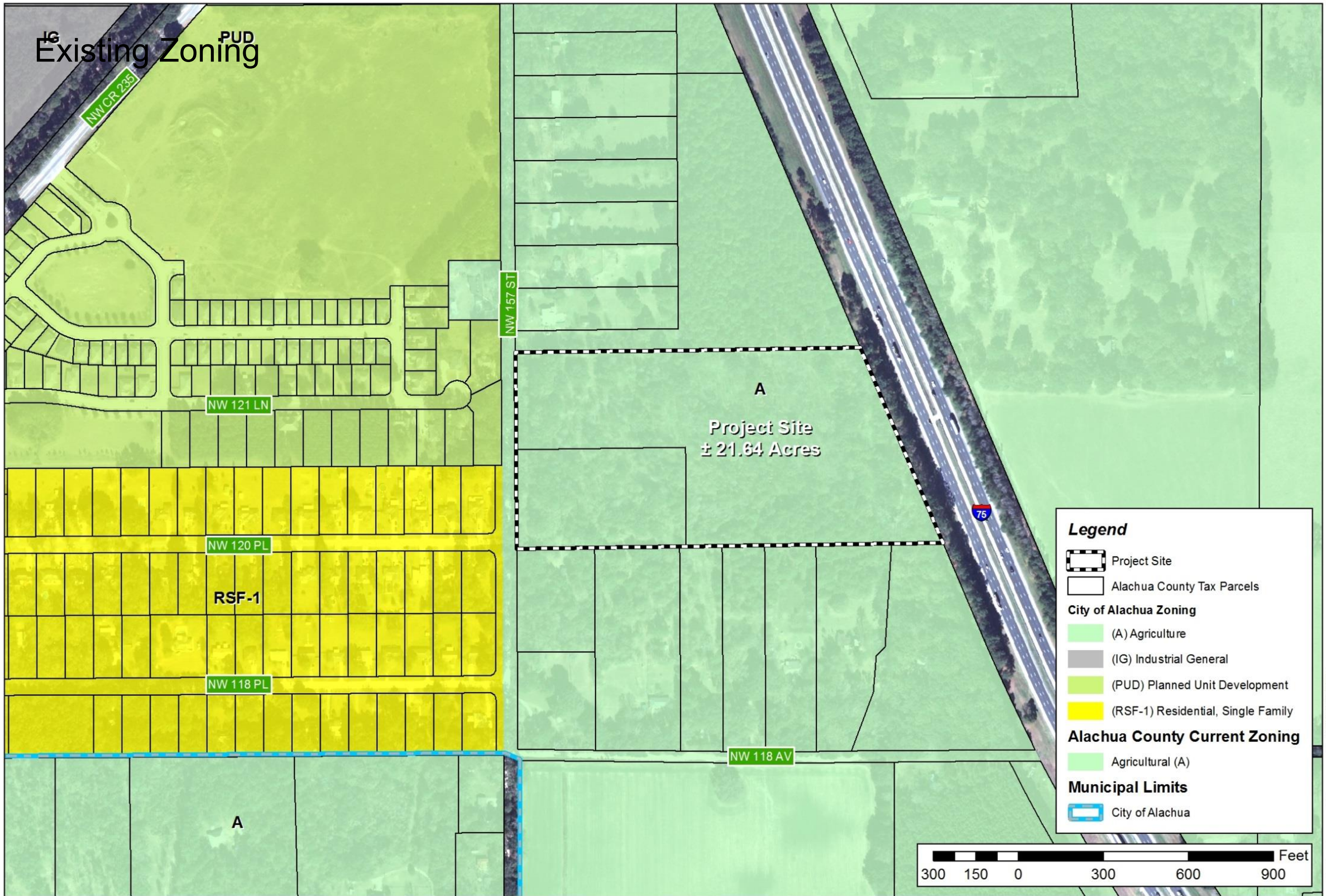
Tara Village
Large-Scale Comprehensive Plan
Amendments & Rezoning Applications



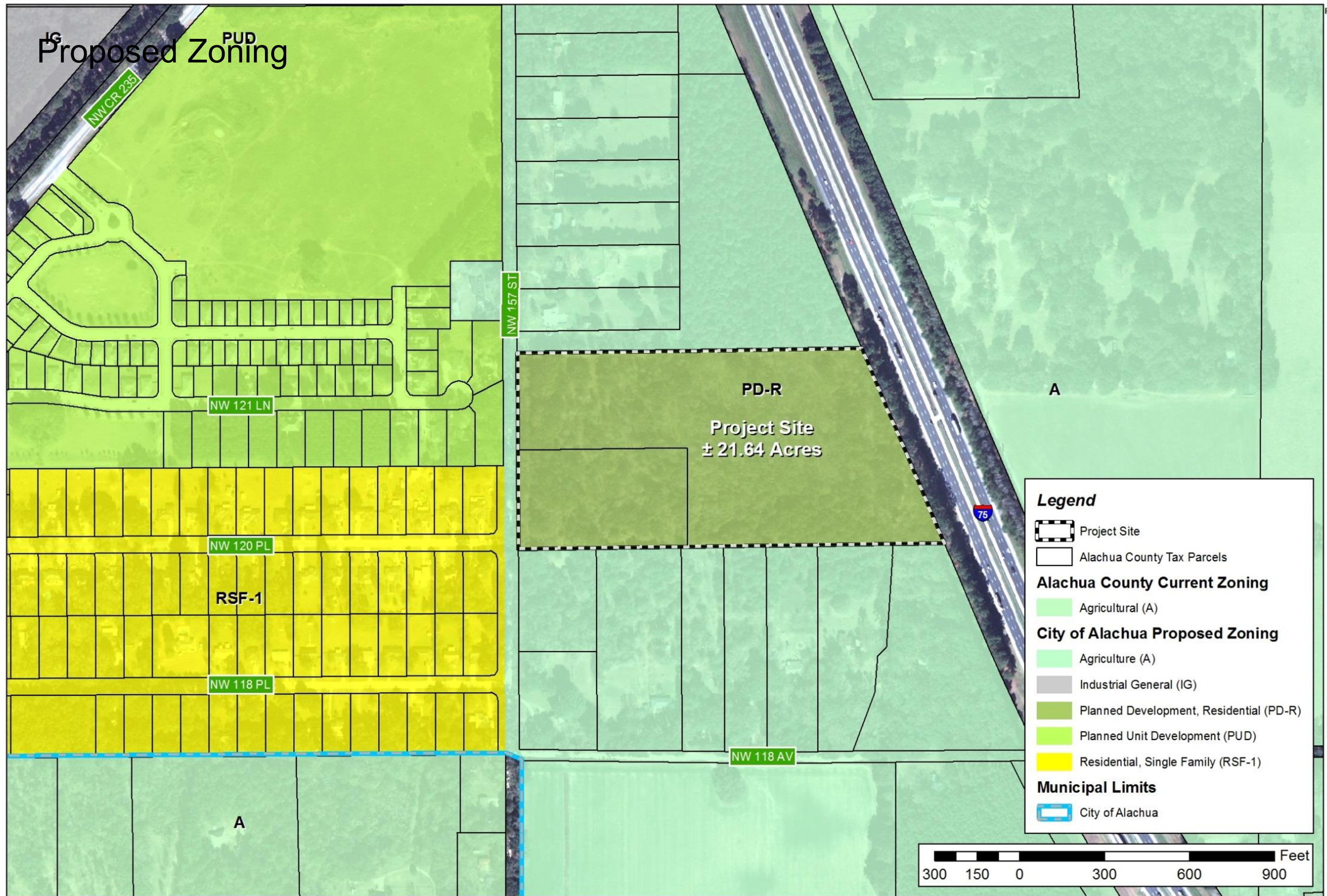
Prepared by: Employee 427
Date: 5/20/2016
Document Path: L:\2015\15-0440\Planning\GIS\MapDocs\2A.mxd







Tara Village
Large-Scale Comprehensive Plan
Amendments & Rezoning Applications



Tara Village
Large-Scale Comprehensive Plan
Amendments & Rezoning Applications



Prepared by: Employee 427
Date: 5/20/2016
C:\Users\matt\OneDrive\Documents\Tara Village\Map\Map3B.mxd



NW 157th Street

NW 121st Lane

NW 120th Place

Ingress/
Egress

±7 ac. Open Space

20 Single-Family Residential Homes
(±0.5-Acre Lots)

1-75

Tara Village PD

DEVELOPMENT SPECIFICATIONS

- Land Uses.** Land uses shall be generally located as shown on the PD Master Plan. The maximum number of dwelling units allowed on the Property shall be 20 dwelling units and shall be located with land use area 'A', as shown on the PD Master Plan. Dwelling units may consist of single-family detached as defined by the City's Land Development Regulations ("LDRs").
- Project Boundary Buffers.** Project boundary buffers, including roadway buffers, shall be provided as shown on the PD Master Plan and as required by the City of Alachua LDRs. Stormwater Management Facilities (SMFs), pedestrian circulation, landscaping, and signage may be located within project boundary buffers. Project boundary buffers shall not be part of platted lots. Project boundary buffers shall be landscaped in accordance with the requirements of the City's LDRs.
- Lot Setback and Separations.** Street side setbacks shall be in accordance with the requirements of the City's LDRs. Housing units and design shall, at a minimum, meet the requirements of the Florida Building Code. Accessory units such as garages may be attached to adjacent accessory structures.
- Common Area/Open Space.** Common Area and Open Space, as defined by applicable sections of the LDRs and the PD Master Plan, shall account for a minimum of 20% of the completed project. Open Space areas may exist in any land use area and may be developed at any rate. These areas may contain low-intensity passive or active recreation opportunities such as nature trails, wildlife viewing areas, and other recreation activities.
- Ownership/Control of Common Areas and Required Open Space Areas.** In the event that common areas and required open space areas, as mandated by Sections 6.7.6, 6.9.3(E)(2), and 7.8.1 of the City's LDRs, are not owned by a property owners' association, such areas shall be burdened by an easement that requires a property owners' association and/or an entity approved by the City to maintain such areas, and that restricts such areas in accordance with the City's requirements for such areas.
- Circulation.** The circulation configuration is not intended to be exact and may vary from what is depicted in the PD Master Plan in order to accommodate environmental features, such as topography, soil types, trees, etc. Roadways intended to be dedicated to the public may consist of a mixture of roadway types and shall be required to meet the design criteria of the City's LDRs, unless otherwise authorized by the City Commission through LDR Section 3.6.3 (A)(5)(b)(iii). The internal roadways shall consist of neighborhood streets, which do not meet the definition for an arterial or collector roadways.
- Landowner/Developer Responsibility.** The Landowner/Developer is responsible for providing right-of-way and easements for constructing on-site infrastructure facilities and for all other infrastructure located on the proposed PD-R district site including, but not limited to, electrical utility lines, telephone lines, cable TV lines, or the underground conduit for such features. The Landowner/Developer shall be responsible for making any other infrastructure improvements as required by the City ordinances to guarantee construction of all required infrastructure improvements, and if requested by the City, to dedicate these improvements to the City in a form that complies with City ordinances. All infrastructure facilities not dedicated to the City shall be operated and maintained by a property owners' association formed as part of the subdivision process.
- Allowable Land Use Classification Data.** Figures for acreage are estimates and have been rounded to the nearest whole number.
- Double frontage lots are prohibited.
- No environmentally sensitive lands, wildlife habitat, or stream corridors were identified on-site.

DEVELOPMENT AREA AND DENSITY	ALLOWABLE USES <small>Common Area / Open Space (C), Stormwater Management Facilities (SMF), and other Infrastructure may exist in any land use designation</small>	PERMITTED INTENSITY	ACRES	SITE %	DIMENSIONAL STANDARDS									
SINGLE-FAMILY RESIDENTIAL (A) <small>20 du (0 Reduced)</small>	Allowed residential uses within the PD-R zoning district per LDR Table 4.1-1 including Single-Family Detached	20 d.u.	±13	±60%	<u>SINGLE-FAMILY DETACHED</u> Min. Lot Area = 21,000 sq. ft. Min. Lot Width = 75' Front setback = 20' Side setback = 7.5' Rear setback = 20' <u>MAX BUILDING HEIGHT = 45'</u> <u>LOT COVERAGE = 50%</u>									
CIRCULATION (B) N/A	Roadways, parking, driveways, bicycle and pedestrian pathways, and supportive infrastructure improvements	N/A	±1.7	±8%	<table><tr><th>ROADWAY TYPE</th><th>MINIMUM ACCESS WIDTH</th><th>MINIMUM PAVED SURFACE</th></tr><tr><td>Curbs/Gutter</td><td>40'</td><td>20' - 22'</td></tr><tr><td>Swales</td><td>60'</td><td>20' - 22'</td></tr></table>	ROADWAY TYPE	MINIMUM ACCESS WIDTH	MINIMUM PAVED SURFACE	Curbs/Gutter	40'	20' - 22'	Swales	60'	20' - 22'
ROADWAY TYPE	MINIMUM ACCESS WIDTH	MINIMUM PAVED SURFACE												
Curbs/Gutter	40'	20' - 22'												
Swales	60'	20' - 22'												
COMMON AREA / OPEN SPACE (C) N/A	Public or Private Parks, Recreational trail, Resource-based recreation, non-intensive Communication/Public Infrastructure, and preserved environmentally-sensitive lands, potential wildlife habitat, and stream corridors.	N/A	±6.9	±32%	N/A									

LEGEND

- A** SINGLE-FAMILY RESIDENTIAL
- B** CIRCULATION
- C** COMMON AREA/OPEN SPACE
- w — PROPOSED POTABLE WATER
- ss — PROPOSED SANITARY SEWER

132 NW 76th Drive
Gainesville, FL 32609
(352) 331-1878 | (352) 331-0178
www.chm.com

CHM
Professional Consultants

SCALE: 1"=100'
VERIFY SCALE
BAR IS ONE INCH ON
THIS SHEET. ADJUST
IF NOT ONE INCH ON
THIS SHEET. ADJUST
SHEET SCALES ACCORDINGLY.

CONSTRUCTION/REVISIONS

CLIENT
TARA VILLAGE, INC.

DESIGNER
C. BRASHER

QUALITY CONTROL
M. HEATHCOCK

PROJECT NUMBER
15-0440

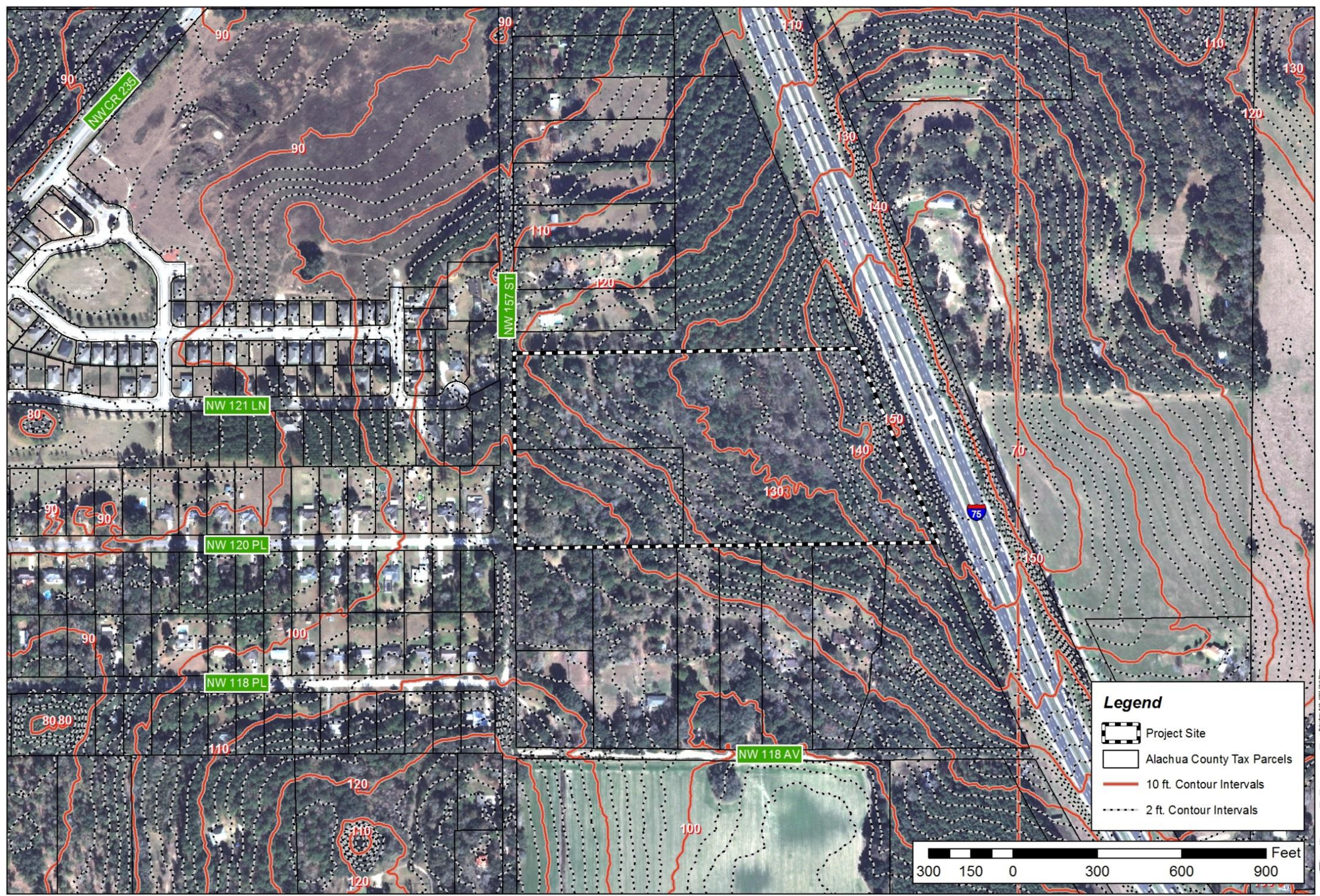
SUBMITTALS
PROJECT: TARA VILLAGE
PLANNED DEVELOPMENT
RESIDENTIAL (PD-R)

SHEET TITLE
PD MASTER PLAN

SHEET NO.: 1

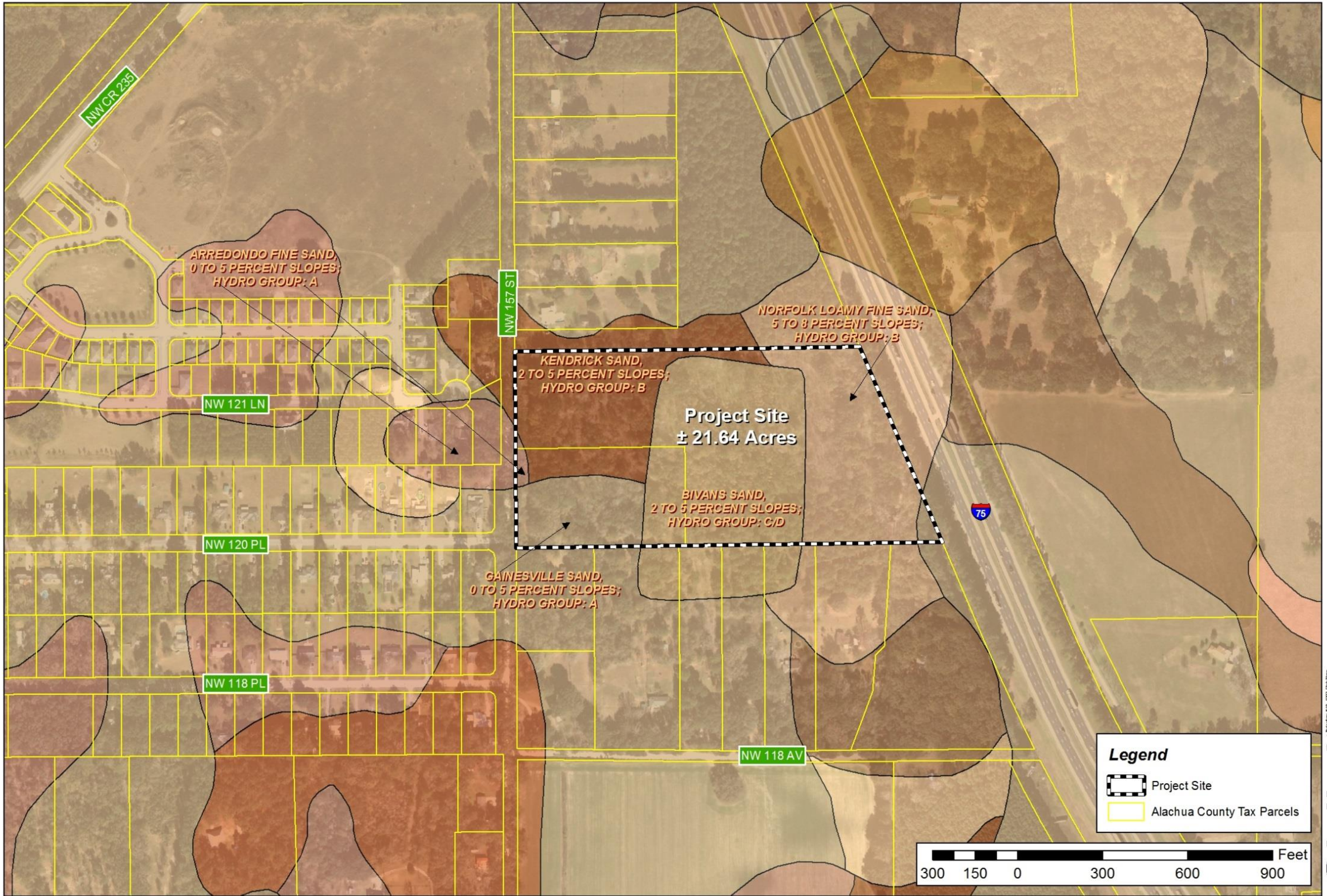


Professional Consultants





Tara Village
Large-Scale Comprehensive Plan
Amendments & Rezoning Applications

Tara Village
Large-Scale Comprehensive Plan
Amendments & Rezoning Applications



Legend

-  Project Site
-  Alachua County Tax Parcels



Prepared by: Employee 427
Date: 5/20/2016
C:\Users\Employee 427\Documents\Tara Village\Tara Village Soils Map.mxd

SIGN-IN SHEET

Event: Neighborhood Workshop PN 15-0440
Date/Time: May 26, 2016 @ 5:30 p.m.
Place: Hathcock Community Center
15818 NW 140th Street
Alachua, FL 32615
Re: Large-scale Comprehensive Plan Amendment & Planned Development – Residential (PD-R)
Rezoning

<u>No.</u>	<u>Print Name</u>	<u>Street Address</u>	<u>Signature</u>
1	Therese K. Burley	12221 NW 157 th St. Alachua, Fl	Therese K. Burley
2	ANDIE ANDERSON	12221 NW 157 th ST	Andie Anderson
3	Bill Sanderson	12517 NW 157 th St.	Bill Sanderson
4	Tom Hubbard	15728 NW 118 pl Alachua	Tom Hubbard
5	DON BOGGS	11122 N.W. 157 th ST	Don Boggs
6			
7			
8			
9			
10			
11			

**TARA VILLAGE
LARGE-SCALE COMPREHENSIVE PLAN AMENDMENT &
PLANNED DEVELOPMENT – RESIDENTIAL (PD-R) REZONING
NEIGHBORHOOD WORKSHOP
MAY 26, 2016, AT 5:30 PM
HATHCOCK COMMUNITY CENTER
15818 NW 140TH STREET
ALACHUA, FL 32615**

Recorded and transcribed by CHW staff.

Attendees:

*Therese Burley – Citizen
Andie Anderson – Citizen
Bill Sanderson – Citizen
Tom Hubbard – Citizen
Don Boggs - Citizen
Craig Brashier, AICP - CHW*

CHW delivered a presentation that explained the details of the proposed Large-scale Comprehensive Plan Amendment (LsCPA) and Planned Development – Residential (PD-R) Rezoning applications. Five (5) members of the public attended the workshop.

Each attendee was given a print out of a power point presentation regarding the proposed applications. The following bullet points highlight the main points of the presentation and the discussion items following the presentation.

- The presentation explained that the proposed applications will change the Future Land Use Map (FLUM) designation from Agriculture to Moderate Density Residential and the Zoning district from Agriculture to Planned Development – Residential (PD-R).
- Mr. Brashier explained that the PD-R Zoning Master Plan will limit the project site to a maximum of 20 single-family residential units. Mr. Brashier also explained that a Comprehensive Plan Text Amendment has also been proposed that will limit the number of units to 20 on these two (2) parcels.
- Ms. Burley requested that a fence be added along the northern side of the property for at least ±575 ft. from 157th Street to better shield their property.
- Mr. Brashier informed provided a tentative schedule for the Planning & Zoning Board and City Commission public hearings and informed the citizens that they would receive mailed notification from City staff when the dates were finalized.
- The meeting adjourned at 6:30 p.m.