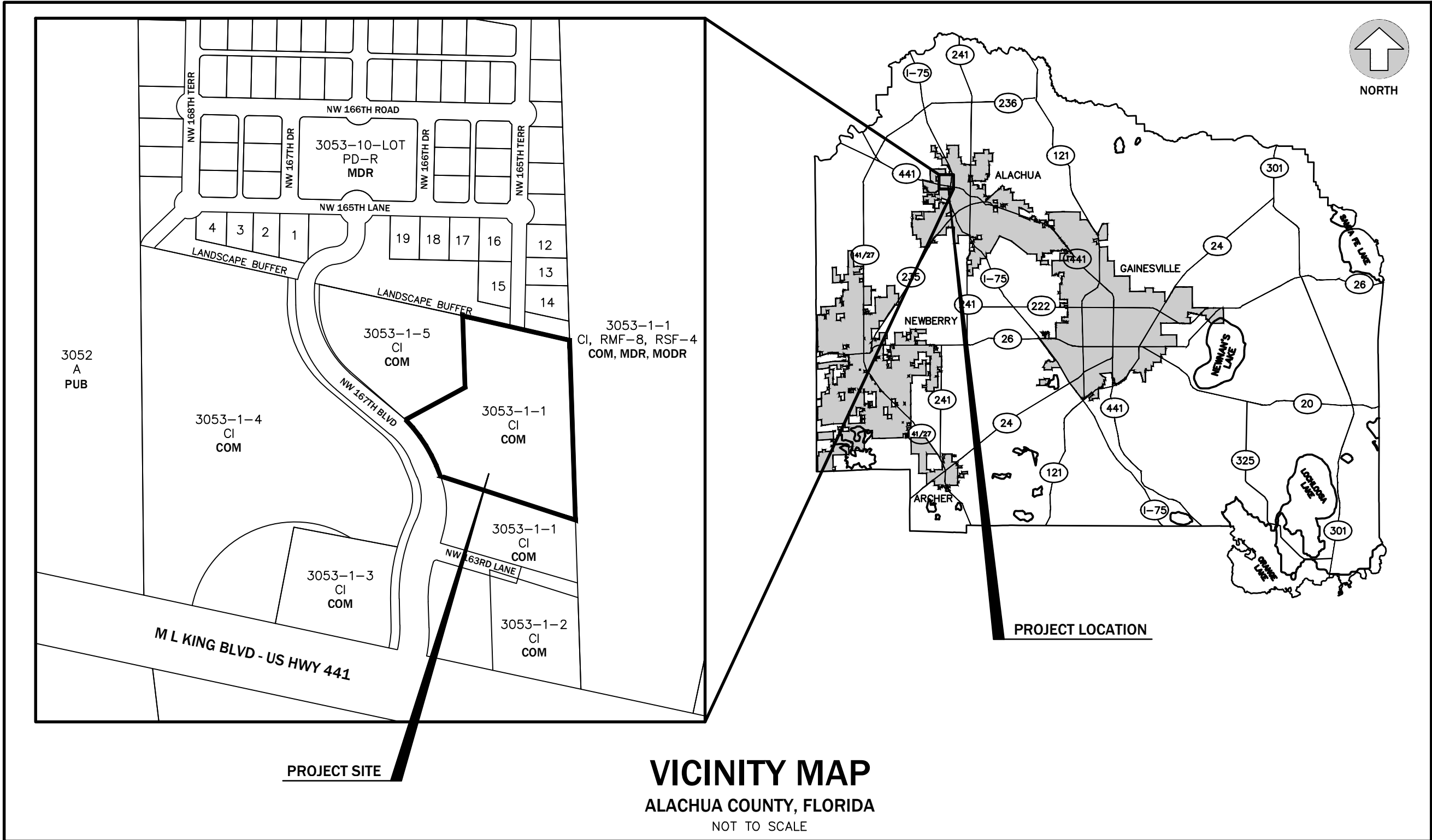


# HOLIDAY INN ALACHUA

## CITY OF ALACHUA, FLORIDA

DEVELOPMENT INFORMATION		
1.	NAME OF PROJECT:	HOLIDAY INN ALACHUA
2.	PROJECT DEVELOPER:	MPH HOTELS 100 2ND AVENUE SOUTH, SUITE 1103-5 ST. PETERSBURG, FL 33701 (727) 914-8885 RANDY GIBBSON
3.	LAND OWNER:	HIPP INVESTMENTS LLC 14610 NW 129TH TERRACE ALACHUA, FL 32615
4.	PROJECT DESCRIPTION:	CONSTRUCTION OF A HOTEL WITH ASSOCIATED PARKING, UTILITIES AND STORMWATER FACILITIES. ACCOMMODATIONS INCLUDE: - 92 GUESTROOMS (35,477 S.F.) - 24 SEAT MEETING ROOM (720 S.F.) - FITNESS CENTER (665 S.F.) - LOBBY (3,030 S.F.)
5.	PROJECT ADDRESS:	16139 N.W. US HIGHWAY 441
6.	TAX PARCEL NUMBER:	A PORTION OF 03053-001-001
7.	SECTION/TOWNSHIP/RANGE:	SECTION 09, TOWNSHIP 08 SOUTH, RANGE 18 EAST
8.	ZONING:	COMMERCIAL INTENSIVE
9.	FUTURE LAND DESIGNATION:	COMMERCIAL
10.	UTILITY SERVICE PROVIDERS:	WATER/WASTE WATER: CITY OF ALACHUA PUBLIC SERVICES ELECTRIC: CITY OF ALACHUA PUBLIC SERVICES GAS: GAINESVILLE REGIONAL UTILITIES (CITY OF ALACHUA) CABLE: COX COMMUNICATION TELEPHONE: WINDSTREAM



#### LEGEND

##### ZONING:

- A - AGRICULTURE
- CI - COMMERCIAL INTENSIVE
- PD-R - PLANNED DEVELOPMENT
- RSF-4 - RESIDENTIAL SINGLE FAMILY
- RMF-8 - RESIDENTIAL MULTI-FAMILY

##### FUTURE LAND USE:

- COM - COMMERCIAL
- MDR - MEDIUM DENSITY RESIDENTIAL
- MDR - MODERATE DENSITY RESIDENTIAL
- PUB - PUBLIC

#### LEGAL DESCRIPTION

A PORTION OF 03053-001-001:

A PORTION OF FRACTIONAL SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF FRACTIONAL SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA AND RUN THENCE SOUTH 01°49'00" EAST, ALONG THE WEST BOUNDARY OF SAID SECTION, 1576.08 FEET; THENCE NORTH 88°33'13" EAST, 1300.20 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 603, PAGE 107 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE SOUTH 01°49'00" EAST, ALONG THE WEST LINE OF SAID CERTAIN TRACT OF LAND, 1347.88 FEET TO A 4" X 4" CONCRETE MONUMENT (STAMPED "LB 5091 BARRINEAU") AS DEPICTED ON 'HERITAGE OAKS PHASE I', A SUBDIVISION AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 24, PAGE 79 OF SAID PUBLIC RECORDS; THENCE SOUTH 78°52'28" EAST, ALONG THE SOUTH BOUNDARY OF SAID HERITAGE OAKS PHASE I, A DISTANCE OF 933.22 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 78°52'28" EAST, ALONG SAID SOUTH BOUNDARY, 324.76 FEET TO THE SOUTHEAST CORNER OF SAID HERITAGE OAKS PHASE I AND TO A POINT ON THE EAST LINE OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 27, PAGE 296 OF SAID PUBLIC RECORDS; THENCE SOUTH 03°08'22" EAST, ALONG SAID EAST LINE, 514.31 FEET; THENCE NORTH 73°46'22" WEST, 416.85 FEET TO A POINT ON THE EAST LINE OF AN INGRESS AND EGRESS, ROAD IMPROVEMENTS, AND PUBLIC UTILITIES EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4400, PAGE 2104 OF SAID PUBLIC RECORDS, SAID POINT LYING ON THE ARC OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 301.00 FEET; THENCE NORTHWESTERLY, ALONG THE EAST LINE OF SAID INGRESS AND EGRESS, ROAD IMPROVEMENTS AND PUBLIC UTILITIES EASEMENT AGREEMENT, THROUGH THE FOLLOWING THREE (3) COURSES: (1) RUN THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 19°31'14", AN ARC DISTANCE OF 102.55 FEET TO THE END OF SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF NORTH 27°02'33" WEST, 102.06 FEET, (2) NORTH 36°48'10" WEST, 46.40 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 201.00 FEET, (3) THENCE NORTHWESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 12°08'02", AN ARC DISTANCE OF 42.57 FEET, SAID ARC BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF NORTH 42°52'11" WEST, 42.49 FEET; THENCE NORTH 60°21'17" EAST, 193.23 FEET; THENCE NORTH 03°08'22" WEST, 205.27 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH RIGHTS OF INGRESS AND EGRESS OVER AND ACROSS THE RIGHT-OF-WAY DESCRIBED IN THE AMENDMENT TO INGRESS-EGRESS ROAD IMPROVEMENTS RECORDED IN O.R. BOOK 4400, PAGE 2104, PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

PARKING CALCULATIONS			
DESCRIPTION	CRITERIA	REQUIRED	PROVIDED
VEHICULAR PARKING	1 PER SLEEPING ROOM 2 FOR OWNER/MANAGER	92 ROOMS X 1 SPACE/ROOM + 2 SPACES = 94	100 SPACES INCLUDING 5 HANDICAP SPACES
BICYCLE PARKING	1 PER 10 REQUIRED VEHICLE SPACES	94 VEHICLE SPACES X 10% = 9.4 SPACES	10 SPACES 5 U-RACK
HANDICAP PARKING	ADA REQUIREMENTS	BETWEEN 76-100 SPACES = 4 H.C. SPACES	5 H.C. SPACES

TRIP GENERATION
PER I.T.E. MANUAL, 9TH EDITION LAND USE: (310 - HOTEL) PROPOSED = 92 ROOMS
1. AVERAGE DAILY TRIPS: 8.17 TRIPS / ROOMS x 92 = 752 TRIPS 50% ENTERING, 50% EXITING
2. A.M. PEAK: 0.53 TRIPS / ROOM x 92 = 48 TRIPS 54% ENTERING, 46% EXITING
3. P.M. PEAK: 0.60 TRIPS / ROOMS x 92 = 56 TRIPS 58% ENTERING, 42% EXITING

IMPERVIOUS AREA CALCULATIONS				
#	DESCRIPTION	SQUARE FOOTAGE	ACREAGE	PERCENTAGE
1.	TOTAL SITE AREA:	185,177 S.F.	4.25 Ac.	100%
2.	PROPOSED BUILDING COVERAGE:	13,600 S.F.	0.31 Ac.	7.3%
3.	PAVEMENT AND SIDEWALK AREA:	60,159 S.F.	1.38 Ac.	32.5%
4.	TOTAL IMPERVIOUS AREA:	73,759 S.F.	1.69 Ac.	39.8%
5.	OPEN AREA:	115,741 S.F.	2.65 Ac.	62.4%
6.	FLOOR TO AREA RATIO:	53,792 BUILDING SF : 185,177 SITE SF =	0.29	

DRAWING INDEX	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	LEGEND, SYMBOLS AND NOTES
C0.20	DEVELOPMENT PLAN
C0.30	DEMOLITION PLAN
C1.00	DIMENSION PLAN
C2.00	PAVING, GRADING AND DRAINAGE PLAN
C2.10	PAVING, GRADING AND DRAINAGE DETAILS AND NOTES
C2.20	BASIN DETAILS
C3.00	STORMWATER POLLUTION PREVENTION PLAN
C3.10	EROSION AND SEDIMENTATION CONTROL PLAN
C3.20	EROSION DETAILS AND NOTES
C4.00	UTILITY PLAN
C4.10	UTILITY DETAILS AND NOTES
V-001	BOUNDARY AND TOPOGRAPHIC SURVEY
E-1	PHOTOMETRIC PLAN (BY OTHERS)
L1-L4	LANDSCAPE PLAN (BY OTHERS)
A	ARCHITECTURAL PLAN (BY OTHERS)

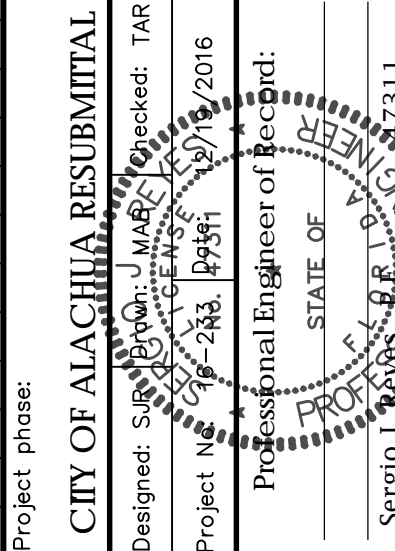
NORTH

SCALE:  
AS SHOWN



HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA

COVER SHEET



C0.00



## EXISTING SYMBOLS & ABBREVIATIONS

## TREE LEGEND

ATION  
NES  
ETER AT  
ET HEIGH  
NES

## LEGEND

## PROPOSED UTILITY SYMBOLS

#### GENERAL NOTES

- |                  |  |
|------------------|--|
| DEMOLITION NOTES |  |
|------------------|--|

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED

#### CONSTRUCTION NOTES

- ## EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, AS REFINISHED BY THE CONTRACTOR, AND THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS REQUIRED BY CONDITIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
4. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF LUBRICANTS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER RUNOFF.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
12. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STABILIZATION, SEDIMENT BASINS, ETC.) AS NEEDED FOR EACH STAGE OF SITE WORK / GRADING.
14. NO GRADING, CUTTING, OR FILLING SHALL COMMENCE UNTIL SUCH TIME AS APPROPRIATE EROSION AND SEDIMENTATION CONTROL DEVICES HAVE BEEN INSTALLED BETWEEN ALL DISTURBED AREAS AND WATER BODIES, WATERCOURSES OR METAL AND CONCRETE CONVEYANCES SUCH AS DRAINAGE DITCHES, STORM DRAINS, AND INLETS.
15. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRECEDING ANY DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. THE CONTRACTOR SHALL INSTALL ALL EROSION AND PREVENTION STRUCTURES SHOWN ON THE PLANS AT A MINIMUM IN CONFORMANCE WITH ALL APPLICABLE WATER MANAGEMENT DISTRICT PERMITS AND REGULATIONS.
16. ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM.
17. ALL DISTURBED AREAS (ABOVE NORMAL WATER LEVELS) UNLESS OTHERWISE NOTED HEREIN, SHALL BE RESEED WITHIN 7 DAYS OF FINAL GRADING. UNLESS OTHERWISE NOTED, ALL SLOPES STEEPER THAN 4:1 SHALL BE SODDED.

## PAVING, GRADING, AND DRAINAGE NOTES

- Know what's **below.**

**eds40** years

engineers • surveyors • planners

EB 2389  
2404 N.W. 43rd ST., GAINESVILLE, FLORIDA 32606-6402  
TEL: (352) 373-3541 FAX: (352) 373-7249  
[www.eds40.com](http://www.eds40.com) [mail@eds40.com](mailto:mail@eds40.com)

Project:	CITY OF ALACHUA RESUBMITTAL
Project phase:	Designed by: SERGIO J. MORALES Checked: TAR PROJECT ENGINEER Project No.: 2016 SHEET NO. 283 73311
Sheet title:	Professional Engineer of Record:  PROFESSIONAL ENGINEER Sergio J. Morales, P.E. Engineer's License No. 9673311

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No.

## LEGEND, SYMBOLS AND NOTES

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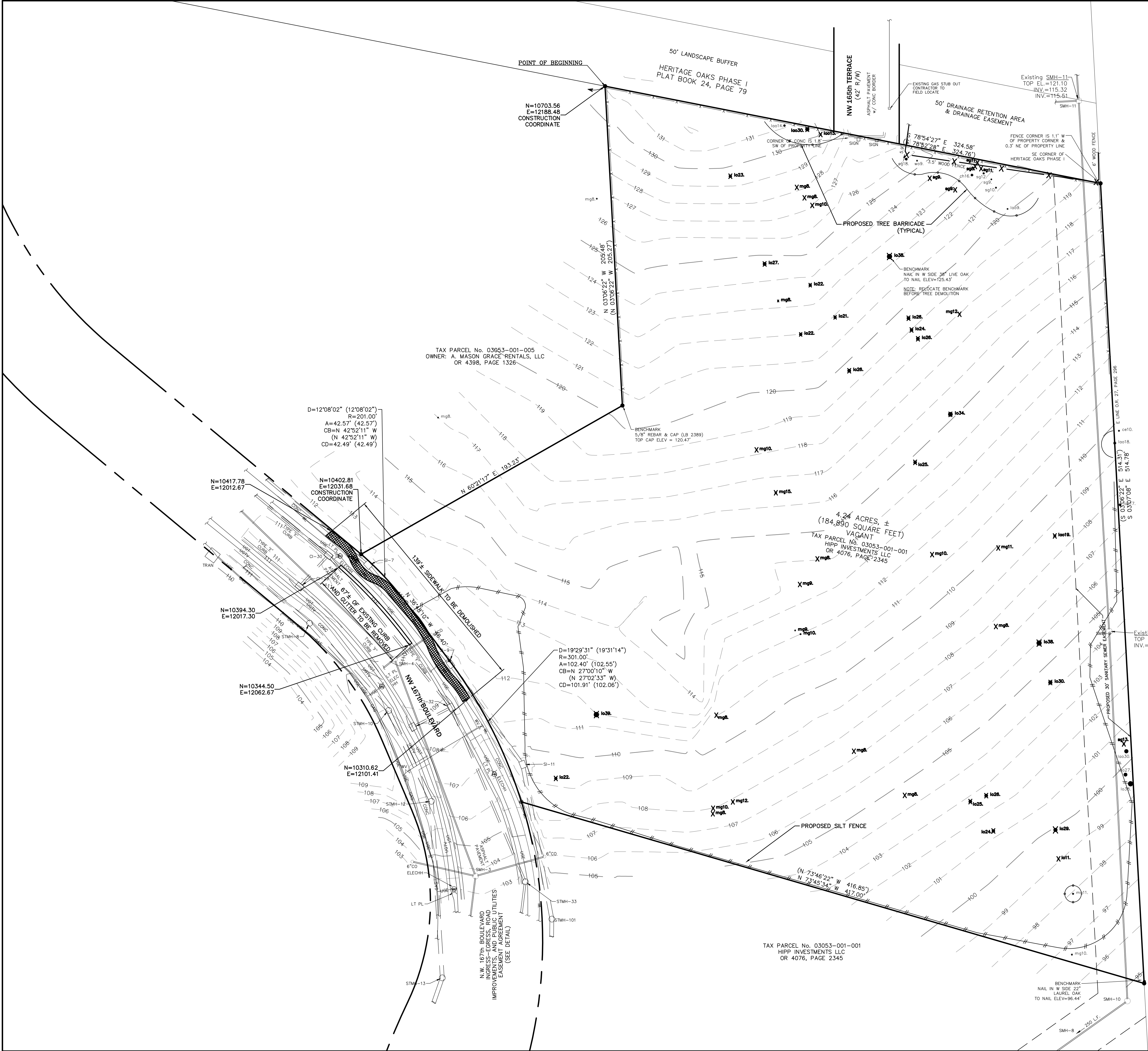
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**Call** before you dig.





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- DEMOLITION NOTES
1. EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.

2. IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.

3. IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FDOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.

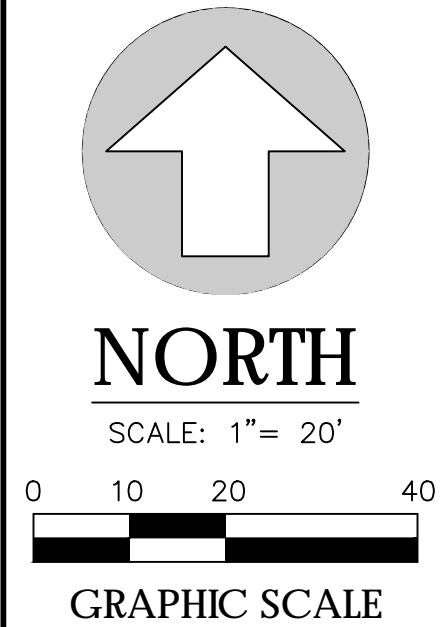
4. ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.

5. SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.

6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

7. SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.

NOTE:  
CONTRACTOR SHALL HAVE EROSION & SEDIMENTATION CONTROL DEVICES FOUND ON THE EROSION AND SEDIMENTATION CONTROL PLAN (SHEET C3.10) IN PLACE BEFORE BEGINNING ANY DEMOLITION OR CLEARING WORK.



HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA

DEMOLITION PLAN

Project phase:  
CITY OF ALACHUA RESUBMITTAL

Designed: S. J. M. / M. J. M.  
Checked: TAR  
Project No. 15-0000000-000  
Date: 12/19/2016

Professional Engineer of Record:  
Sergio J. M. / M. J. M.  
State of: FLORIDA  
Professional Engineer No. 150000000-000

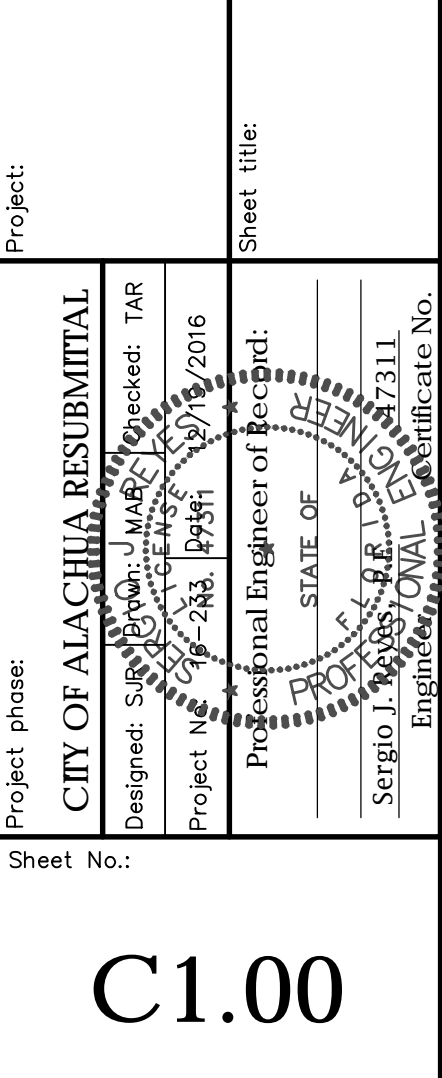
Project:  
CITY OF ALACHUA RESUBMITTAL

Sheet title:  
DEMOLITION PLAN

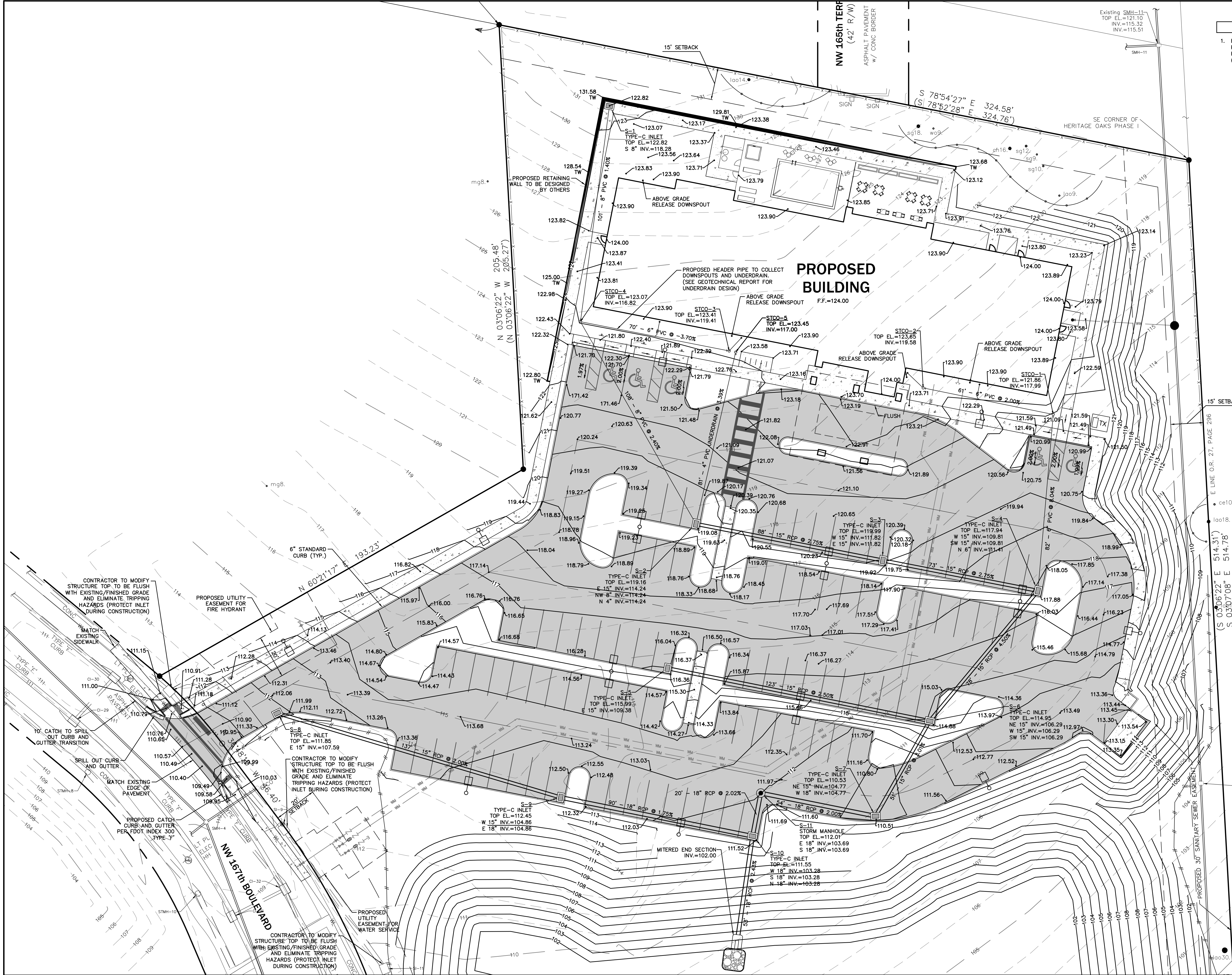
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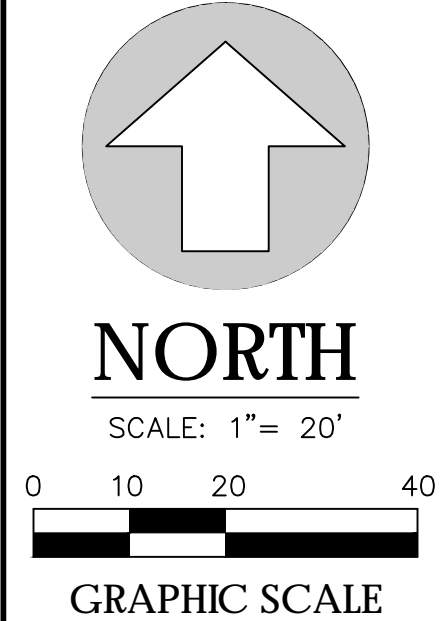








- GENERAL NOTES**
1. BUILDING UNDERDRAIN SHALL BE INSTALLED PER GEOTECHNICAL SITE EXPLORATION (GSE PROJECT #12872) AND FOUNDATION PLANS (BY OTHERS).



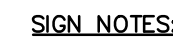
HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA

PAVING, GRADING AND DRAINAGE PLAN

Project: CITY OF ALACHUA RESUBMITTAL  
Designed: SERGIO J. MORALES  
Project: N 03°06'22\"/>

Sheet No.: C2.00





1. SIGN TO BE MADE OF 0.063" STEEL PAINTED WITH TRAFFIC PAINT
2. HANDICAP SIGN TO BE AS SHOWN ABOVE OR AS REQUIRED BY  
LOCAL CODE PAINT SIGN BLUE AND WHITE

**HANDICAP PARKING SIGN DETAIL**  
N.T.S.



1. GENERAL: ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.D.O.T. STANDARD SPECIFICATIONS FOR ROADWAY AND DRAINAGE CONSTRUCTION, AND THE LATEST F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
  - B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
  - C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 160 IN 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
  - D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
  - E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 334. ASPHALT SHALL NOT INCLUDE ANY RAP MATERIAL UNLESS APPROVED BY ENGINEER.

SCALES:  
AS SHOWN



HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA

PAVING, GRADING AND DRAINAGE DETAILS AND NOTES

Project:

Sheet title:

Project phase:

**CITY OF ALACHUA RESUBMITTAL**

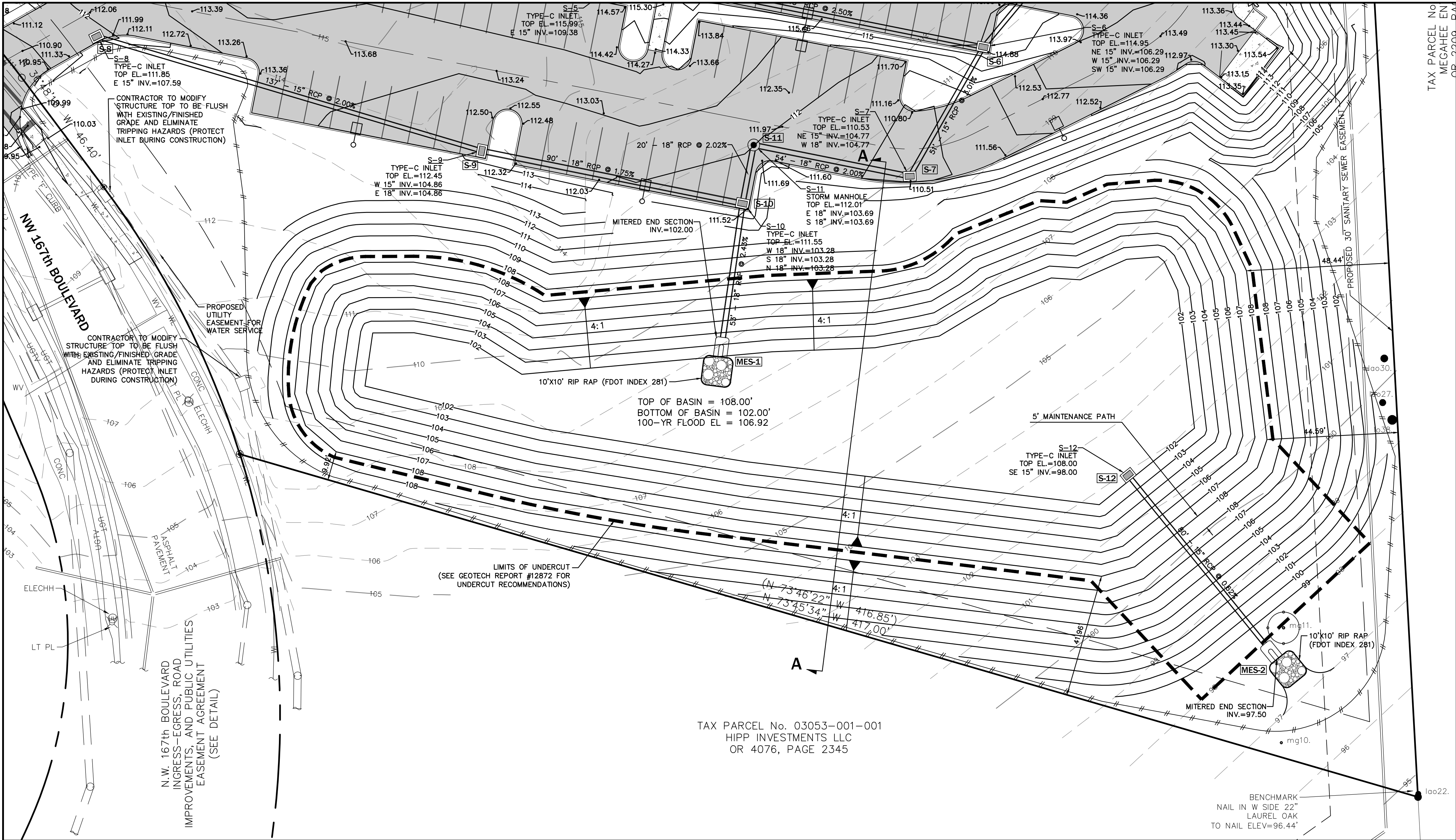
Designed: SUBMITTAL NAME: Checked: TAR  
PROJECT NO. 2016-203 09381 07/12/2016  
Project Name: 2016-203 09381  
Professional Engineer of Record:  
PROFESSIONAL ENGINEER  
Sergio J. Rojas, P.E. License No. 127311  
Engineer's Signature: License No. 127311

Sheet No.:

C2.10

Comment

Date \_\_\_\_\_  
No. \_\_\_\_\_



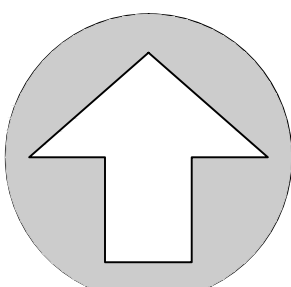
### ENGINEER'S CERTIFICATION

1. **ENGINEER'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM FOR THE PROJECT KNOWN AS "HOLIDAY INN ALACHUA" MEETS ALL THE REQUIREMENTS AND HAS BEEN DESIGNED SUBSTANTIALLY IN ACCORDANCE WITH THE ALACHUA COUNTY STORMWATER MANAGEMENT ORDINANCE.

SERGIO REYES, P.E.

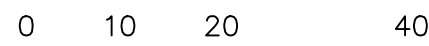
### MAINTENANCE NOTES

- MAINTENANCE RESPONSIBILITY:**  
THE PROPERTY OWNER WILL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM.
- MAINTENANCE PLAN:**
  - BASINS SHALL BE MOWED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH. MOWING SCHEDULE SHOULD BE MONTHLY DURING WINTER MONTHS AND MORE FREQUENTLY (BIWEEKLY) DURING SUMMER MONTHS.
  - BASIN SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPED CLEAN MORE OFTEN AS THE CONDITION DICTATES.
  - BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET).
  - BASINS THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.
  - THE REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES. ANY DEAD LANDSCAPING MATERIALS SHALL BE REPLACED IMMEDIATELY TO ASSURE PUBLIC SAFETY.



**NORTH**

SCALE: 1" = 20'

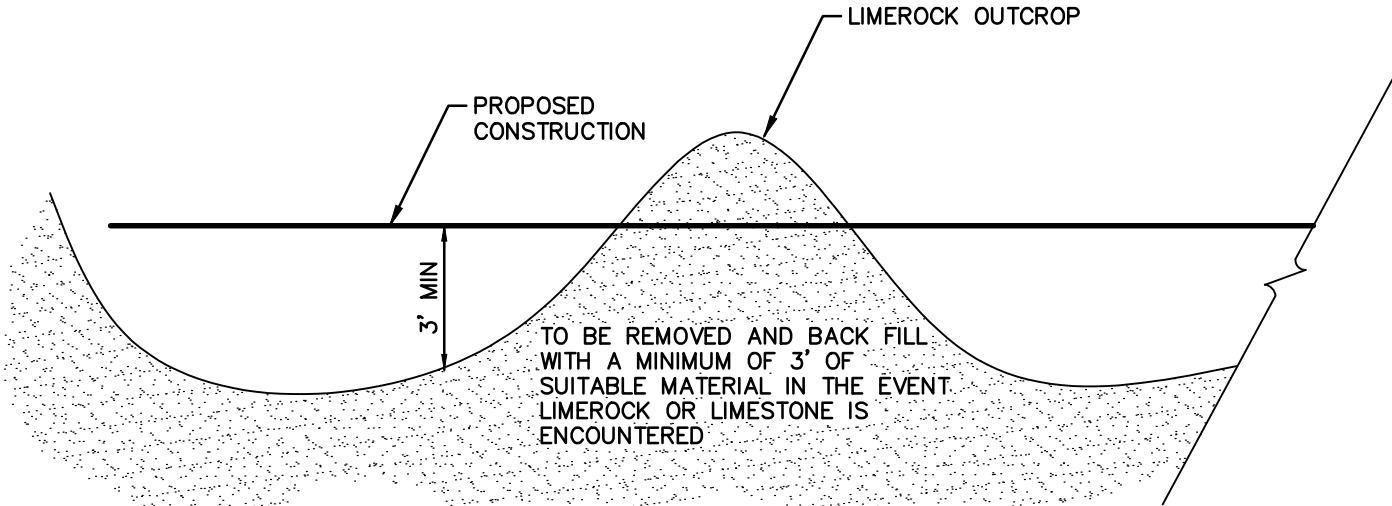
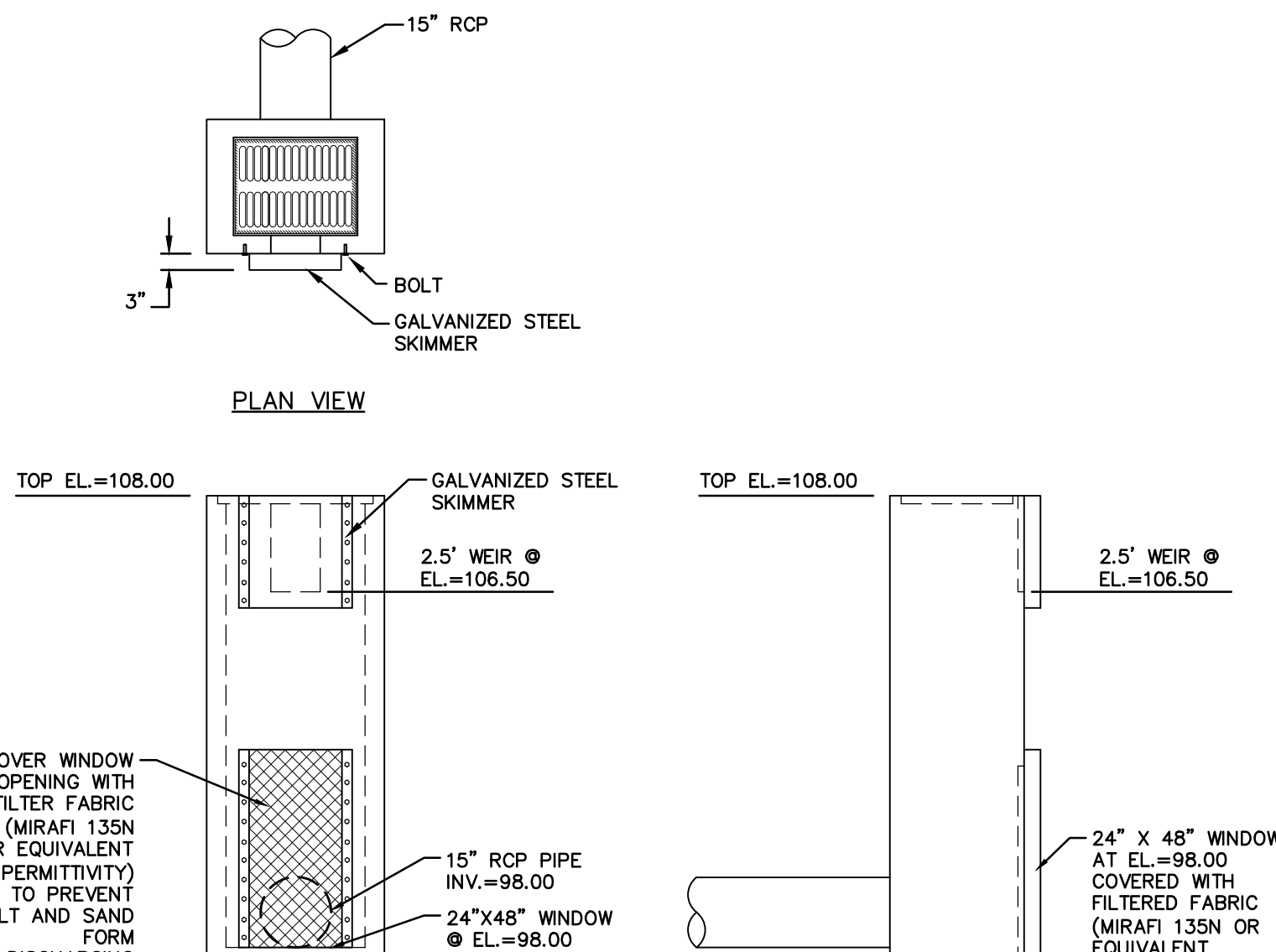
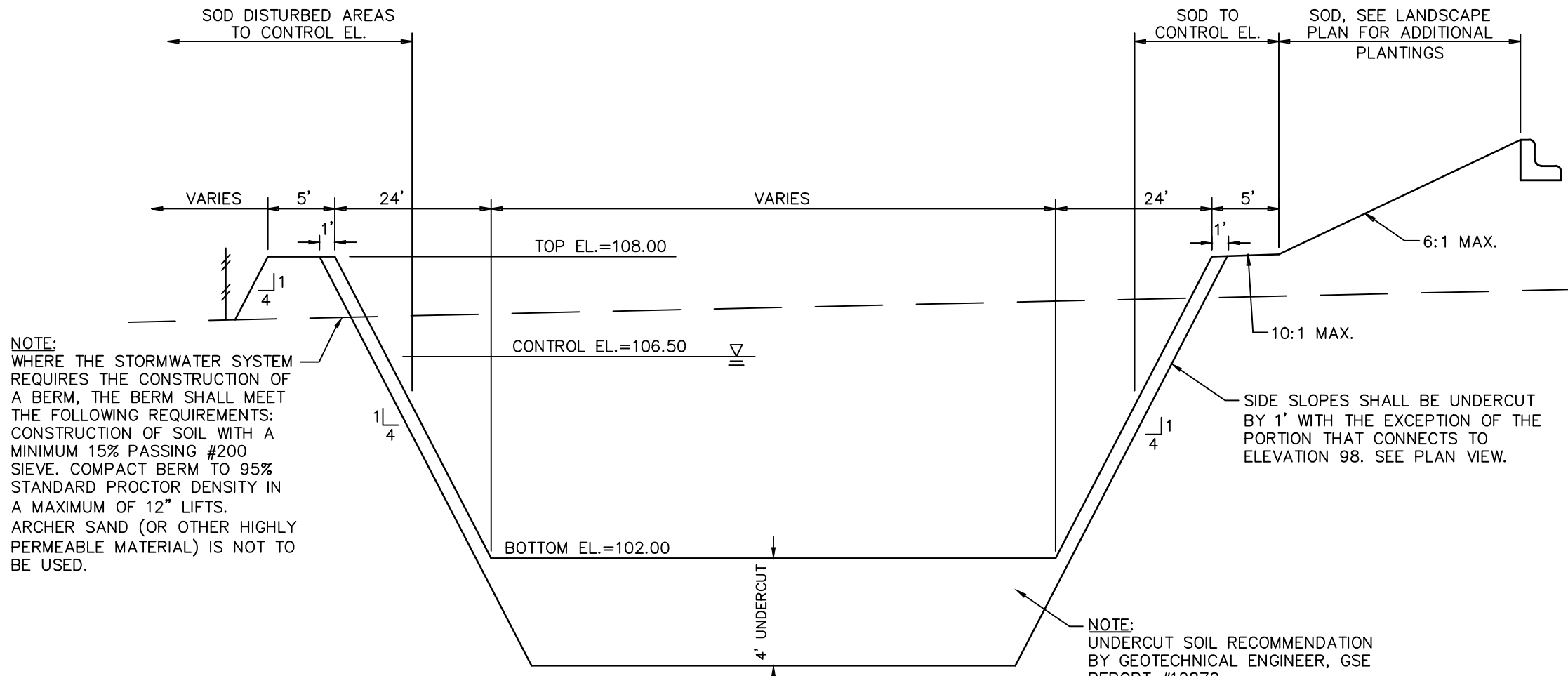


**GRAPHIC SCALE**



HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA

BASIN DETAILS



- NOTES:**
- IF LIMESTONE OR LIMEROCK OUCROP IS ENCOUNTERED DURING CONSTRUCTION OF THE BASIN, THE AREA WILL BE OVER-EXCAVATED A MINIMUM OF THREE FEET AND BACKFILLED WITH SUITABLE SOILS TO MEET THE SENSITIVE KARST AREA REQUIREMENTS.
  - IN THE EVENT A SINKHOLE, CAVITIES OR CHIMNEYS DEVELOPS WITHIN THE STORMWATER BASIN, THE FOLLOWING TREATMENT SHALL BE PERFORMED: THE OWNER SHALL NOTIFY SUWANNEE RIVER WATER MANAGEMENT DISTRICT PRIOR TO REMEDIAL ACTION UNLESS POSTPONING THE REPAIR ACTIVITY REPRESENTS AN ENDANGERMENT TO PUBLIC SAFETY. THE SINKHOLE SHALL BE BACKFILLED WITH A SANDY CLAY MIXTURE. THE SANDY CLAY SHALL BE PLACED IN SIX INCH LIFTS WITHIN THE FINAL THREE FEET OF FILL AND ROLLED WITH A HEAVILY LOADED RUBBER TIRE EQUIPMENT. SHOULD SINKHOLE ACTIVITY CONTINUE REPEATEDLY WITHIN A CONFINED AREA, THE OWNER SHALL CONSULT A GEOTECHNICAL ENGINEER TO DETERMINE WHETHER ANY ALTERNATIVE REMEDIAL MEASURES ARE REQUIRED.

**LIMEROCK OUCROP REMOVAL DETAIL**

N.T.S.

Project Phase:	Project:	Sheet Title:
CITY OF ALACHUA RESUBMITTAL	CITY OF ALACHUA, FLORIDA	BASIN DETAILS
Designed: Sergio J. Reyes	Drawn: TAR	Checked: TAR
Project No. 2016-001	Project Name: Holiday Inn Alachua	Project Date: 12/19/2016
Professional Engineer of Record:	Professional Engineer of Record:	Professional Engineer of Record:
Sergio J. Reyes, P.E.	Sergio J. Reyes, P.E.	Sergio J. Reyes, P.E.
Engineer's Certificate No. 12345	Engineer's Certificate No. 12345	Engineer's Certificate No. 12345

C2.20



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THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT No. 62-621.300 (4) (A) FDEP FORM 62-261.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

I. PROJECT INFORMATION:

PROJECT: HOLIDAY INN ALACHUA  
COUNTY: ALACHUA COUNTY FLORIDA  
SECTION/TOWNSHIP/RANGE: S 09, T 08 SOUTH, R 18 EAST  
COUNTY PARCEL NO.: 03053-001-001  
LATITUDE AND LONGITUDE: 29° 41' 19.07"N, 82° 31' 11.61" W  
STREET ADDRESS: 16139 NW US HIGHWAY 441  
PROJECT AREA: 4.25 ACRES  
APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 4.25 ACRES

II. SITE DESCRIPTION:

1. THE PROPOSED DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF A 92 ROOM HOTEL WITH ASSOCIATED DRAINAGE AND UTILITY IMPROVEMENTS.

AT THE PREDEVELOPMENT CONDITIONS, THE PROJECT AREA IS DIVIDED INTO TWO DRAINAGE AREAS AS SHOWN IN THE DRAINAGE DESIGN NOTES AND AS DESCRIBED BELOW :

- 1.) AREA 1: DRAINS 0.50 ACRES TO AN EXISTING STORMWATER SYSTEM ALONG NW 167TH BLVD.  
2.) AREA 2: DRAINS 2.43 ACRES TO THE SOUTHEAST.

AT POST-DEVELOPMENT CONDITIONS, THE PROPOSED PROJECT AREA WILL HAVE ONE DRAINAGE AREA AS SHOWN IN THE DRAINAGE DESIGN NOTES AND AS DESCRIBED BELOW:

- 1.) AREA 1: MILL DISCHARGE 2.93 ACRES TO THE PROPOSED STORMWATER BASIN, WHICH DISCHARGES TO THE SOUTHEAST AS IN PREDEVELOPMENT CONDITIONS.  
2. THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY GSE ENGINEERING AND CONSULTING, INC. THE PROPOSED DRAINAGE PLAN WILL CONSIST OF ONE DRAINAGE AREA. AREA 1: 2.93 ACRES OF RUNOFF WILL BE CONVEYED TO BASIN No. 1. IN ORDER TO OBTAIN THE REQUIRED WATER QUALITY TREATMENT, THE BASIN WILL BE UNDERCUT 4 FEET AND BACKFILLED WITH SUITABLE SOIL. THE TREATED WATER VOLUME WILL BE DISCHARGED THROUGH THE OUTFALL STRUCTURE. THE PROPOSED DISCHARGE RATE WILL NOT EXCEED PRE DEVELOPMENT CONDITIONS.

3. EXISTING AND FUTURE DRAINAGE PATTERNS ARE SHOWN IN THE DRAINAGE DESIGN NOTES FOR PRE-DEVELOPMENT CONDITIONS AND POST-DEVELOPMENT CONDITIONS. OUTFALLS, AND STORMWATER BASINS ARE SHOWN IN THE DRAINAGE PLAN AND THE DETAIL PLAN.

4. SEQUENCE OF CONSTRUCTION:

- A. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.  
B. THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.  
C. THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.  
D. THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.  
E. THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED. (THE BASIN AREA SHALL BE STABILIZED AS SPECIFIED IN THE PLANS.)  
F. ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A LIMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.  
G. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.  
H. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.

1. THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.  
2. TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.  
3. BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.  
4. AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.  
5. DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.  
6. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES

1. ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).  
2. TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.  
3. MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSPECTED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENEED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.  
4. SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDED AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.  
5. SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE PEGGED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES

1. SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.  
2. DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.  
3. INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.  
4. OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

1. THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM (AS SHOWN ON THE PLANS) INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 400-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.  
2. TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT REQUIRES THE INSTALLATION AND CONSTRUCTION OF THE FOLLOWING BMP'S: ONE DRY DETENTION BASIN WHICH MUST BE UNDERCUT FOUR FEET IN ORDER TO PROVIDE THE REQUIRED WATER QUALITY TREATMENT. HAS BEEN DESIGNED TO CONTAIN AND ATTENUATE THE STORMS AND DISCHARGE AT PRE-DEVELOPMENT CONDITIONS, WHILE PROVIDING TREATMENT TO THE RUNOFF AS REQUIRED BY THE DISTRICT AND STATE RULES USING THE GUIDELINES CONTAINED IN THE SRWMD HANDBOOK.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

1. WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.  
2. THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.  
3. THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.  
4. ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.  
5. ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

1. ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).  
2. THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.

IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

1. MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.  
2. ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.  
3. SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.  
4. TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.  
5. SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.  
6. DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.  
7. TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.  
8. MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.  
9. SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.  
10. SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.  
11. INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.  
12. OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.

IX. INSPECTIONS:

1. THE OWNER AND /OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS, THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN. THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION, ONCE EVERY SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS GREATER THAN 0.50 INCHES. AFTER FINAL STABILIZATION AND BEFORE FINISH OF CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.  
2. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.  
3. ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.  
4. REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.  
5. A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-621.300, PART VII.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

1. THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.  
2. DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:

1. ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE AND THE DATE THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM:

ADDRESS: \_\_\_\_\_

CITY, STATE, ZIP CODE: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_

FAX: \_\_\_\_\_

PROJECT NAME: HOLIDAY INN ALACHUA

PROJECT ADDRESS: 16139 NW US HIGHWAY 441

CITY, STATE, ZIP CODE: CITY OF ALACHUA, FLORIDA

NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALES:  
AS SHOWN



HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA

STORMWATER POLLUTION PREVENTION PLAN

Project:

Project phase: CITY OF ALACHUA RESUBMITTAL

Designed: Sergio J. Lopez, dated: 12/19/2016

Project: 16139 NW US HIGHWAY 441, 12/19/2016

Professional Engineer of Record: Sergio J. Lopez, dated: 12/19/2016

Engineer's Seal: Sergio J. Lopez, dated: 12/19/2016

Sheet No.:

C3.00

STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: **HOLIDAY INN ALACHUA**

FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10

OWNER: **MPH HOTELS**

CONTRACTOR: \_\_\_\_\_

CONSTRUCTION MANAGER: \_\_\_\_\_

Date of Inspection	Location	Rain data	Type of control (see below)	Date installed / modified	Current Condition (see below)	Observations or Corrective Action / Other Remarks	Inspected By

CONDITION CODE: G = Good M = Marginal, needs maintenance or replacement soon O = Other  
C = Needs to be cleaned P = Poor, needs immediate maintenance or replacement

CONTROL TYPE CODES

1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth dikes	11. Vegetative buffer strip	20. Gabion	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	

INSPECTOR INFORMATION:

Name \_\_\_\_\_ Qualification \_\_\_\_\_ Date \_\_\_\_\_

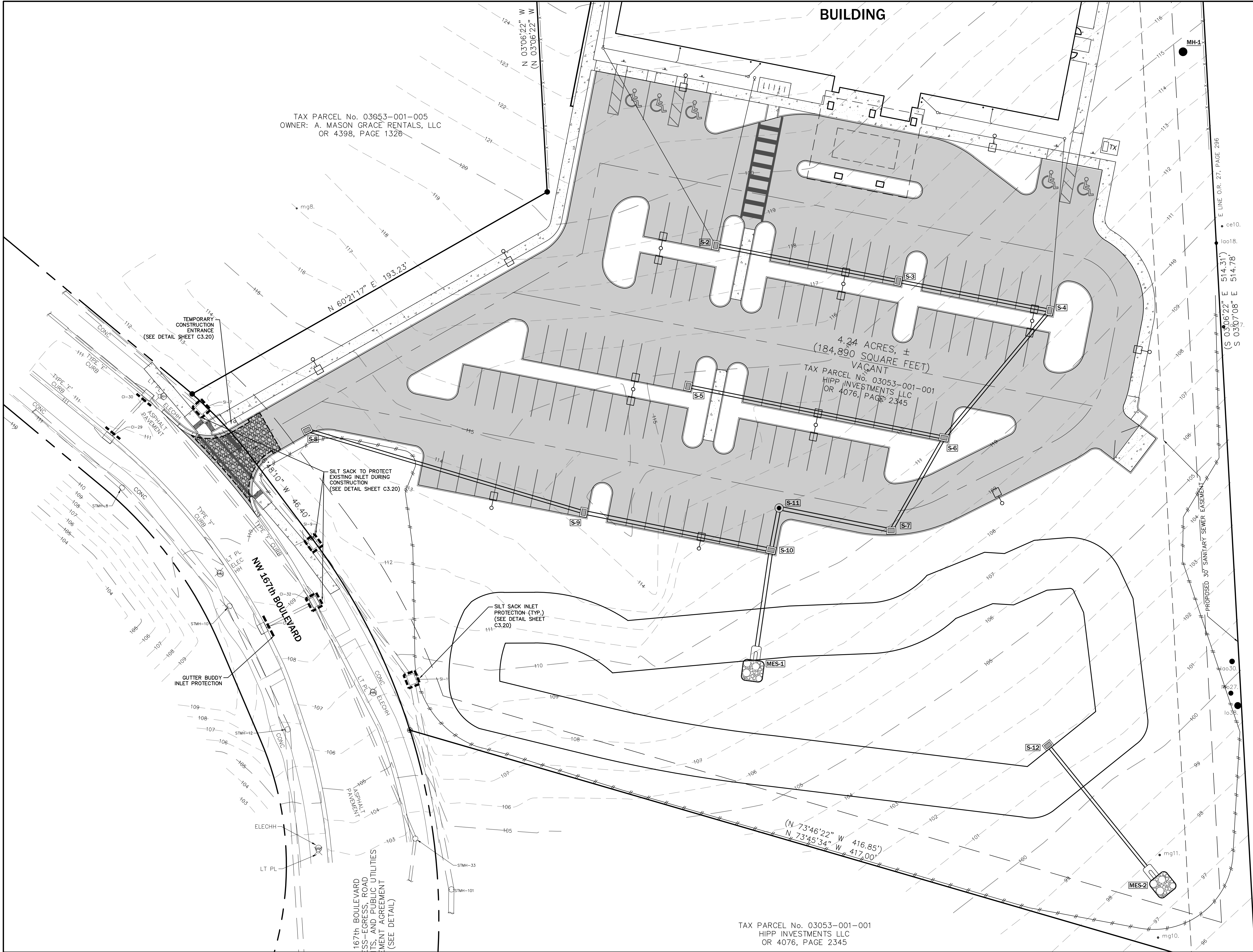
The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

\*\*\*\*\*

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



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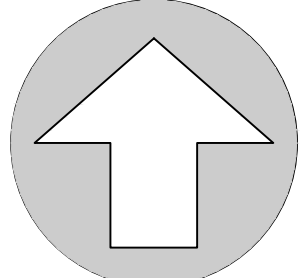


TAX PARCEL No. 03053-001-005  
OWNER: A. MASON GRACE RENTALS, LLC  
OR 4398, PAGE 1326

BUILDING

4.24 ACRES, ±  
(184,890 SQUARE FEET)  
VACANT  
TAX PARCEL No. 03053-001-001  
HIPP INVESTMENTS LLC  
OR 4076, PAGE 2345

TAX PARCEL No. 03049-000-000  
MEGAHEE ENTERPRISES, LTD  
OR 2209, PAGES 2644-2652



NORTH

SCALE: 1" = 20'

GRAPHIC SCALE



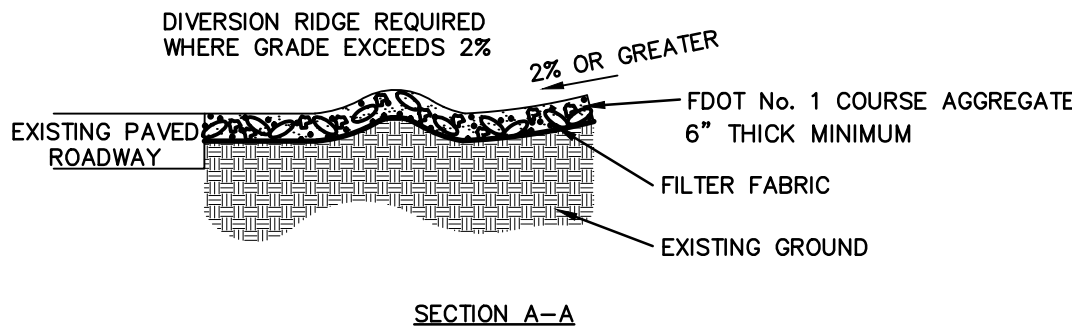
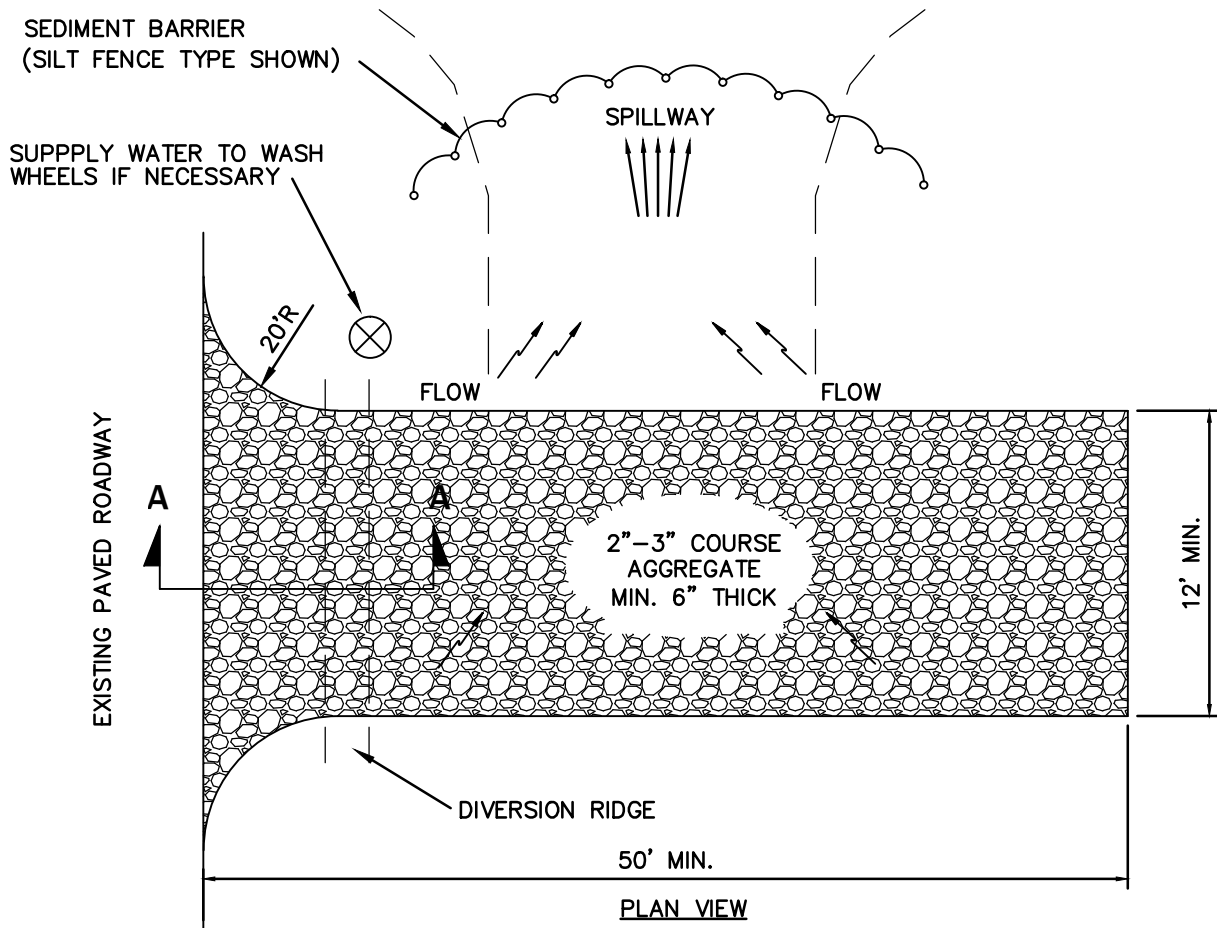
HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA

EROSION AND SEDIMENTATION CONTROL PLAN

Project phase:  
CITY OF ALACHUA RESUBMITTAL  
Designed: Sergio J. Moya, N.E.  
Project: 16233-1, 12/19/2016  
Professional Engineer of Record:  
Sergio J. Moya, N.E.  
Engineer's Seal: 16233-1, 12/19/2016

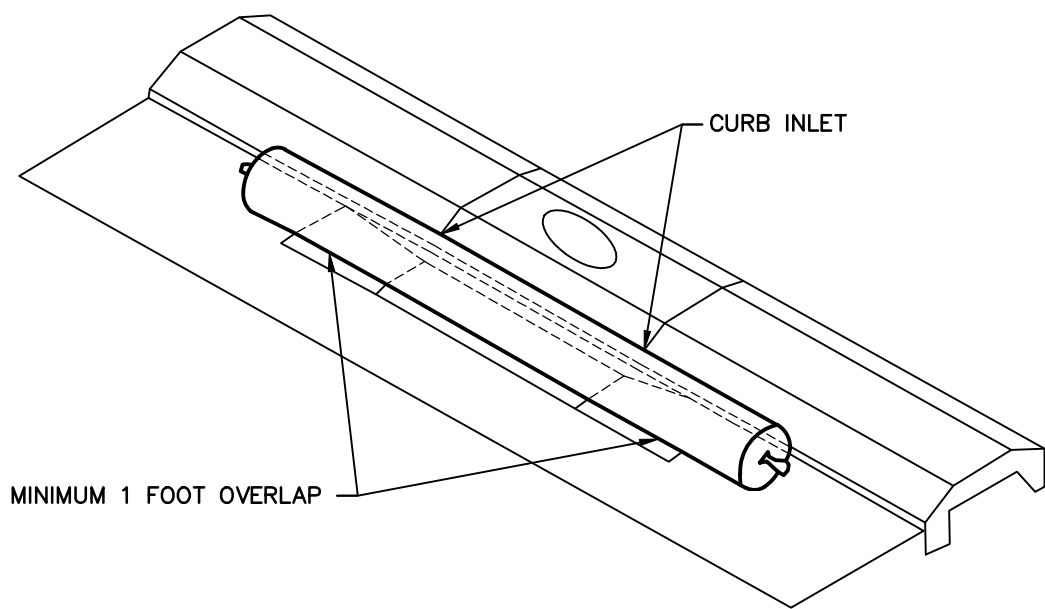
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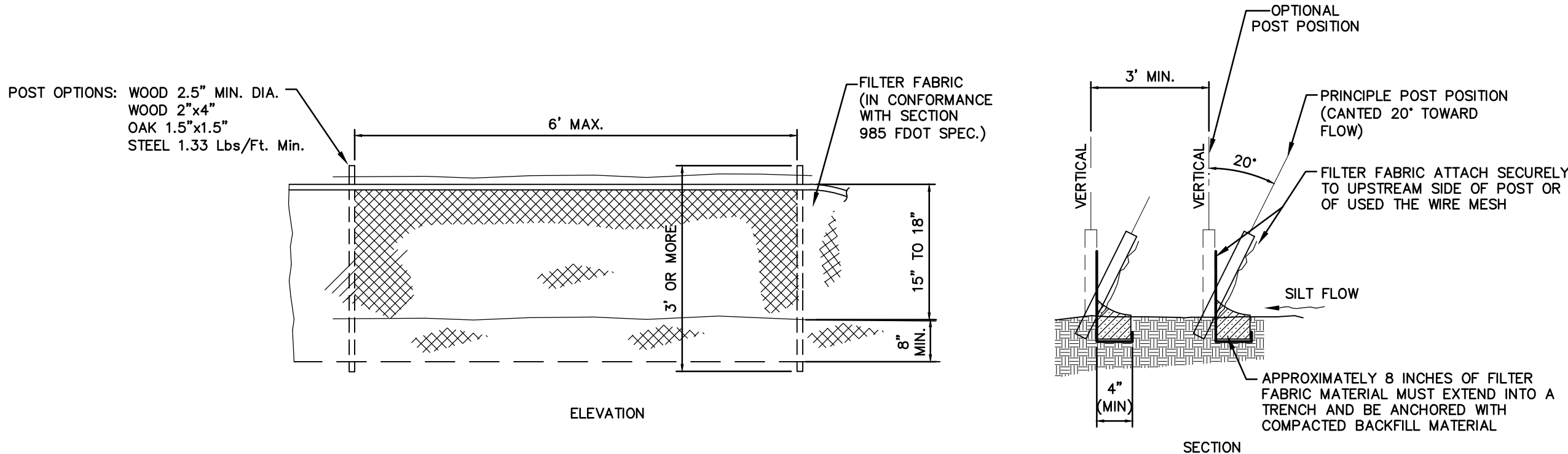
- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. USE SANDBAGS STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

**TYPICAL GRAVEL CONSTRUCTION ENTRANCE**  
N.T.S.

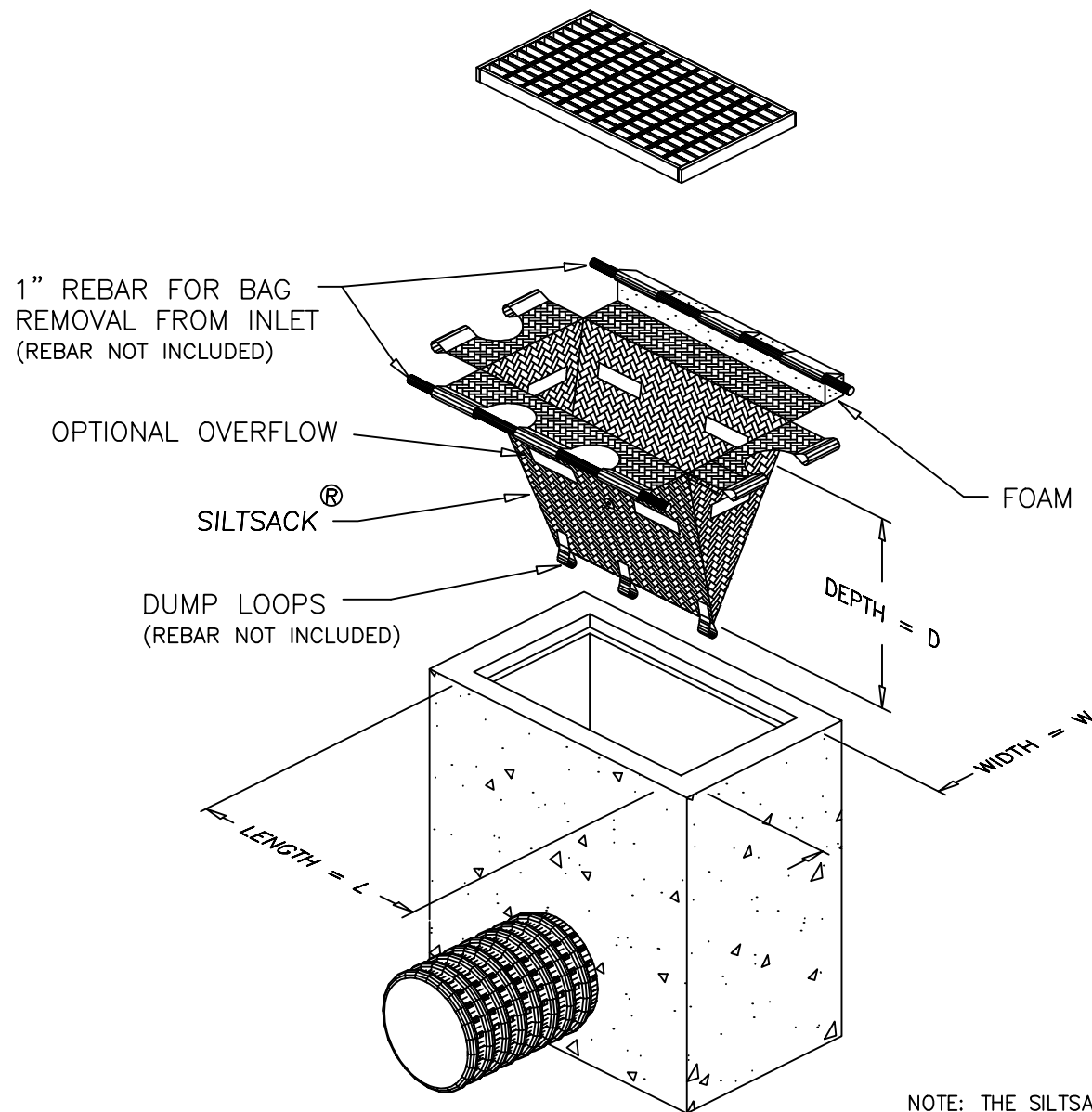


- NOTES:
1. INSTALL THE GUTTERBUDDY IN FRONT OF THE CURB INLET OPENING. EACH END OF THE GUTTERBUDDY SHOULD OVERLAP THE CURB INLET APPROXIMATELY 12\"/>

**GUTTERBUDDY TYPICAL DETAIL**  
N.T.S.



**TYPE III SILT FENCE DETAIL**  
N.T.S.



**REGULAR FLOW SILTSACK®**

(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4633	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

**DETAIL OF INLET SEDIMENT CONTROL DEVICE  
WITH CURB DEFLECTOR**  
N.T.S.

**EROSION & SEDIMENTATION CONTROL NOTES**

1. TEMPORARY SEEDING WILL TAKE PLACE IN ALL FILL AREAS
2. INSTALLATION OF EROSION CONTROL SHALL BE IN ACCORDANCE WITH DETAILS AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
3. STOCK PILING AND/OR STORAGE OF MATERIAL DURING CONSTRUCTION SHALL NOT IMPEDE STORMWATER FLOW AND SHALL NOT CAUSE EROSION.
4. AREAS USED FOR CONSTRUCTION SHALL BE STABILIZED AFTER REMOVAL AS REQUIRED PER SWPPP.
5. SILT FENCING AND/OR STAKED HAYBALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION.
6. THE STORMDRAIN SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.
7. THE DRAINAGE BASIN BOTTOM SHALL BE SCRAPED CLEAN OF ALL ACCUMULATED SEDIMENT UPON COMPLETION OF CONSTRUCTION AFTER THE STORMDRAIN SYSTEM IS COMPLETELY FLUSHED OUT.
8. ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED BY COMPLETION OF CONSTRUCTION. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE. SEASONAL GRASSES (I.E. WINTER RYE, SUMMER MILLET) SHALL BE USED IS NECESSARY.

SCALES:  
AS SHOWN

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**HOLIDAY INN ALACHUA  
CITY OF ALACHUA, FLORIDA**

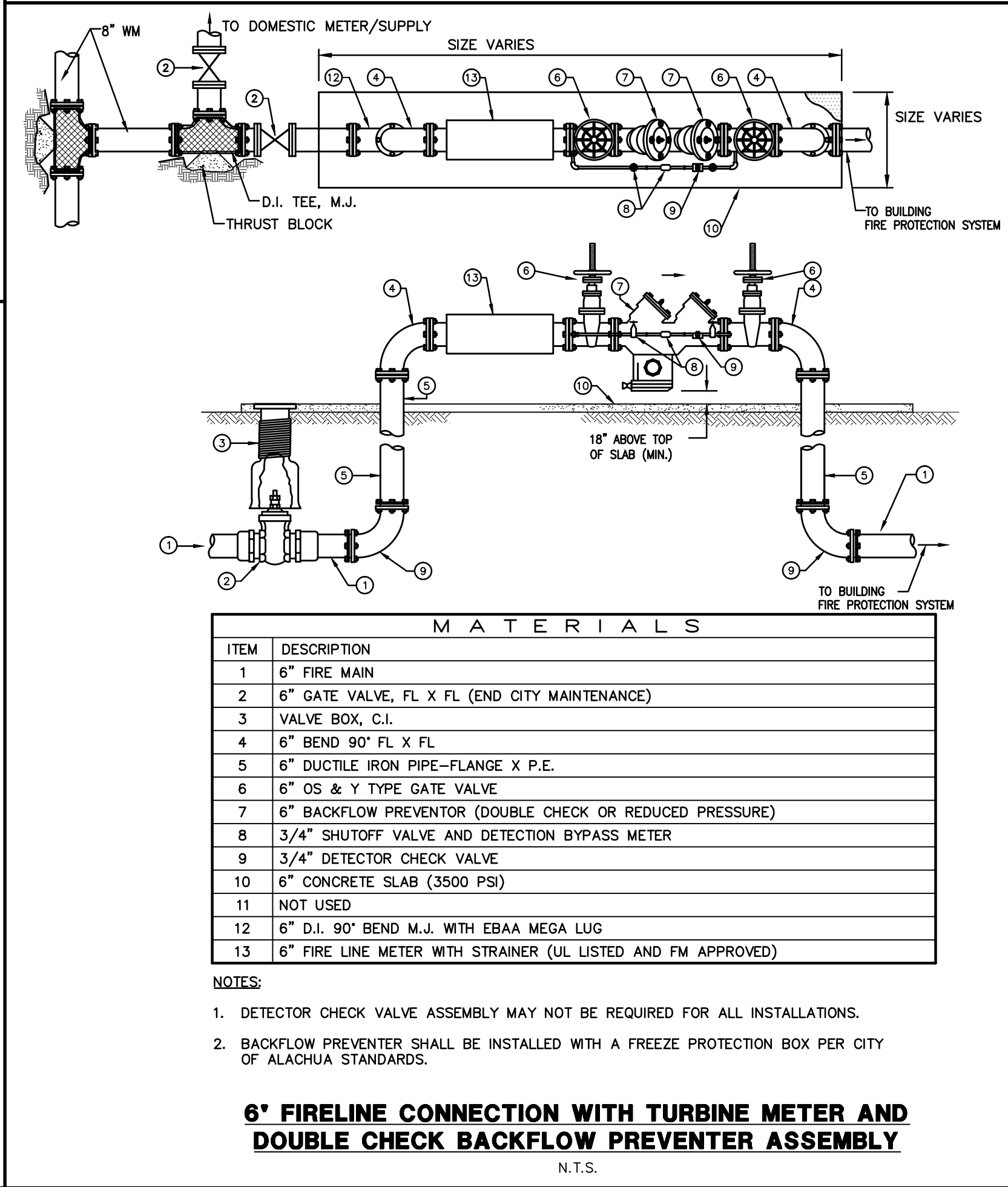
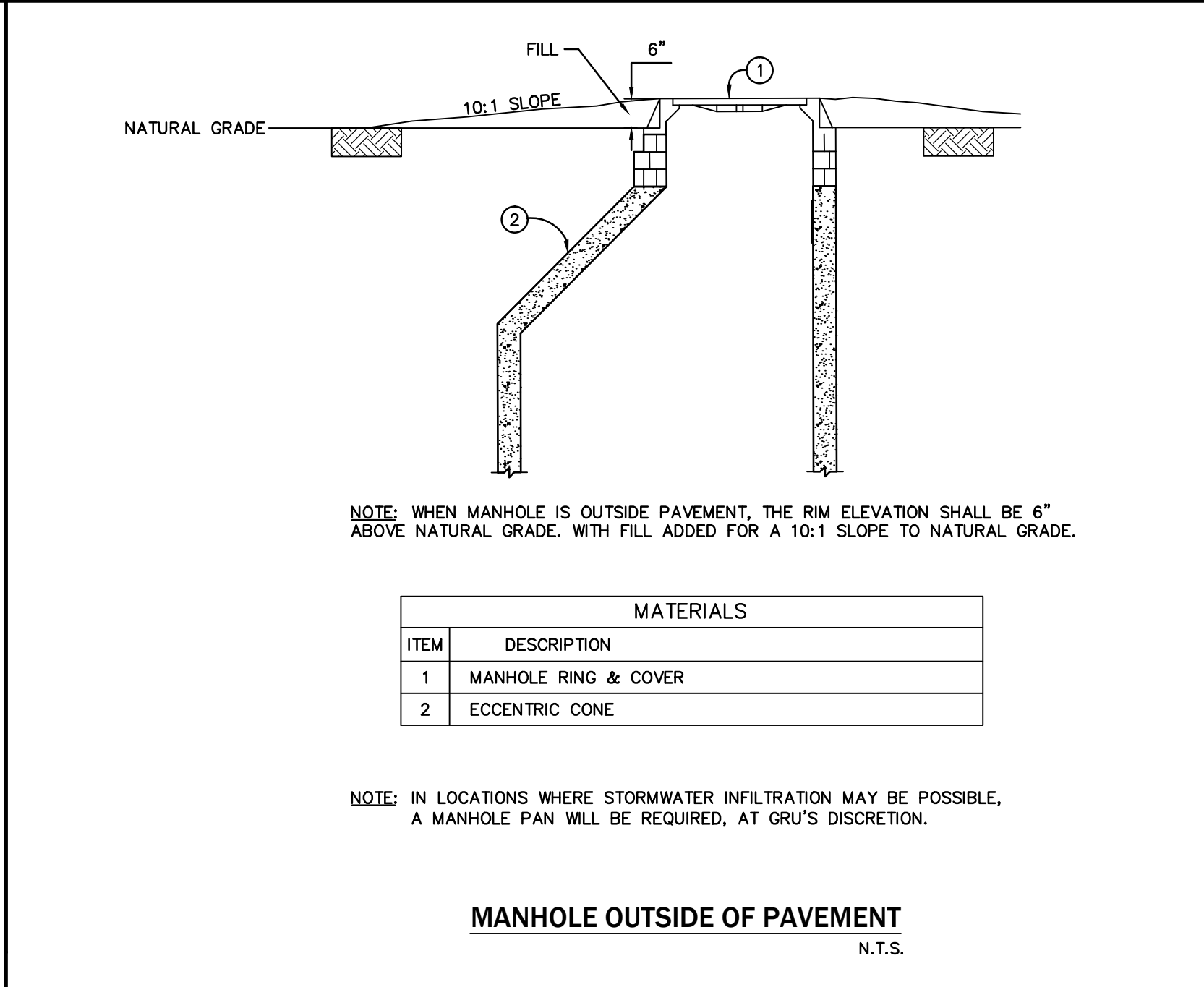
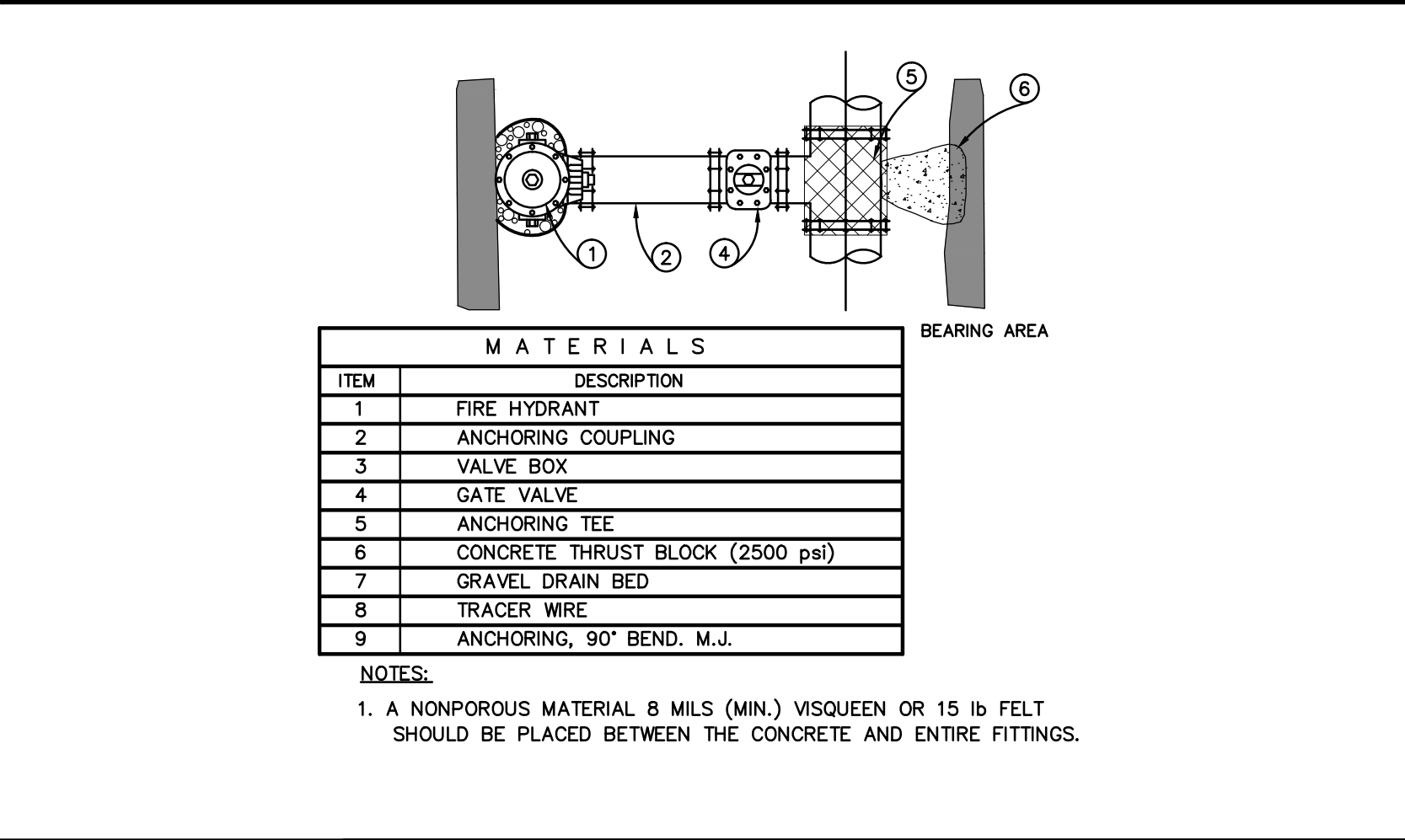
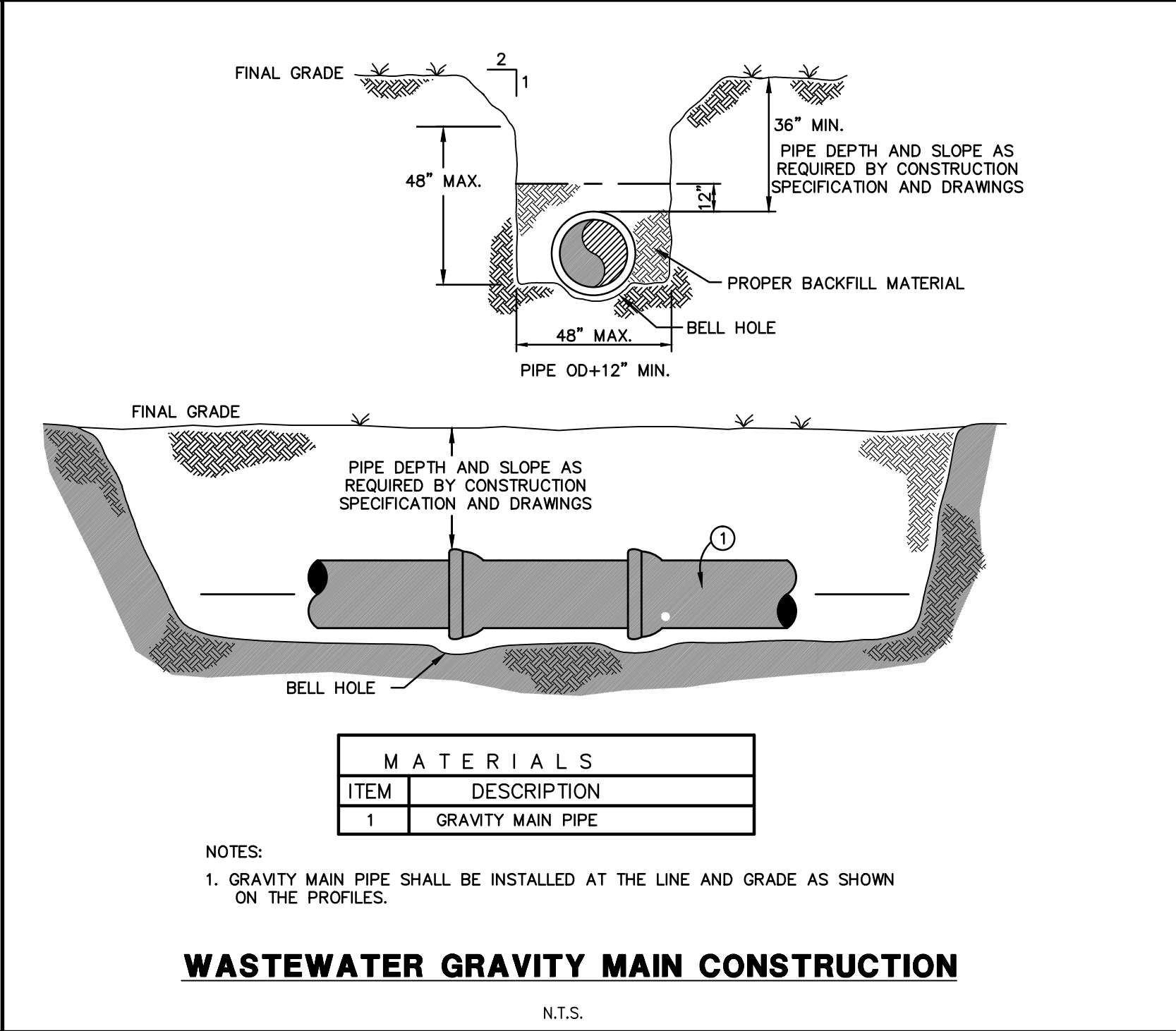
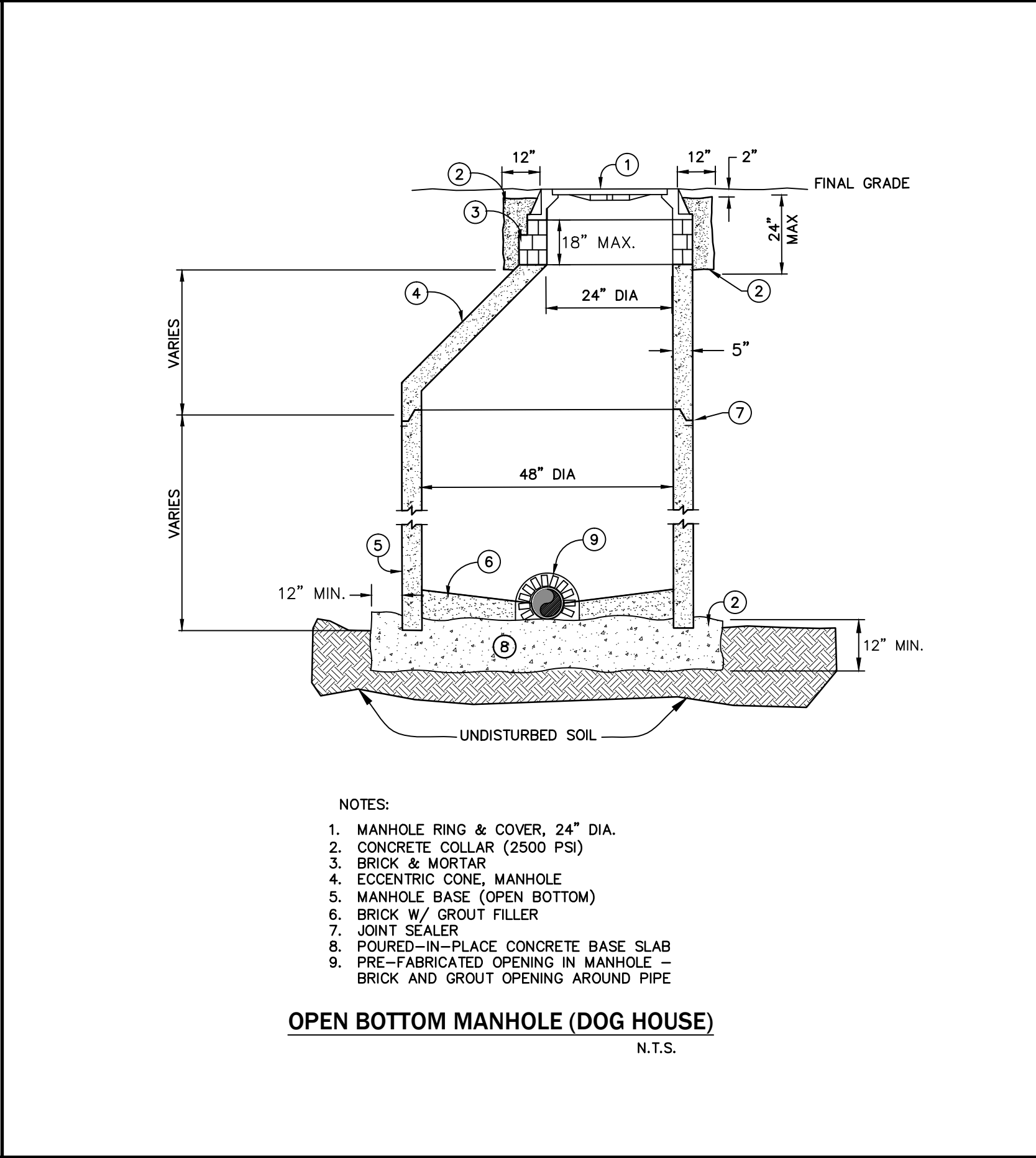
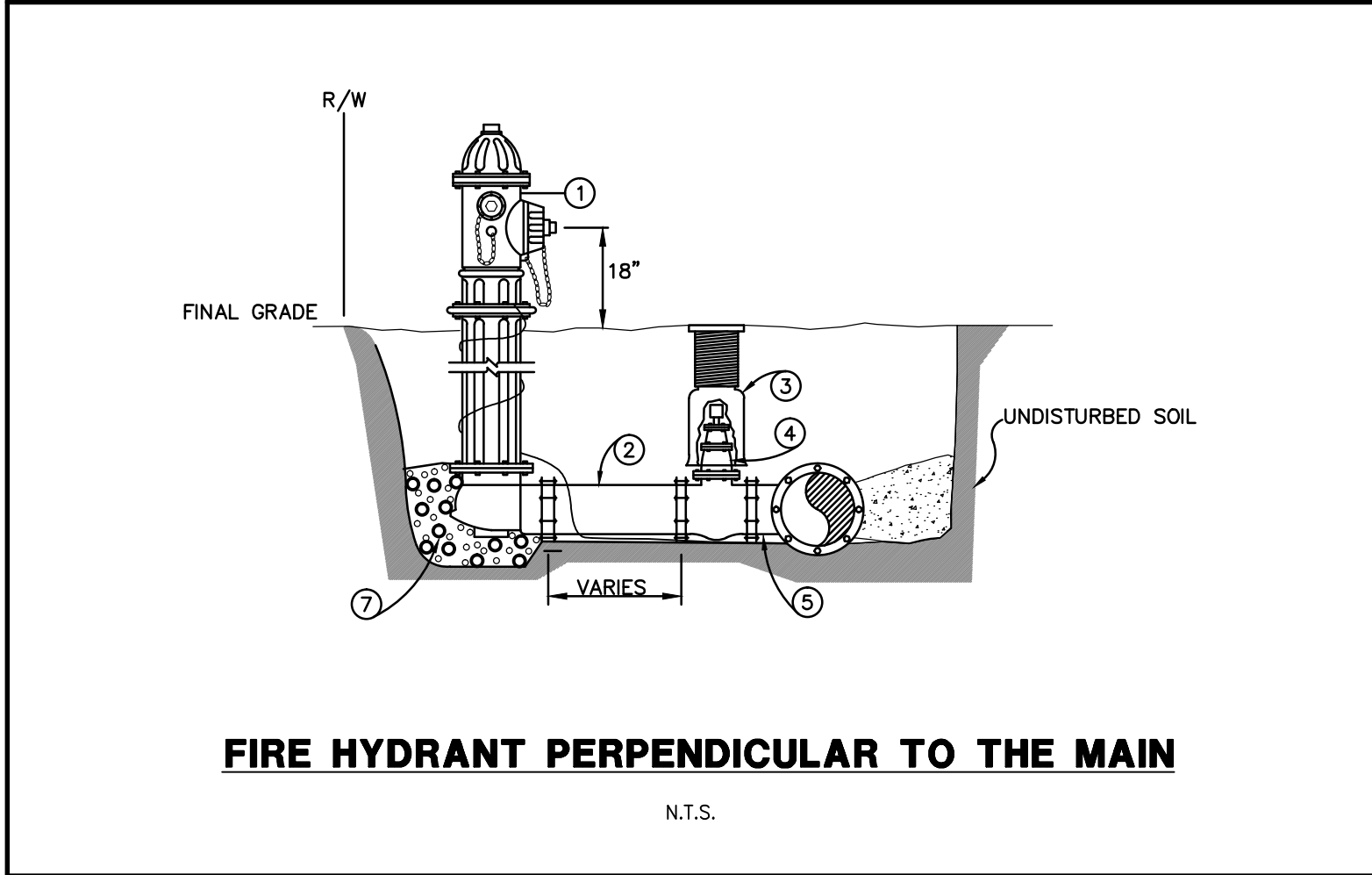
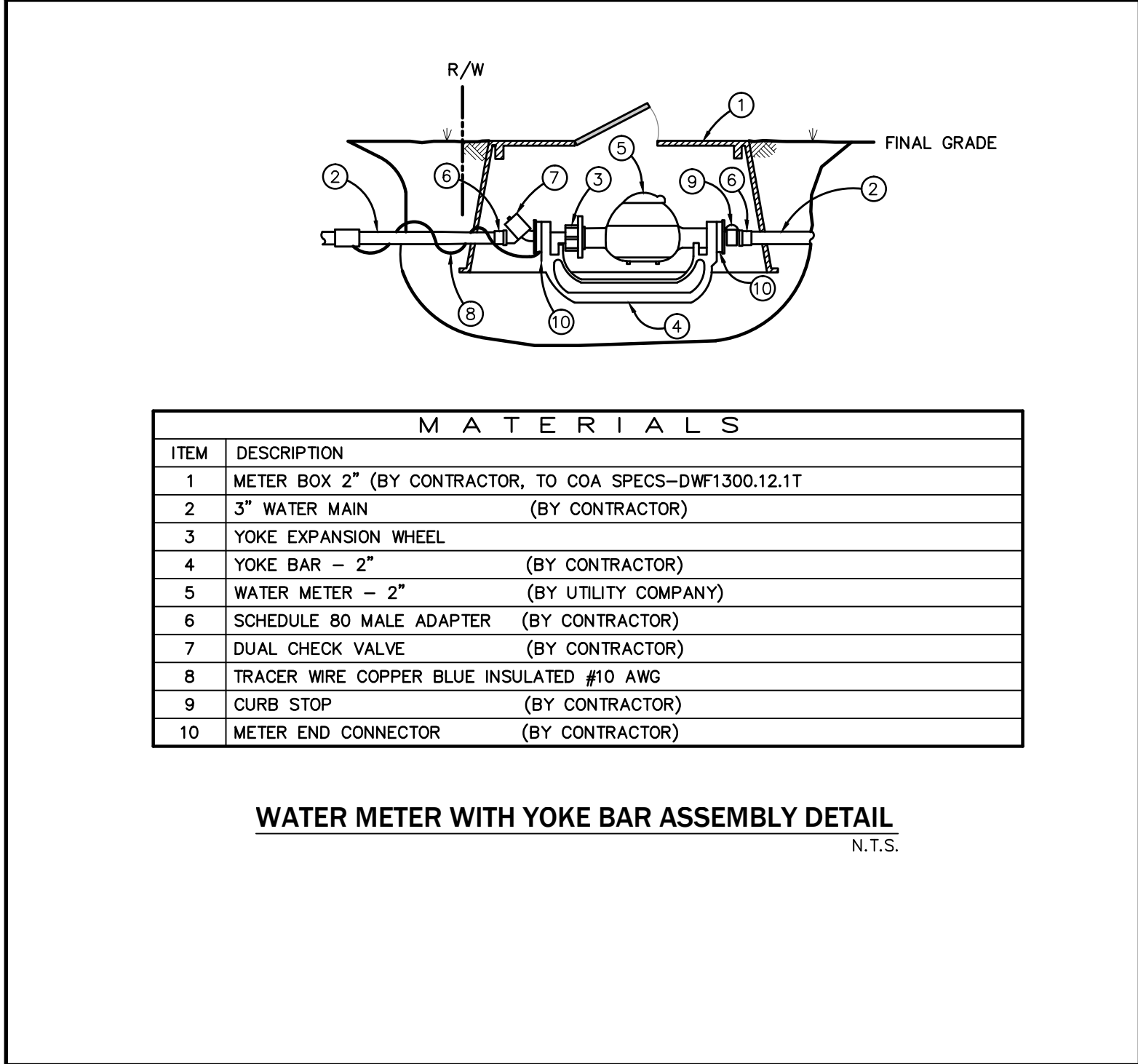
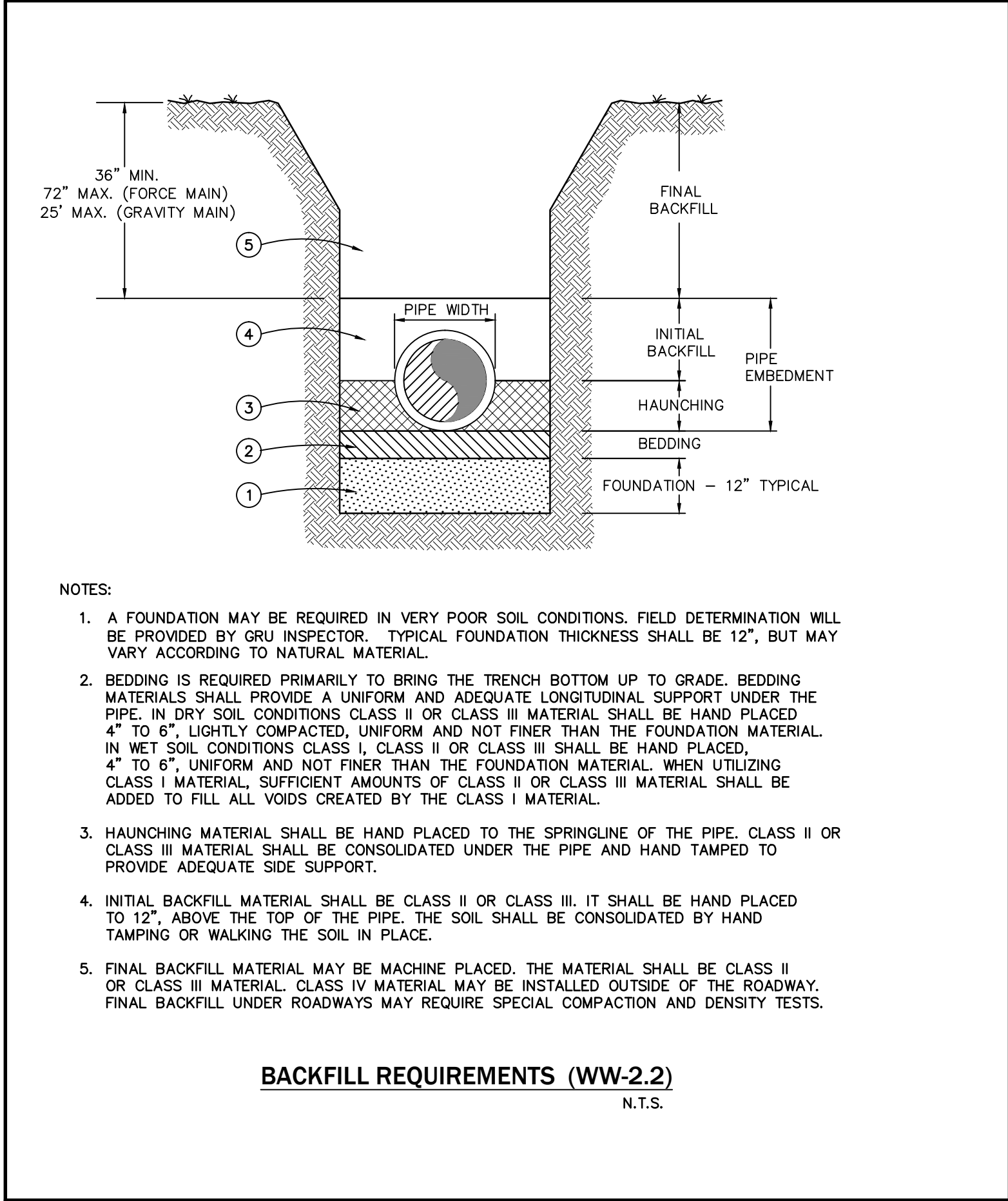
**EROSION DETAILS AND NOTES**

Project phase:	Project:
CITY OF ALACHUA RESUBMITTAL	CITY OF ALACHUA RESUBMITTAL
Designed: Sergio J. Mas	Designed: Sergio J. Mas
Project: 2024-2025	Project: 2024-2025
Professional Engineer of Record:	Professional Engineer of Record:
Sergio J. Mas	Sergio J. Mas
Engineer's Seal	Engineer's Seal

C3.20







GENERAL UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND VERIFICATION OF EXISTING UTILITIES. ANY EXISTING UTILITY TO BE MODIFIED SHALL BE COORDINATED WITH THE CITY OF ALACHUA.
- WATER METER ASSEMBLIES SHALL BE INSTALLED BY CITY OF ALACHUA.
- ELECTRIC SERVICE TO BE COORDINATED WITH CITY OF ALACHUA PUBLIC SERVICES.
- UTILITY INSTALLATION SHALL NOT TAKE PLACE WITHIN TREE BARRICADE AREA AS SHOWN ON THE PAVING, GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS OFF-SITE AND FURNISH APPROVED MATERIAL PER CITY OF ALACHUA PUBLIC SERVICES FOR SANITARY SEWER LINES BACKFILL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ON-SITE BY APPROVAL OF THE OWNER.
- NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY WATER LINE OR 15 FEET OF ANY SEWER LINE.
- CONTRACTOR SHALL PROTECT LANDSCAPE AND ANY DISTURBED AREAS SHALL BE RESTORED AS EXISTING.

WATER DISTRIBUTION SYSTEM

- NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 3' BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STOM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. A HORIZONTAL DISTANCE OF AT LEAST 6' BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR HORIZONTAL DISTANCE OF AT LEAST 3' BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST 6' BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER; AND A HORIZONTAL DISTANCE OF AT LEAST 10' BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".
- NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6" ABOVE THE OTHER PIPELINE OR AT LEAST 12" BELOW THE OTHER PIPELINE, AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12" ABOVE OR BELOW THE OTHER PIPELINE.
- ALL ON-SITE FIRE HYDRANTS SHALL BE PAINTED PER THE REQUIREMENTS OF THE APPLICABLE MUNICIPALITY OR COUNTY. ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA STANDARDS C502-80 THEREOF.
- CONTRACTOR TO INSTALL TEMPORARY BLOWOFFS, AT THE END(S) OF PROPOSED WATER MAINS AND SERVICE LATERALS TO BUILDING(S), TO ASSURE ADEQUATE FLUSHING AND DISINFECTANT/CHLORINATION.
- ALL WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA MANUAL M23, CONCERNING HYDROSTATIC TESTING OF PVC PIPING.
- ALL WATER MAINS SHALL BE STERILIZED IN ACCORDANCE WITH THE APPLICABLE SECTION OF THE LATEST AWWA SPECIFICATION C651.
- FIRE PROTECTION SHALL MEET ALL THE REQUIREMENTS OF THE APPLICABLE MUNICIPALITY OR COUNTY.
- CONTRACTOR SHALL COORDINATE WITH CITY FOR CONSTRUCTION OF THE WATER SYSTEM. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE SPECIFICATIONS AND REQUIREMENTS OF CITY AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
- ALL UTILITIES CONSTRUCTION CONNECTION TO THE CITY PUBLIC UTILITIES SYSTEM SHALL CONFORM TO CITY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION.
- WATER, SEWER, AND REUSE PIPES SHALL HAVE A MINIMUM COVER OF 3 FEET TO TOP OF PIPE, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TIE-INS.
- CONCRETE CURBS SHALL BE CHISELED OR IMPRINTED TO SHOW LOCATIONS OF WATER AND SEWER SERVICE LINES/LATERALS. MARKING SHALL CONFORM WITH LOCAL STANDARDS. WHERE NO STANDARDS EXIST, USE "W" FOR WATER, "S" FOR SANITARY AND "R" FOR REUSE AS APPLICABLE.
- WATER MAIN TAPS, WATER MAIN VALVES, AND BACKFLOW PREVENTORS SHALL BE DONE BY THE CONTRACTOR. WATER METERS AND METER BOXES SHALL BE INSTALLED BY THE CITY.
- CONTRACTOR SHALL NOT ACTIVATE WATER SERVICES UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.
- ALL PHASED WATER MAIN INSTALLATIONS SHALL END WITH A GATE VALVE AND BLOW-OFF.

SANITARY SEWER

- PVC FORCE MAIN SEWER PIPE (4" TO 12") SHALL CONFORM TO AWWA C900, DR-18, CLASS 150. PVC FORCE MAIN PIPE FOURTEEN (14) INCHES AND LARGER SHALL BE AWWA C905 (LATEST REVISION) APPROVED CAST IRON O.D. DR-25 WITH FACTORY INSTALLED GASKETS. PVC MATERIAL SHALL MEET CELL CLASSIFICATION SPECIFIED BY ASTM D-1784.
- GRAVITY SEWER MAINS AND LATERALS WITH 14 FEET OR LESS COVER FROM FINISHED GRADE SHALL BE PVC, SDR 35, GREEN IN COLOR OR GREEN STRIPED.
- JOINTS FOR PVC SEWER SHALL BE COMPRESSION TYPE.
- ALL SEWER MAINS TO HAVE A MINIMUM COVER OF 3'-0" UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, MANHOLE COVERS SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT ELEVATION AND GRADE OR 1" ABOVE GRADE IN UNPAVED AREAS.
- AIR RELEASE VALVES SHALL BE INSTALLED AT ALL HIGH POINTS ALONG FORCE MAIN.
- SERVICE CONNECTIONS SHALL BE 4" DIAMETER INSTALLED AT 1% MINIMUM SLOPE OR 6" DIAMETER INSTALLED AT 0.6% MINIMUM UNLESS OTHERWISE NOTED.
- INSTALL A CLEANOUT TO FINISHED GRADE AT THE END OF EACH SERVICE LINE AND RECORD THEIR LOCATION.
- THE SEWER COLLECTION SYSTEM SHALL NOT BE PLACED IN SERVICE UNTIL THE SYSTEM HAS BEEN VISUALLY INSPECTED AND FLUSHED OF SEDIMENT AND DEBRIS.
- THE SEWER LINES SHALL BE TESTED BY ONE OF THE FOLLOWING METHODS: WATER INFILTRATION, WATER EXFILTRATION OR LOW PRESSURE AIR EXFILTRATION AS DIRECTED BY OWNER'S REPRESENTATIVE OR CITY INSPECTOR.

Project phase: CITY OF ALACHUA RESUBMITTAL

Designed: Sergio J. Lopez

Project: 12/19/2016

Professional Engineer of Record: Sergio J. Lopez

State of: FLORIDA

Professional Engineer License No. 12111

Engineer Seal No. 12111

Project: C4.10

Sheet title: UTILITY DETAILS AND NOTES

Sheet No.: C4.10

SCALES: AS SHOWN

engineers • planners  
2024 N.W. 1st CT, Suite 204, Alachua, FL 32310  
TEL: (352) 372-2444 FAX: (352) 372-2444  
www.edsi.com mail@edsi.com



Plotted Sept 13, 2016 at 11:31:18 - bbonite

# BOUNDARY AND TOPOGRAPHIC SURVEY

IN  
IN A PORTION OF FRACTIONAL SECTION 9 TOWNSHIP 8 SOUTH, RANGE 18 EAST  
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA  
FOR  
MPH HOTELS, INC.

## NOTES:

- BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF S 01°49'00"E ON THE WEST BOUNDARY OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) REFER TO LEGAL DESCRIPTION WHERE THEY DIFFER FROM FIELD MEASUREMENT.
- ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
- NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THE SURVEYOR, THEREFORE, THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. EASEMENTS AND BUILDING SETBACK REQUIREMENTS, OTHER THAN THOSE SHOWN, WERE NOT PROVIDED TO THIS SURVEYOR.
- ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 89.37 FEET (29 NGVD) ON TOP OF A 4"x4" CONCRETE MONUMENT AND DISK, FLORIDA D.O.T. BM NO. 39.

## UTILITY LOCATION NOTE:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN WERE BASED ON ABOVE GROUND FIXTURES, UTILITY COMPANY MAPS AVAILABLE TO THE SURVEYOR, AND ELECTRONIC DETECTION METHODS. UNLESS NOTED OTHERWISE ON THE GRAPHIC PORTION OF THIS SURVEY, NO UTILITIES WERE UNCOVERED TO VERIFY THEIR LOCATION.

NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED BY THE SURVEYOR THAT THE LOCATIONS SHOWN REPRESENT THE ACTUAL LOCATIONS OF THOSE UTILITIES, THE UTILITY TYPE, OR THAT NO OTHER UTILITIES EXIST ON THE SITE.

PRIOR TO THE DESIGN OF UTILITY CONNECTIONS, THE PROPOSED CONNECTION POINTS SHOULD BE EXCAVATED AS NECESSARY TO CONFIRM THEIR EXACT LOCATION, DEPTH AND CHARACTERISTICS.

IN ACCORDANCE WITH FLORIDA STATUTE CHAPTER 556, PRIOR TO ANY EXCAVATION, THE EXCAVATOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770.

## LEGAL DESCRIPTION:

A portion of Fractional Section 9, Township 8 South, Range 18 East, Alachua County, Florida; being more particularly described as follows:

Commence at the Northwest corner of Fractional Section 9, Township 8 South, Range 18 East, Alachua County, Florida and run thence South 01°49'00" East, along the west boundary of said Section, 1576.08 feet; thence North 88°33'13" East, 1300.20 feet to the Northwest corner of that certain tract of land as described in Official Records Book 503, page 107 of the Public Records of Alachua County, Florida; thence South 01°49'00" East, along the West line of said certain tract of land, 1347.88 feet to a 4" X 4" concrete monument (stamped "LB 5091 BARRINEAU") as depicted on 'Heritage Oaks Phase I', a subdivision as per plat thereof, recorded in Plat Book 24, page 79 of said Public Records; thence South 78°52'28" East, along the South boundary of said Heritage Oaks Phase I, a distance of 933.22 feet to the Point of Beginning; thence continue South 78°52'28" East, along said South boundary, 324.76 feet to the Southeast corner of said Heritage Oaks Phase I and to a point on the East line of that certain tract of land as described in Official Records Book 27, page 296 of said Public Records; thence South 03°06'22" East, along said East line, 514.31 feet; thence North 73°46'22" West, 416.85 feet to a point on the East line of an Ingress and Egress, Road Improvements, and Public Utilities Easement Agreement recorded in Official Records Book 4400, page 2104 of said Public Records, said point lying on the arc of a curve, concave southwesterly, having a radius of 301.00 feet; thence northwesterly, along the East line of said Ingress and Egress, Road Improvements and Public Utilities Easement Agreement, through the following three (3) courses: (1) run thence northwesterly along the arc of said curve through a central angle of 19°31'14", an arc distance of 102.55 feet to the end of said curve, said arc being subtended by a chord having a bearing and distance of North 27°02'33" West, 102.06 feet, (2) North 36°48'10" West, 46.40 feet to the beginning of a curve, concave southwesterly, having a radius of 201.00 feet, (3) thence northwesterly, along the arc of said curve, through a central angle of 12°08'02", an arc distance of 42.57 feet, said arc being subtended by a chord having a bearing and distance of North 42°52'11" West, 42.49 feet; thence North 60°21'17" East, 193.23 feet; thence North 03°06'22" West, 205.27 feet to the Point of Beginning.

Together with rights of ingress and egress over and across the right-of-way described in the Amendment to Ingress-Egress Road Improvements recorded in O.R. Book 4400, page 2104, Public Records of Alachua County, Florida.

## LEGEND OF SYMBOLS & ABBREVIATIONS:

- CI = CURB INLET
- cmp = CORRUGATED METAL PIPE
- cpe = CORRUGATED POLY-ETHYLENE PIPE
- CONC = CONCRETE
- Δ = DELTA (CENTRAL) ANGLE
- R = RADIUS
- A = ARC
- T = TANGENT
- CB = CHORD BEARING
- CD = CHORD DISTANCE
- ELEV = ELEVATION
- ID = IDENTIFICATION
- INV = INVERT
- LINEAR FEET = LINEAR FEET
- NUMBER = NUMBER
- O.R. = OFFICIAL RECORDS BOOK
- P.GS. = PAGES
- PVC = POLY-VINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- R/W = RIGHT OF WAY
- S = FRACTIONAL SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST
- SMH = SANITARY SEWER MANHOLE
- STMH = STORM SEWER MANHOLE
- ET = ELECTRICAL TRANSFORMER PAD
- W/ = WITH
- = SANITARY CLEAN-OUT
- = FOUND CONCRETE MONUMENT (size, ID)
- = FOUND NAIL & DISK (ID)
- = FOUND REBAR & CAP (size, ID)
- = ELECTRICAL HANDHOLE
- = LIGHT POLE
- = MANHOLE
- = SET 5/8" REBAR & CAP (LB 2389)
- = SET NAIL & DISK (PRM LB 2389)
- = SIGN
- = WATER VALVE
- = ELEVATION CONTOUR LINE
- = FENCE LINE
- = UNDERGROUND ELECTRIC LINE
- = UNDERGROUND GAS LINE
- = UNDERGROUND TELEPHONE LINE
- = UNDERGROUND CABLE TELEVISION LINE
- = UNDERGROUND WATER LINE
- = SIZE AND/OR MATERIAL AS PROVIDED BY UTILITY COMPANY
- = SPOT ELEVATION

## TREE LEGEND:

ONLY TREES WITH A DIAMETER 8" AND GREATER WERE LOCATED FOR THIS SURVEY. (DIAMETER MEASURED 4.5' ABOVE GRADE)

- cel10 = 10' CEDAR
- cel16 = 16' CHERRY
- loa14 = 14" LAUREL OAK
- loa21 = 21" LIVE OAK
- mg12 = 12" MAGNOLIA
- sg13 = 13" SWEETGUM
- w98 = 9" WATER OAK

TAX PARCEL No. 03053-001-005  
OWNER: A. MASON GRACE RENTALS, LLC  
OR 4398, PAGE 1328

4.24 ACRES, ±  
(184,890 SQUARE FEET)  
VACANT

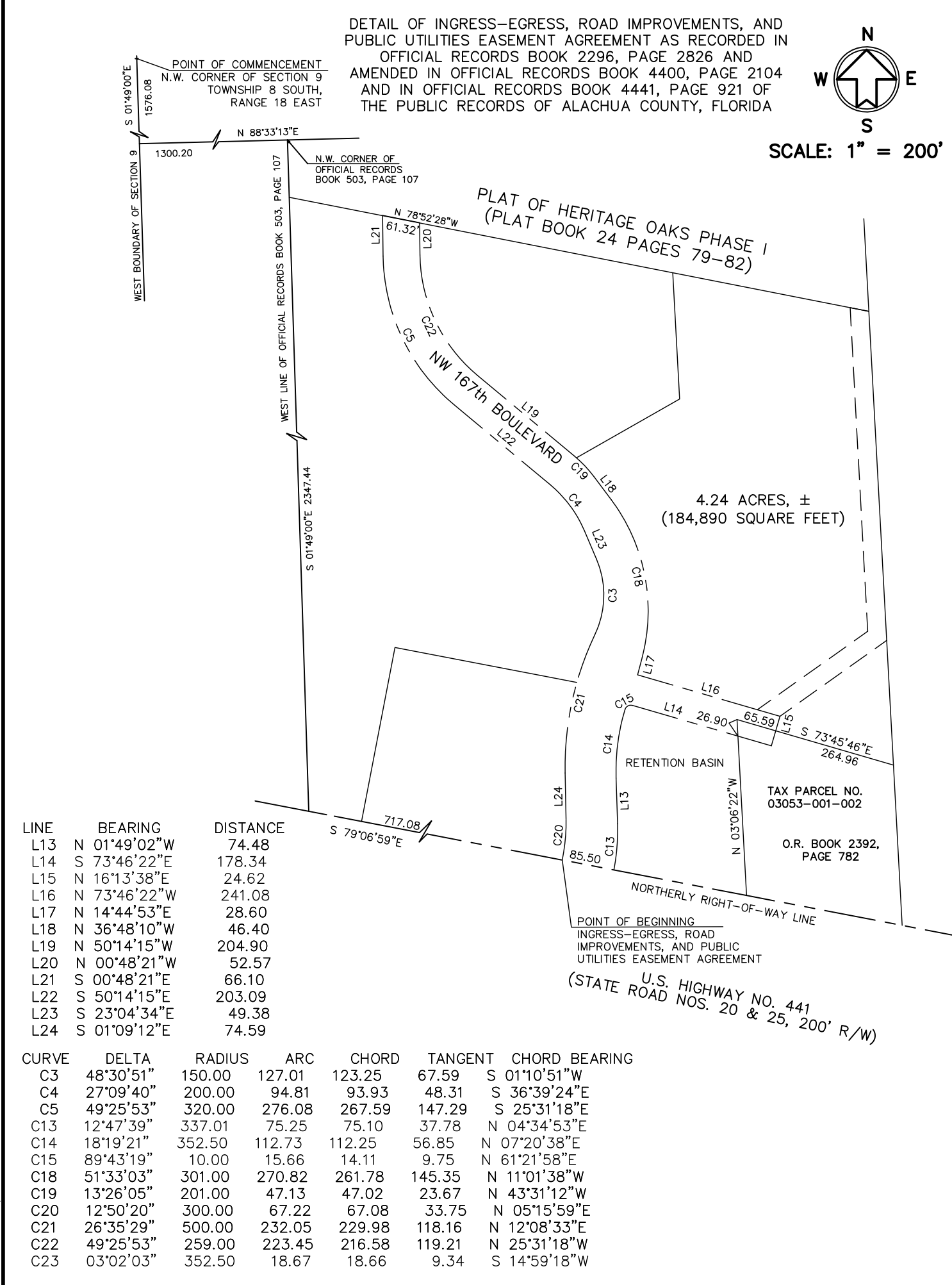
TAX PARCEL No. 03053-001-001  
HIPP INVESTMENTS LLC  
OR 4076, PAGE 2345

TAX PARCEL No. 03053-001-001  
HIPP INVESTMENTS LLC  
OR 4076, PAGE 2345

Storm Sewer Table	
Structure	Structure Data
CI-29	NE rim elev = 110.94' 15" rcp NE inv=106.37'
CI-30	NW rim elev = 110.56' 15" rcp SW inv=106.54' 15" rcp NW inv=105.13' 15" rcp SE inv=105.29'
CI-31	NE rim elev = 108.67' 15" rcp NE inv=105.09'
CI-32	NW rim elev = 108.79' 15" rcp SE inv=103.96' 15" rcp NW inv=103.71' 15" rcp SW inv=103.96'
SI-7	N rim elev = 111.69' weir elev = 111.24' 24" cpe SE inv=105.99' 18" cpe NW inv=105.32'
SI-9	N rim elev = 110.49' weir elev = 110.00' 24" cpe SE inv=105.10' 24" cpe NW inv=105.56'
SI-11	N rim elev = 108.82' weir elev = 108.27' 30" cpe SE inv=103.88' 24" cpe NW inv=104.30'
STMH-8	N rim elev = 111.20' 30" cpe SE inv=93.93' 24" cpe NW inv=94.12'
STMH-10	N rim elev = 109.77' 30" cpe NW inv=93.22' 30" cpe SE inv=93.27'
STMH-12	N rim elev = 107.58' 30" cpe NW inv=92.58' 30" cpe S inv=92.19'
STMH-13	E rim elev = 99.75' 30" cpe N inv=91.26' 30" cpe S inv=90.48'
STMH-33	N rim elev = 103.38' 15" rcp NW inv=99.64' 15" rcp SW inv=99.79'
STMH-101	N rim elev = 103.46' W rim elev = 103.46' 30" cpe S inv=98.53'

Sanitary Sewer Table	
Structure	Structure Data
SMH-3	N rim elev = 103.86' 8" pvc S inv=91.04' 8" pvc S inv=92.86' 8" pvc W inv=90.89' 8" pvc E inv=93.20'
SMH-4	N rim elev = 110.23' 8" pvc S inv=97.60' 8" pvc NW inv=97.60' 8" pvc NE inv=99.62' 8" pvc SW inv=99.20'
SMH-8	N rim elev = 91.36' 8" pvc NE inv=83.80' 8" pvc W inv=83.44' 8" pvc N inv=83.81'
SMH-9	N rim elev = 104.50' 8" pvc S inv=99.44' 8" pvc N inv=99.02'
SMH-10	N rim elev = 95.08' 8" pvc N inv=89.35' 8" pvc SW inv=89.12'
SMH-11	N rim elev = 121.10' 8" pvc S inv=115.28' 8" pvc N inv=115.32' 8" pvc W inv=115.51'

NOTE: THE SANITARY SEWER INVERTS ARE VERY DEEP AND DIFFICULT TO MEASURE. THE SIZE ACCURATELY. SIZES MAY VARY ±2".



## FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD ZONE(S) SHOWN ON THE FLOOD INSURANCE RATE MAP AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP).

DATE OF FLOOD INSURANCE RATE MAP: 06/16/06

DATE OF SURVEY: 06/16/06

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DATE OF FLOOD INSURANCE RATE MAP: 06/16/06

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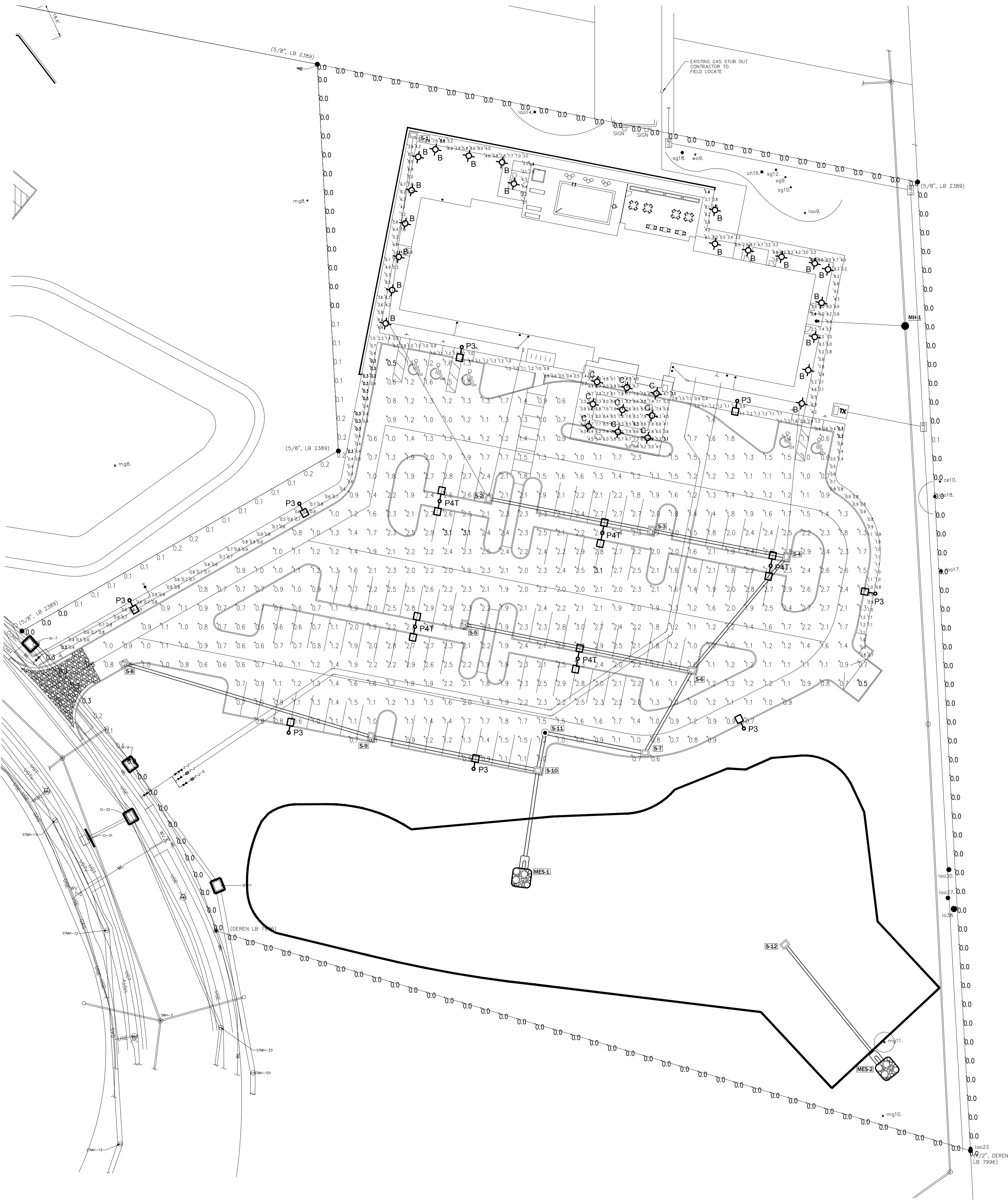
DATE OF SURVEY: 06/16/06

DATE OF FLOOD INSURANCE RATE MAP: 06/16/06

DATE OF SURVEY: 06/16/06

DATE OF FLOOD INSURANCE RATE MAP: 06/16/06





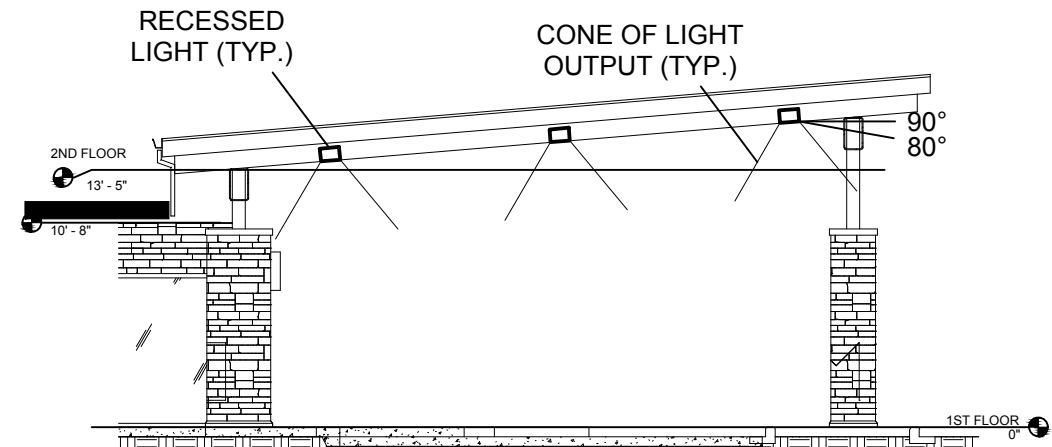
LUMINAIRE SCHEDULE FOR PHOTOMETRICS

Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	LLF	MH
	P4T	5	CREE	ARE-EDG-4M-**-06-E-12-525-40K (700mA)	CONFIGURED FROM Cree Edge Area, Type IV Medium, 60 LEDs, 525mA, 4000K	CONFIGURED FROM Sixty White LEDs	ARE-EDG-4M-**-06-E-12-525-40K-CONFIGURED.IES	10527	0.81	25
	P3	8	CREE	ARE-EDG-3MB-**-04-E-12-700-40K (700mA)	CONFIGURED FROM 60 LED Type III Medium Optic w/ Full Backlight 700mA 4000K LEDway Streetlight	CONFIGURED FROM SIXTY WHITE LIGHT EMITTING DIODES (LEDs)	ARE-EDG-3MB-**-04-E-12-700-40K-CONFIGURED.IES	5876	0.81	25
	B	20	CREE	PWY-EDG-3M-xx-02-E-UL-350-40K / BXBpx318E-UH7	Cree Edge Pathway Luminaire, Type III Medium, 18 LEDs, 120-277V, 350mA, 4000K	Eighteen type XP-G2 LEDs	PWY-EDG-3M-xx-02-E-UL-350-40K_PL05698-001.IES	1469	0.81	3.75
	C	9	CREE	KR6-20L-27K-120V	FORMED STEEL FRAME, ALUMINUM HEATSINK HOUSING, FROSTED PLASTIC LENS	n/a	Cree_Downligh L_KR6_20L_XX K_XXXV_SSG C_IES.IES	1652	0.81	VARIES MAX 15FT

NOTE: TYPE 'P3' UTILIZES INTEGRAL BACKLIGHT SHIELD TO MITIGATE LIGHT TRESPASS. THESE FIXTURES ARE LOCATED AT THE PERIMETER OF THE PARKING AREA AND ARE AIMED INWARDS TO PREVENT SPILLOVER ONTO THE ADJACENT PROPERTY.

PHOTOMETRIC STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EAST ENTRY WALK	+	5.4 fc	9.6 fc	1.4 fc	6.9:1	3.9:1
WEST ENTRY WALK	+	5.7 fc	8.6 fc	1.4 fc	6.1:1	4.1:1
PARKING LOT SIDEWALK	+	0.8 fc	2.9 fc	0.3 fc	9.7:1	2.7:1
PORTE COCHERE	+	6.5 fc	9.3 fc	3.1 fc	3.0:1	2.1:1
PARKING LOT	+	1.6 fc	3.1 fc	0.5 fc	6.2:1	3.2:1
PROPERTY LINE	+	0.0 fc	0.3 fc	0.0 fc	N / A	N / A



CANOPY LIGHTING DETAIL

SCALE: 1" = 10'

CANOPY DETAIL NOTES

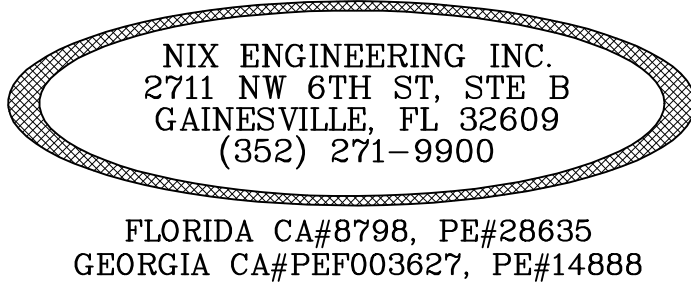
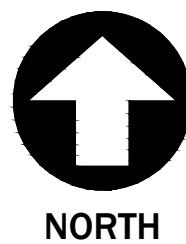
1. LIGHT FIXTURES SHALL BE PROVIDED WITH SLOPED CEILING ADAPTER.
2. NO LIGHT EMITTED ABOVE 80°, THEREFORE THE SPECIFIED INSTALLATION IS FULL CUT-OFF.

GENERAL NOTES

1. HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
2. FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
3. POLE LIGHT LOCATIONS HAVE BEEN COORDINATED WITH EXISTING AND PROPOSED TREES.

SITE PHOTOMETRIC PLAN

SCALE: 1" = 30'



NIX ENGINEERING, INC.  
CONSULTING ENGINEERS  
2711 NW 6TH ST, STE B  
GAINESVILLE, FLORIDA

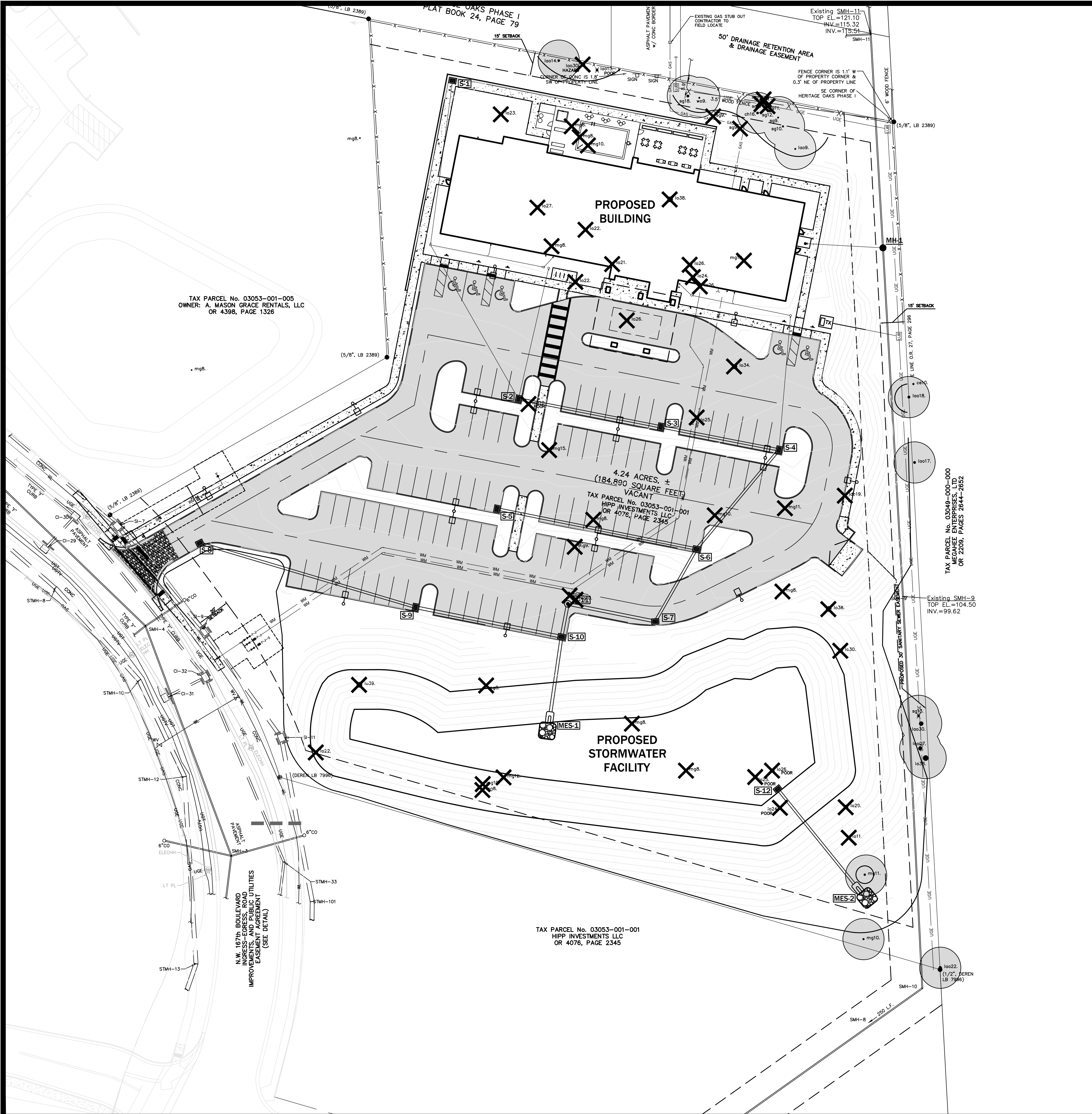
HOLIDAY INN EXPRESS  
SITE PHOTOMETRIC PLAN  
ALACHUA, FL

Drawing Number

E-1

Project Number  
1680  
Date  
12/19/16  
Designed By  
KWH  
Checked By  
R/N

Rev	Date	Description



TREE LEGEND

THE ONLY TREES LOCATED FOR THIS SURVEY WERE HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT)

LOCATION	SPECIES	DIAMETER AT BREAST HEIGHT IN INCHES	SIZE / COMMON NAME
lo10.		10"	BAY
cb11.		11"	CHINABERRY
ce11.		11"	CEDAR
ch12.		12"	CHERRY
cht10.		10"	CHINESE TALLOW
ht11.		11"	HICKORY
lo12.		12"	LAUREL OAK
lo15.		15"	LIVE OAK
mb12.		12"	MULBERRY
mg18.		18"	MAGNOLIA
po18.		18"	PALM
pi14.		14"	PINE
po9.		9"	POST OAK
sb11.		11"	SUGARBERRY
sg17.		17"	SWEETGUM
tk11.		11"	TURKEY OAK
tree18.		18"	UNIDENTIFIED TREE
wo14.		14"	WATER OAK

- lo27. EXISTING PINES AND OAKS TO REMAIN
- mg8. TREES TO BE REMOVED

NOTES

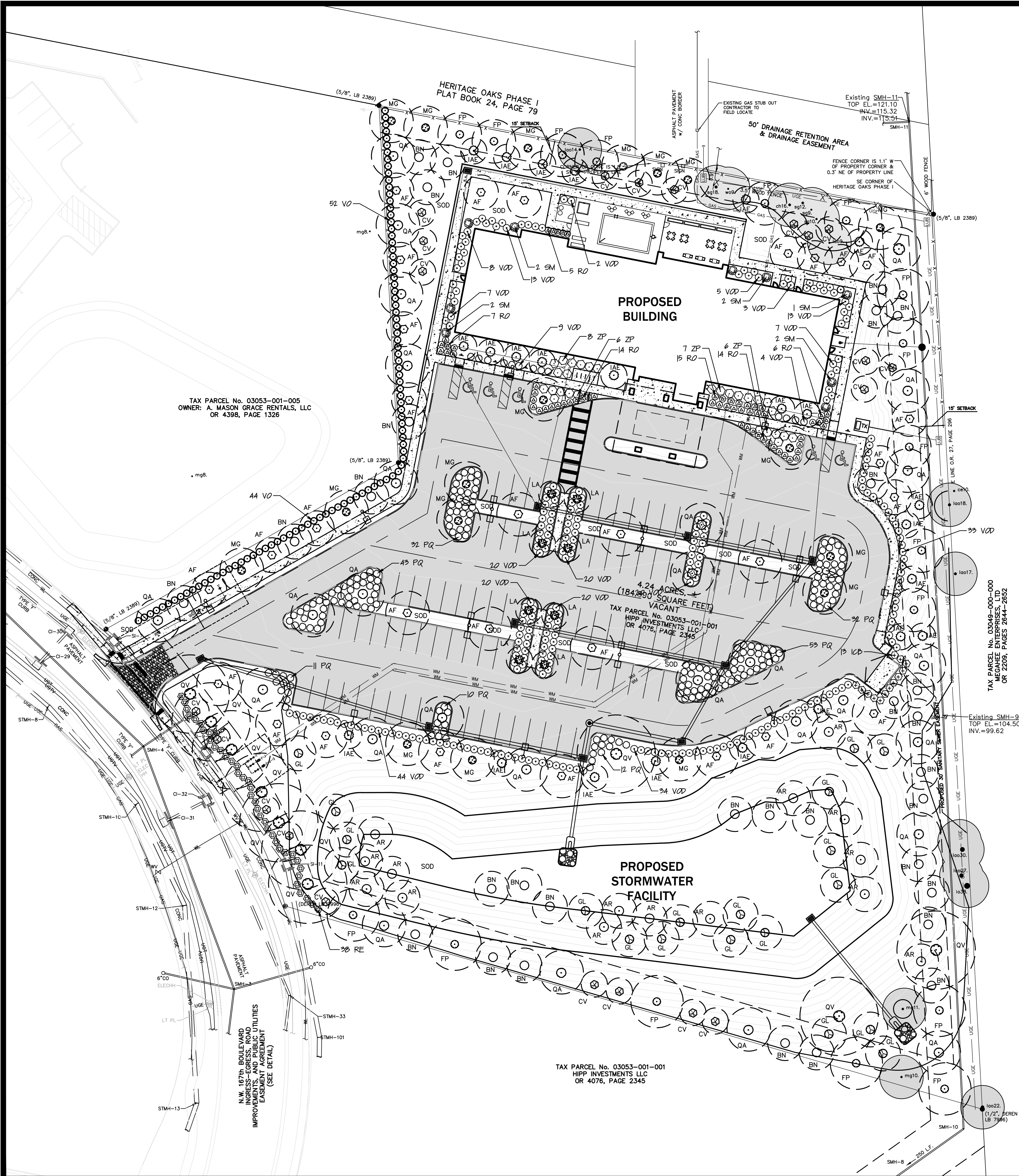
SEE SHEET L-4 FOR TREE MITIGATION TABLE.



TREE  
MITIGATION

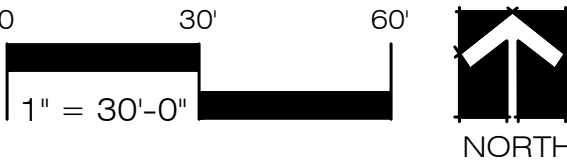
REVISIONS		
NO.	DATE	COMMENTS





PLANT MATERIAL SCHEDULE

SYM	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER	HT X WIDTH (Caliper)	SPACING	FLA	DROUGHT
							NATIVE	TOLERANCE
CANOPY TREES								
AF	30	Acer saccharum 'Jeffers Red'	Autumn Blaze Maple	30 Gal	8-10' x 4' (2" cal)	As Shown	Y	H
AR	15	Acer rubrum 'October Glory'	October Glory Maple	30 Gal	8-10' x 4' (2" cal)	As Shown	Y	M
FP	15	Fraxinus pennsylvanica	Green Ash	30 Gal	8-10' x 4' (2" cal)	As Shown	Y	H
GL	19	Gordonia lasianthus	Loblolly Bay	30 Gal	8-10' x 4' (2" cal)	As Shown	Y	M
MG	18	Magnolia grandiflora 'DD Blanchard'	DD Blanchard Magnolia	30 Gal	8-10' x 4' (2" cal)	As Shown	Y	M
QA	28	Quercus alba	White Oak	30 Gal	8-10' x 4' (2" cal)	As Shown	Y	H
QV	10	Quercus virginiana	Live Oak	30 Gal	8-10' x 4' (2" cal)	As Shown	Y	H
UNDERSTORY TREES								
BN	31	Betula Nigra	River Birch	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	M
CV	21	Chionanthus virginicus	Fringe Tree	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	M
IAE	24	Ilex x attenuata 'Eagleson'	Eagleson Holly	15 Gal	6-8' x 3' (1.5" cal)	As Shown	Y	H
LA	8	Lagerstroemia 'Natchez'	Natchez Crape myrtle	15 Gal	6-8' x 3' (1.5" cal)	As Shown	no	H
SHRUBS								
VO	129	Viburnum odoratissimum	Sweet Viburnum	3 Gal	24" x 20"	4" O.C.	no	H
ICB	13	Ilex cornuta 'Burfordi Nana'	Dwarf Burford Holly	3 Gal	24" x 20"	4" O.C.	no	D
VOD	235	Viburnum obovatum 'Densa'	Dwarf Walter's Viburnum	3 Gal	24" x 20"	4" O.C.	Y	M
PQ	206	Paspalum quadrifarium	Tussock Paspalum	3 Gal	Full	4" O.C.	no	H
RE	38	Rhododendron 'Encore'	Encore Azalea	3 Gal	24" x 20"	2.5' O.C.	no	M
RO	56	Rhododendron obtusum 'Red Ruffles'	Red Ruffles Azalea	3 Gal	24" x 20"	2.5' O.C.	no	M
SM	9	Sabal minor	Blue-stem Palmetto	3 Gal	24" x 20"	As Shown	Y	H
ZP	28	Zamia pumila	Coontie	3 Gal	24" x 20"	4" O.C.	Y	H
TURF								
SOD		Paspalum notatum 'Argentine'	Argentine Bahia					



PREPARED BY:

**ZAMIA**  
DESIGN  
Landscape Architecture

3459 NW 13th Avenue  
Gainesville, Florida 32605  
Ph. 352-373-8220 Fax 866-845-7717  
LC 26000252

PREPARED FOR:

**MPH HOTELS, INC.**

ST. PETERSBURG, FL

PROJECT:

**HOLIDAY INN  
ALACHUA**

SHEET TITLE:

**LANDSCAPE  
PLAN**

PROJECT PHASE:

**CITY OF ALACHUA  
RESUBMITTAL**

ISSUE DATE:

**DECEMBER 19, 2016**

REVISIONS		
NO.	DATE	COMMENTS

PROFESSIONAL SEAL:

LAWRENCE E. TEAGUE  
FLORIDA: LA0001582

PROJECT NUMBER:

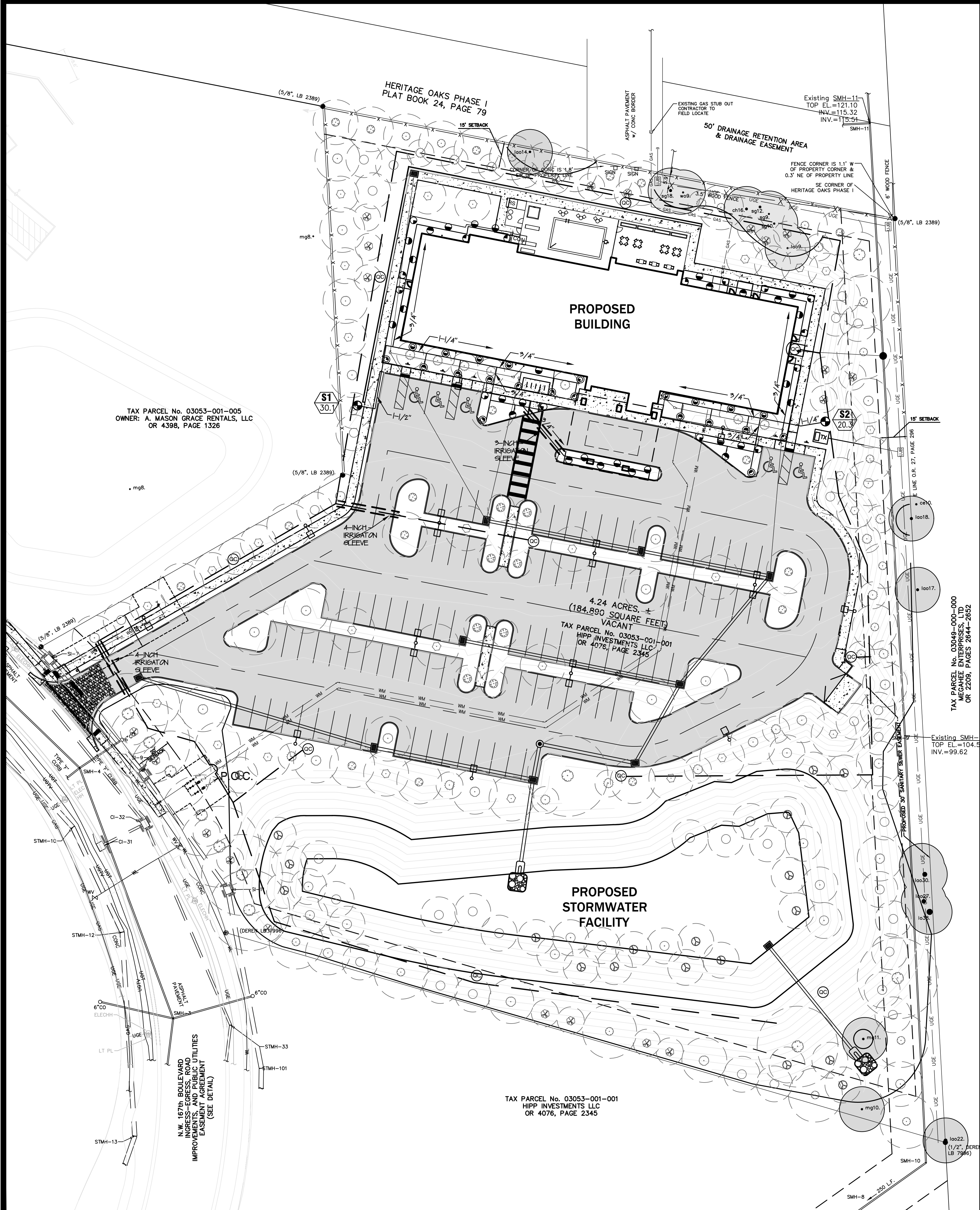
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DRAWN BY: ALZ  
CHECKED BY: LET

SHEET NUMBER:

**L-2**





LEGEND

ST 00.0 ZONE NUMBER (S = SRAY ZONE; R = ROTOR ZONE)  
GPM PER ZONE  
P.O.C. POINT OF CONNECTION

ZONE GPM CALCULATIONS

ZONE	GPM	AREA	PRECIPITATION RATE
S1	30.10	2,950 SF	0.98 IN/HR
S2	20.30	2,040 SF	0.96 IN/HR

WATERING SCHEDULE

ESTABLISHMENT - FIRST 2 MONTHS

ZONE TYPE TIME FREQUENCY

SMALL TREES, SHRUBS, & SOD

S1	SPRAY	20 MINUTES	2 DAYS / WEEK
S2	SPRAY	20 MINUTES	2 DAYS / WEEK

AFTER ESTABLISHMENT

ZONE TYPE TIME FREQUENCY

SMALL TREES, SHRUBS, & SOD  
MARCH - OCTOBER

S1	SPRAY	20 MINUTES	1 DAY / WEEK
S2	SPRAY	20 MINUTES	1 DAY / WEEK

NOVEMBER - FEBRUARY

S1	SPRAY	20 MINUTES	1 DAY / 2 WEEKS
S2	SPRAY	20 MINUTES	1 DAY / 2 WEEKS

IRRIGATION COMPONENT SCHEDULE

RAINBIRD 1800 SERIES SPRAY HEADS - FIXED NOZZLES				
SYMBOL	HEAD SPEC	NOZZLE/PATTERNS (GPM @ 30)		
1812	15Q (0.9)	15T (1.2)	15H (1.9)	15TT (2.5)
15TQ (2.8)	15F (3.7)			
1812	8Q (0.3)	8T (0.4)	8H (0.5)	8TQ (0.8)
				8F (1.1)

COMPONENTS

SYMBOL	COMPONENT	MANUFACTURER - MODEL - SIZE
QC	QUICK COUPLING VALVE	RAINBIRD MODEL 44RC: 1 INCH
ER	ELEC REMOTE-CONTROL VALVE	RAINBIRD 150-PEB-PRS-D 1.5 INCH GLOBE VALVE W/ PRESSURE REG
VB	VALVE BOXES	RAINBIRD, AMEMTEX OR CARSON IN-GROUND PLASTIC VALVE BOX WITH BOLT-LOCKING LID, MARKED IRRIGATION
RS	RAIN SENSOR	RAINBIRD RSD-BEX / RSD-CEX
CON	CONTROLLER	RAINBIRD ESP-12MC 12 STATION, METAL CABINET
==	IRRIGATION SLEEVE	- SIZED AS SHOWN - PVC SCHEDULE 40
3/4	LATERAL LINE	- SIZED AS SHOWN - PVC
---	2 INCH MAINLINE	- PVD SCHEDULE 40

GENERAL IRRIGATION NOTES

THIS PLAN IS DIAGRAMMATIC. ALL PIPING OR VALVES SHOWN OUTSIDE OF LANDSCAPE AREAS ARE SHOWN THERE FOR CLARITY. ALL LINES AND VALVES SHALL BE INSTALLED INSIDE LANDSCAPE AREAS.  
A. MAINLINE TO BE INSTALLED 12 INCHES FROM BACK OF CURB.  
B. HEADS TO BE INSTALLED 12 INCHES FROM BACK OF CURB OR SIDEWALK EDGE.

THE IRRIGATION DESIGN IS BASED ON THE WATER SOURCE, CONNECTION AND FLOW INFORMATION SHOWN. IF THIS INFORMATION IS FOUND TO BE INCORRECT, CONTACT LANDSCAPE ARCHITECT.

THE IRRIGATION DESIGN IS BASED ON THE COMPONENTS SHOWN IN THE SCHEDULE. EQUIVALENT SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT, ETC.)

ALL PRIMARY AND LATERAL PIPING AND FITTINGS WILL BE SCHEDULE 40 PVC

ALL HEADS PLACED IN TURF AREAS ARE 4" POP-UPS.  
IN GROUND COVER BEDS ARE 12" POP-UPS.  
IN SHRUB AREAS ARE ON SHRUB RISERS.

ALL SPRAY AND ROTARY HEADS ARE TO HAVE LOW TRAJECTORY NOZZLES.

ALL MAINLINE TURNS TO BE REINFORCED WITH THRUST BLOCKS.

A RAIN SENSOR DEVICE HAS BEEN LOCATED NEAR THE CONTROLLER.

CONFIRM CONTROLLER LOCATION WITH OWNER.

SPECIFIC IRRIGATION NOTES

ALL PLANTING AREAS IN THIS PLAN ARE CONSIDERED MODERATE WATER USE ZONES.

A PERMANENT IRRIGATION SYSTEM HAS BEEN PROVIDED FOR THE AREAS IMMEDIATELY AROUND THE PROPOSED BUILDING. THIS GIVES THE OWNER THE FLEXIBILITY TO HAVE A SMALL HIGH USE WATER ZONE IN THE MOST VISIBLE AREAS IN THE FUTURE. THE AREA AROUND THE BUILDING IS SIGNIFICANTLY BELOW 50% OF THE LANDSCAPED AREA.

ALL OTHER PLANTING AREAS AND TREES ARE SUPPORTED BY A HOSE BIB (QUICK COUPLER VALVE) WITHIN 100 FEET.

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF ALL PLANT MATERIAL. THIS MAY BE ACCOMPLISHED BY WAY OF A WATER TRUCK OR DRIPLINE IRRIGATION FOR THOSE PLANTING AREAS NOT SUPPORTED BY A PERMANENT IRRIGATION SYSTEM.

PREPARED BY:



3459 NW 13th Avenue  
Gainesville, Florida 32605  
Ph. 352-373-8220 Fax 866-845-7717  
LC 26000252

PREPARED FOR:

MPH HOTELS, INC.

ST. PETERSBURG, FL

PROJECT:

HOLIDAY INN  
ALACHUA

SHEET TITLE:

IRRIGATION  
PLANS

PROJECT PHASE:

CITY OF ALACHUA  
RESUBMITTAL

ISSUE DATE:

DECEMBER 19, 2016

REVISIONS		
NO.	DATE	COMMENTS

PROFESSIONAL SEAL:

LAWRENCE E. TEAGUE  
FLORIDA: LA0001582

PROJECT NUMBER:

16034.1

DRAWN BY:  
ALZ

CHECKED BY:  
LET

SHEET NUMBER:

L-3

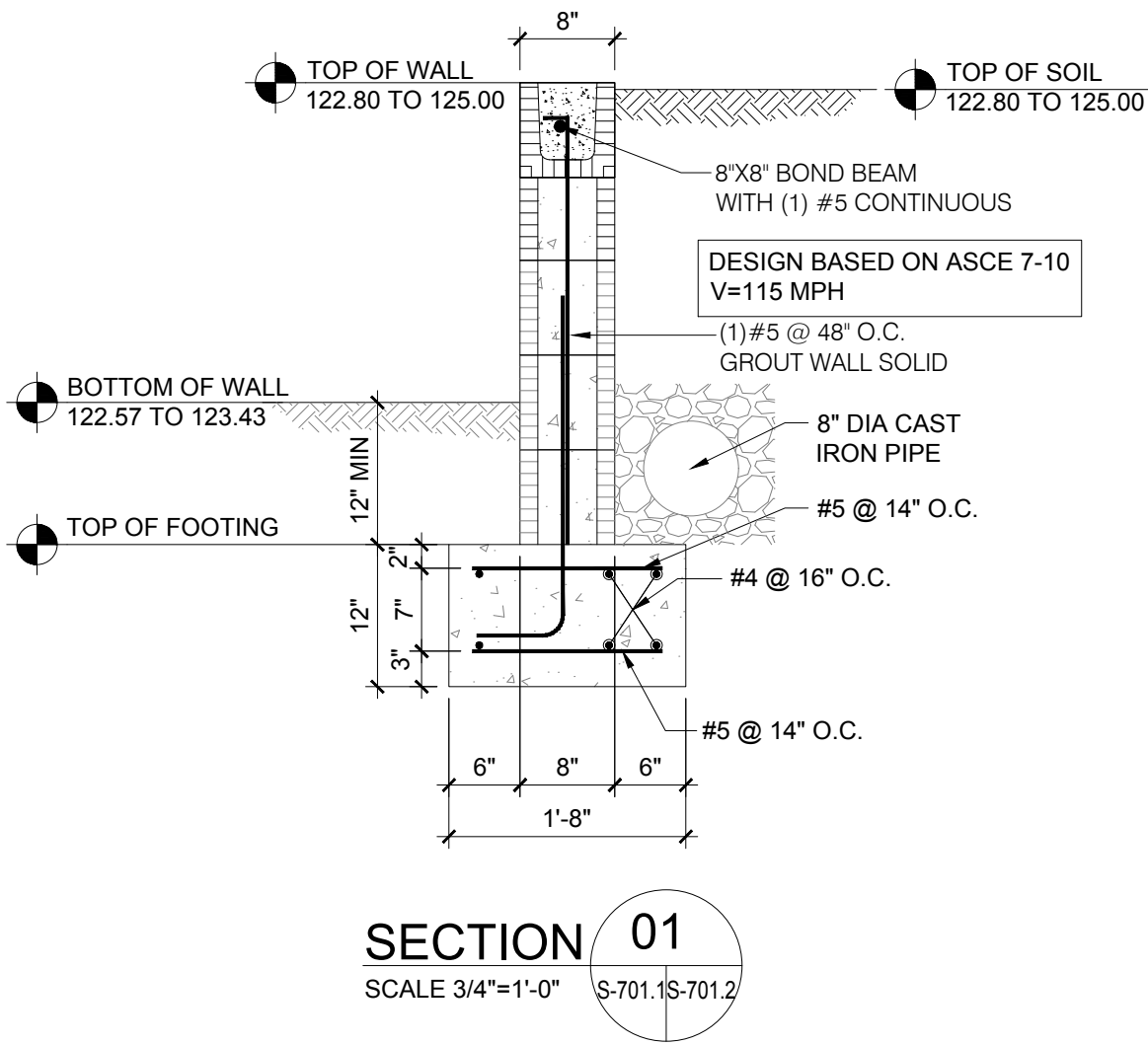






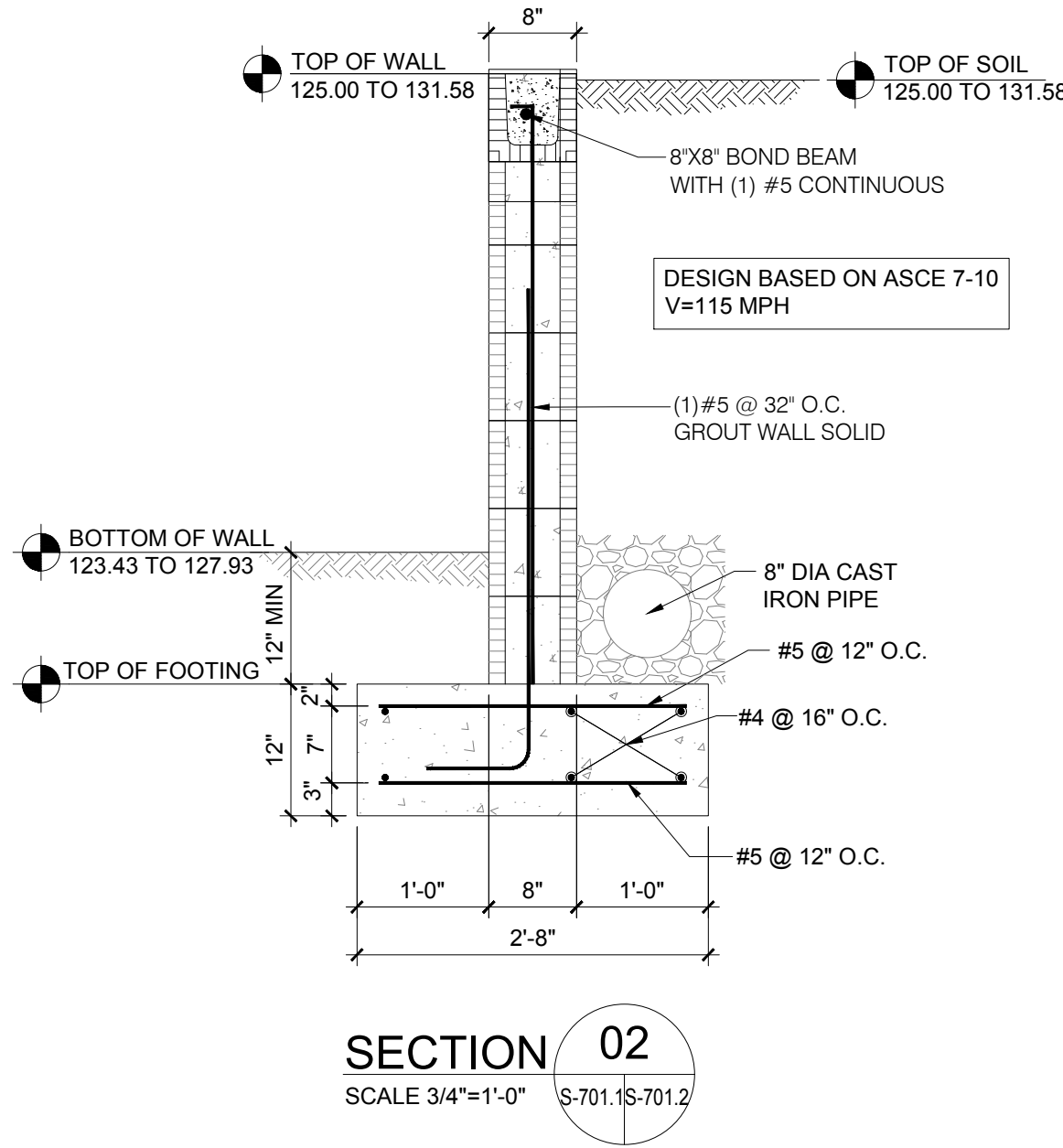






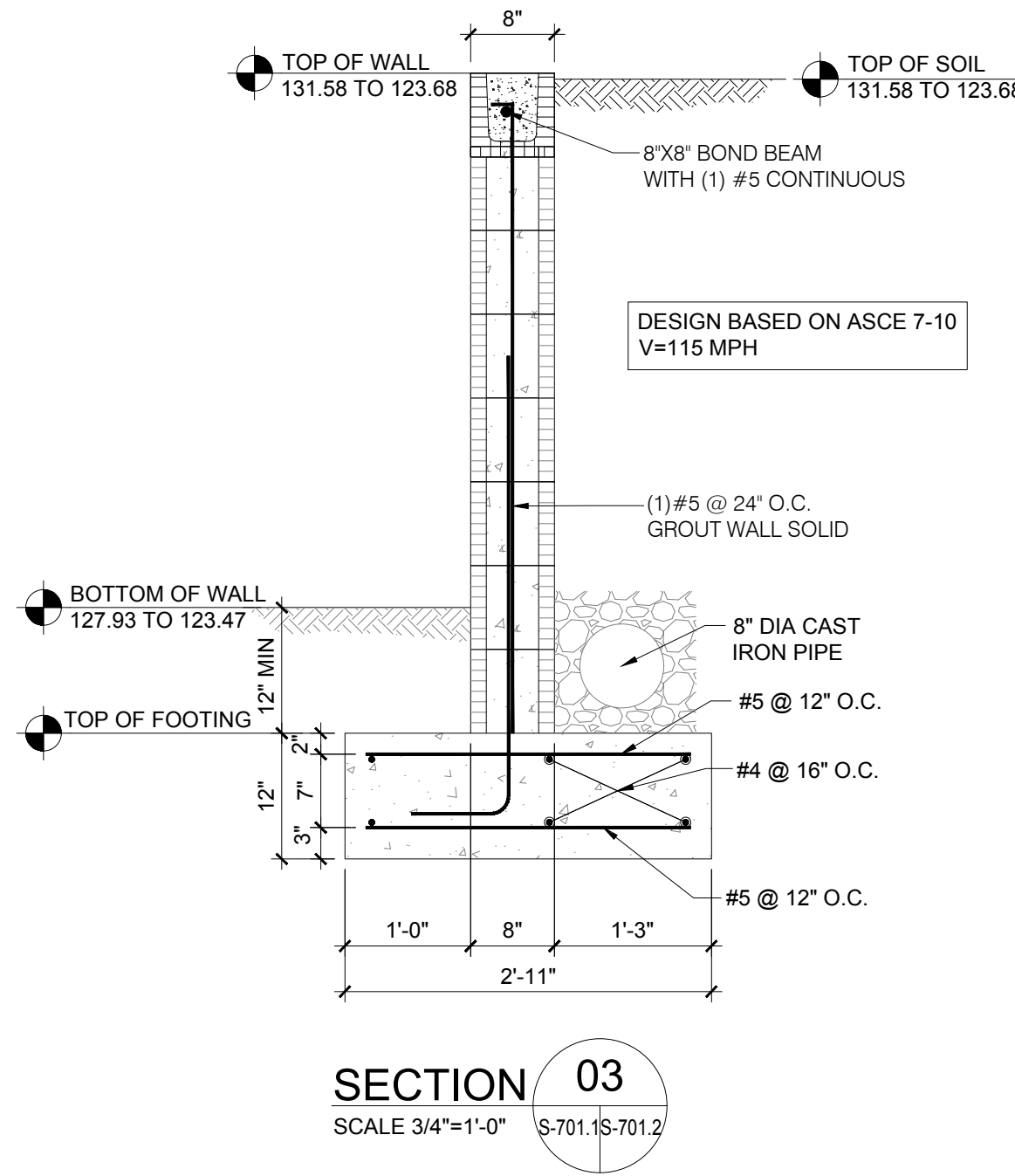
NOTE:

- FOUNDATION SIZE AND REINFORCEMENT BASED ON ALLOWABLE SOIL PRESSURE= 4000 PSF.
- ALL ELEVATIONS ARE BASED ON GRADING PLAN PROVIDED BY CIVIL ENGINEER.
- PROVIDE CONTROL JOINTS IN MASONRY WALL AT 25'-0" O.C.



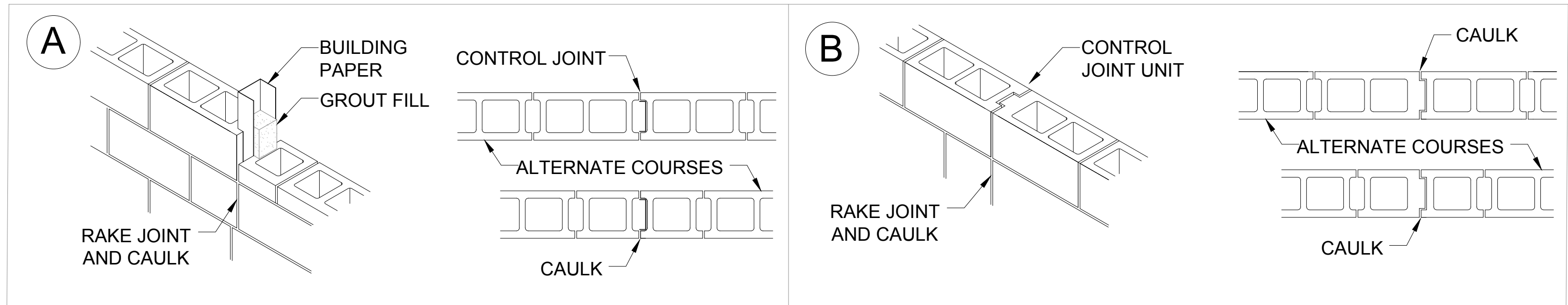
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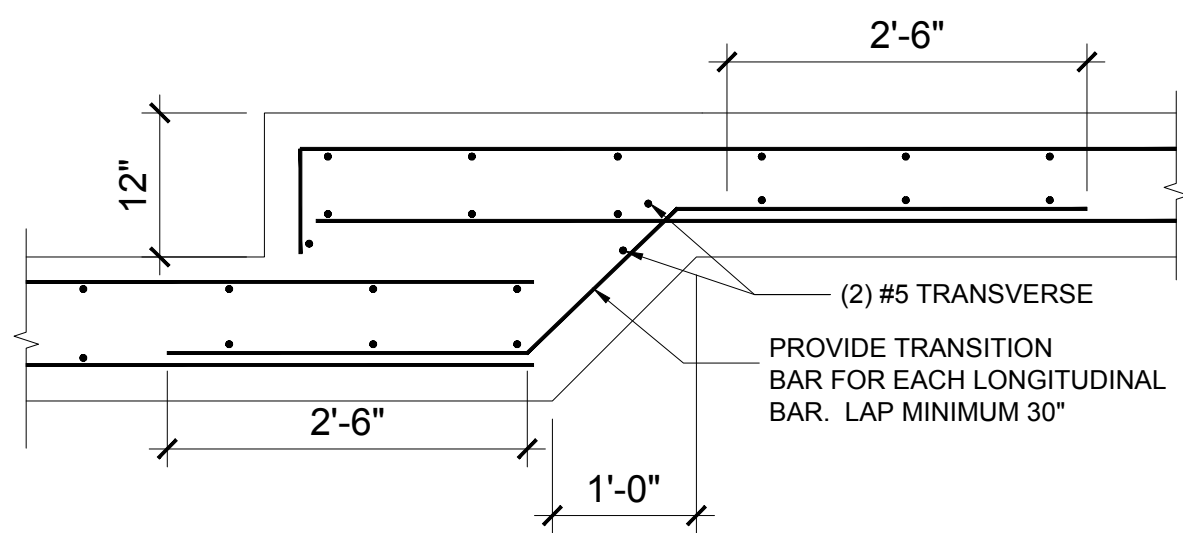
NOTE:

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- ALL ELEVATIONS ARE BASED ON GRADING PLAN PROVIDED BY CIVIL ENGINEER.
- PROVIDE CONTROL JOINTS IN MASONRY WALL AT 25'-0" O.C.



NOTE: USE ELASTOMERIC SEALANT GRADE NS, CLASS 25,

TYP.CMU CONTROL JOINT  
SCALE 1/2"=1'-0"



STEMWALL FOOTING STEP DETAIL  
SCALE 3/4"=1'-0"



BASE4

BASE4  
9858 GLADES ROAD, #237  
BOCA RATON, FLORIDA 33434  
1.720.72BASE4  
www.base-4.com

JEFF GAITHER, AIA  
4101 Woodlynn Ln  
Orlando, FL 32812

Seal:



Owner:



MPH Hotels  
100 2nd Avenue South  
Suite 1103-S, St. Petersburg,  
FL 33701



FRANCHISE NAME  
CITY STATE

NO. ISSUED PROJECT STATUS

DATE 2016.12.02

DRAWN BY SSB

CHECKED BY A/JG

PROJECT NO. B4-093-1602

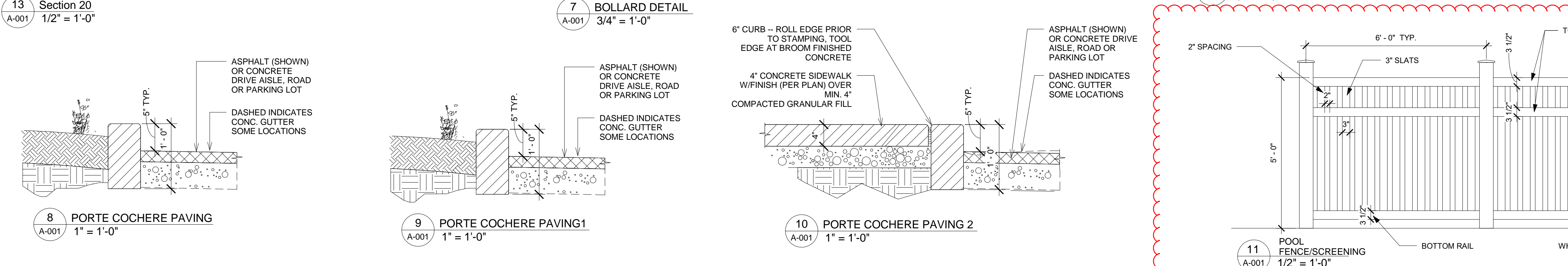
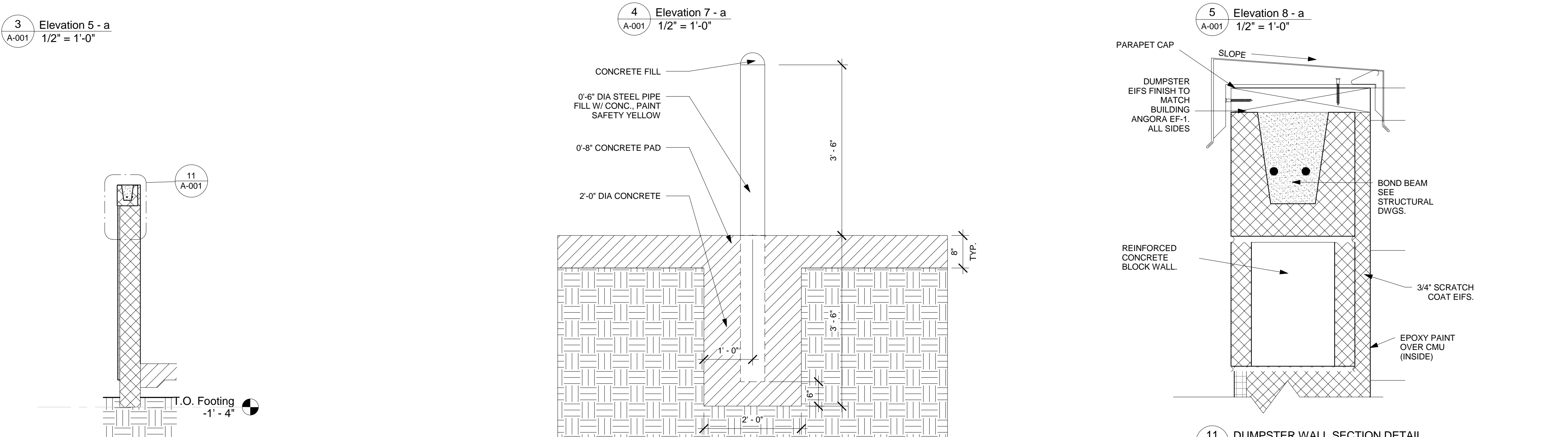
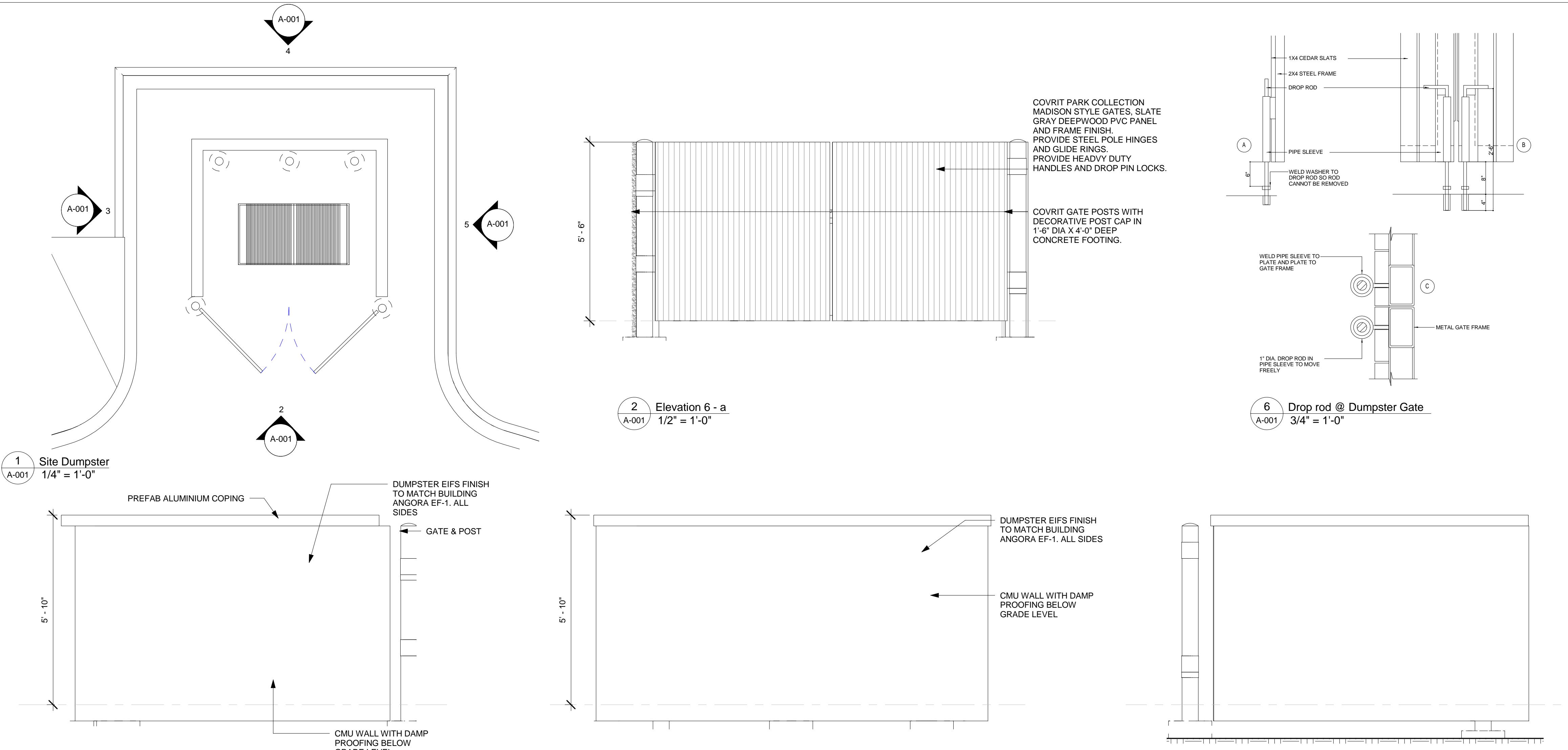
SHEET NAME

RETAINING WALL SECTIONS

DRAWINGS NO.

S-701.2



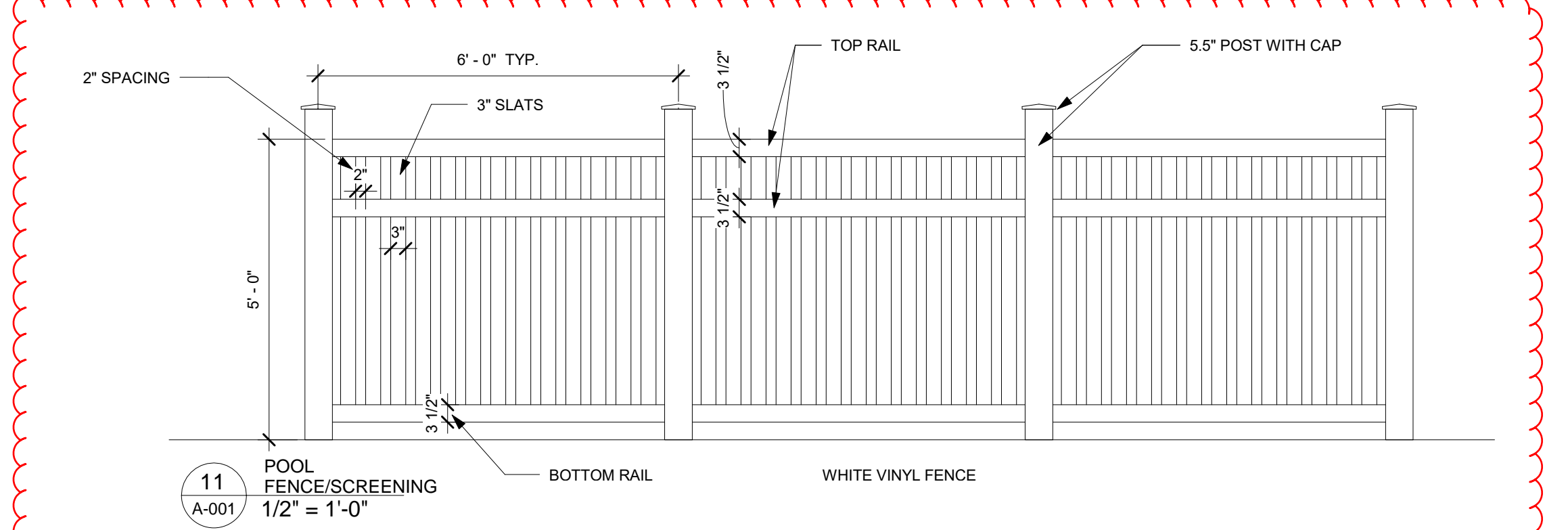


- ### GENERAL NOTES-SITE PLAN
- GENERAL NOTES:
- ALL SITE PLAN INFORMATION IS BASED ON TOPOGRAPHIC SURVEY PREPARED BY CIVIL ENGINEER. SEE COVER SHEET FOR CONTACT INFORMATION.
  - REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO DRAINAGE DESIGN, CURB CUTS, PAVING, AND PARKING LOT DIMENSIONS.
  - CONTRACTOR SHALL COORDINATE, PRIOR TO THE COMMENCEMENT OF SITE WORK, THE FINISH FLOOR ELEVATION WITH THE CIVIL ENGINEER AND THE STRUCTURAL ENGINEER.
  - SHOULD FIELD CONDITIONS DIFFER FROM PLANS TO THE EXTENT UNNECESSARY COSTS ARE INCURRED OR DELAYS ARE ANTICIPATED, THE OWNER AND ARCHITECT SHALL BE CONSULTED. THE ARCHITECT, IN CONJUNCTION WITH THE OWNER, WILL DETERMINE THE RESOLUTION.
  - PRIOR TO CONSTRUCTION GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS AND NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
  - CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. BOUNDARY OF CONTRACTOR'S WORK AND STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
  - LIMITS OF CONSTRUCTION TO BE AREA WITHIN PROPERTY LINE OR AS INDICATED WITH LIMIT LINES OF CONSTRUCTION.
  - G.C. TO FOLLOW THE MINIMUM REQUIREMENTS FOR PAVEMENT DESIGN RECOMMENDATION WALL UNO PER CIVIL DRAWINGS AND SOIL REPORT.
  - GENERAL CONTRACTOR TO PROVIDE PAINTED STRIPING, WORDING, DIRECTIONAL ARROWS AND SYMBOLS IN ACCORDANCE WITH SPECIFICATIONS, NATIONAL AND LOCAL CODES.
  - ALL CONCRETE WALKS ARE 5'-0" WIDE AND TO HAVE NON-SLIP BROOM FINISH WITH 1/2" EXPANSION JOINT @ EVERY 25'-0" O.C.
  - ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ADA GUIDELINES.
  - ALL EXTERIOR SIGNAGE SHALL BE AS DIRECTED BY OWNER (EXCEPT AS DETAILED WITHIN THESE CONSTRUCTION DOCUMENTS) AND IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL CODES. GENERAL CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT & POWER. SIGNAGE & FOUNDATION ARE O.F.O.I.
  - COORDINATE EXTERIOR UTILITY LOCATIONS W/ CIVIL ENGINEERING DWGS & WITH UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - GENERAL CONTRACTOR TO ENSURE GAS METER PROTECTION WITH STEEL BOLLARDS AS REQUIRED BY LOCAL UTILITY JURISDICTION & CODE REQUIREMENTS.
  - ALL ROOF DRAINS TO TIE INTO STORM DRAINAGE SYSTEM (SEE CIVIL).
  - REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE CONSTRUCTION DETAILS, INCLUDING CURB AND GUTTER DETAILS AND RADI.
  - LANDSCAPE DESIGN IS NOT INCLUDED WITHIN THE SCOPE OF WORK REPRESENTED IN THESE DRAWINGS.
  - EACH ACCESSIBLE PARKING SHALL BE POSTED W/ PERMANENT SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND ANY OTHER INFORMATION THAT MAY BE REQUIRED LOCALLY.

- ### PROJECT NOTES
- ENTRY VESTIBULE DOORS AND SIDE AUXILIARY DOOR
  - CLEAR AREA AT DOORS, RAMP AND LANDINGS SHALL BE LEVEL OR AT 2% MAX. SLOPE.
  - MAXIMUM SLOPE AT PATH OF TRAVEL SHALL BE 1:20 WITH MAX. CROSS SLOPE AT 1:50.
  - SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.
  - OUTDOOR POOL RECREATION EQUIPMENT: WATER SLIDES AND WATER PARKS ARE ONLY ALLOWED UPON SUCCESSFULLY FULFILLING THE ONLINE WAIVER REQUEST PROCESS AND UPON MEETING ALL IHG REQUIREMENTS FOR WATER SLIDE/WATER PARK EQUIPMENT. DIVING EQUIPMENT OF ANY KIND IS PROHIBITED. GO TO [www.ihgmerlin.com](http://www.ihgmerlin.com). SELECT THE APPLICATIONS TAB AND SELECT QUALITY EVALUATION MANAGER (QEM). SUBMIT DIMENSIONED PLANS AND EQUIPMENT LIST FOR DESIGN REVIEW. DESIGN APPROVAL IS REQUIRED PRIOR TO COMPLETION OF THE WAIVER REQUEST PROCESS.

### KEYNOTES-SITE PLAN KEYNOTES

Tag	Text
1	PORTE COHERE
2	PROPOSED TRANSFORMER LOCATION. FINAL PLACEMENT BY F.P.L.
3	6" CONCRETE CURB
5	6'-0" HIGH POOL PERIMETER FENCE AND SELF CLOSING, CHILD PROOF, SELF-LATCHING 3'-0" WIDE GATE. PROVIDE LANDSCAPING AROUND POOL FENCE. CHILD PROOF LOCK AT GATE TO BE MOUNTED 48" AFL MIN.
6	PROPERTY LINES
7	PROPERTY SET BACK LINES
8	MONUMENT SIGN
9	FLAG POLE
10	DUMPSTER
11	POOL
12	HANDICAP PARKING SIGN
14	ADA SIGNAGE
15	24'-0" DRIVE AISLE
16	HEAVY DUTY CONCRETETE APRON AT DUMPSTER
17	DROP OFF CANOPY ABOVE
18	DECORATIVE CONCRETE PAVERS
19	LANDSCAPE BUFFER
21	BOLLARDS IN DUMPSTER
23	HANDICAP RAMP. SEE CIVIL
25	CLEAR ACCESS AISLE ADJACENT TO ACCESSIBLE PARKING SPACE-DROP OFF AND ACCESS AISLE SHALL BE AT THE SAME LEVEL AND SHALL HAVE A SLOPE NOT TO EXCEED 1:48
30	SPA
31	PATIO
32	EXTERIOR SCONCE
35	PROVIDE A MIN OF 3 SPEAKERS IN POOL PATIO AREA

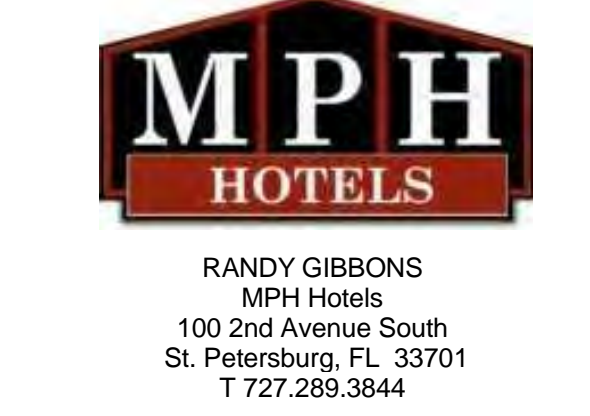


BASE4  
9858 GLADES ROAD, #237  
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1.720.72BASE4 www.base-4.com

RICK MUNIZ, AIA  
1025 NW 31ST AVE  
POMPAN0 BEACH, FL 33069

Seal:

Owner:



Holiday Inn Express  
& Suites  
Alachua, FL

No.	ISSUED	PROJECT STATUS
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DATE 2016.11.15

DRAWN BY KRN

CHECKED BY NBL

PROJECT NO. B4-093-1602

SHEET NAME

DUMPSTER/SITE  
DETAILS

DRAWINGS NO.

A-001

ISSUED FOR PERMIT



ROOM MATRIX		
Name	Count	
1ST FLOOR		
GUESTROOM ACC KING X WIDE WITH RIS	1	
GUESTROOM KING	2	
GUESTROOM KING CONNECT	1	
GUESTROOM KING SUITE	2	
GUESTROOM QQ	2	
2ND FLOOR		
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING X WIDE ACCESS	1	
GUESTROOM QQ	16	
GUESTROOM QQ ACCESS	1	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
3RD FLOOR		
GUESTROOM KING	1	
GUESTROOM KING CONNECT	1	
GUESTROOM KING SUITE	2	
GUESTROOM KING X WIDE	1	
GUESTROOM QQ	16	
GUESTROOM QQ ACCESS	1	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
4TH FLOOR		
GUESTROOM KING	2	
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING SUITE ACCESS	1	
GUESTROOM KING X WIDE	1	
GUESTROOM QQ	14	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
Grand total: 92	92	

Table 9.1.2		
	Column "A"	Column "B"
Total Rooms in Facility	Accessible Rooms	Rooms with Roll-in-Shower
1 to 25	1	0
26 to 50	2	0
51 to 75	3	1
76 to 100	4	1
101 to 150	5	2
151 to 200	6	2
201 to 300	7	3
301 to 400	8	4
401 to 500	9	See Below*
501 to 1000	2% of Total rooms	See Below*
1001+	20+ (1 Per 100 over 1000)	See Below*

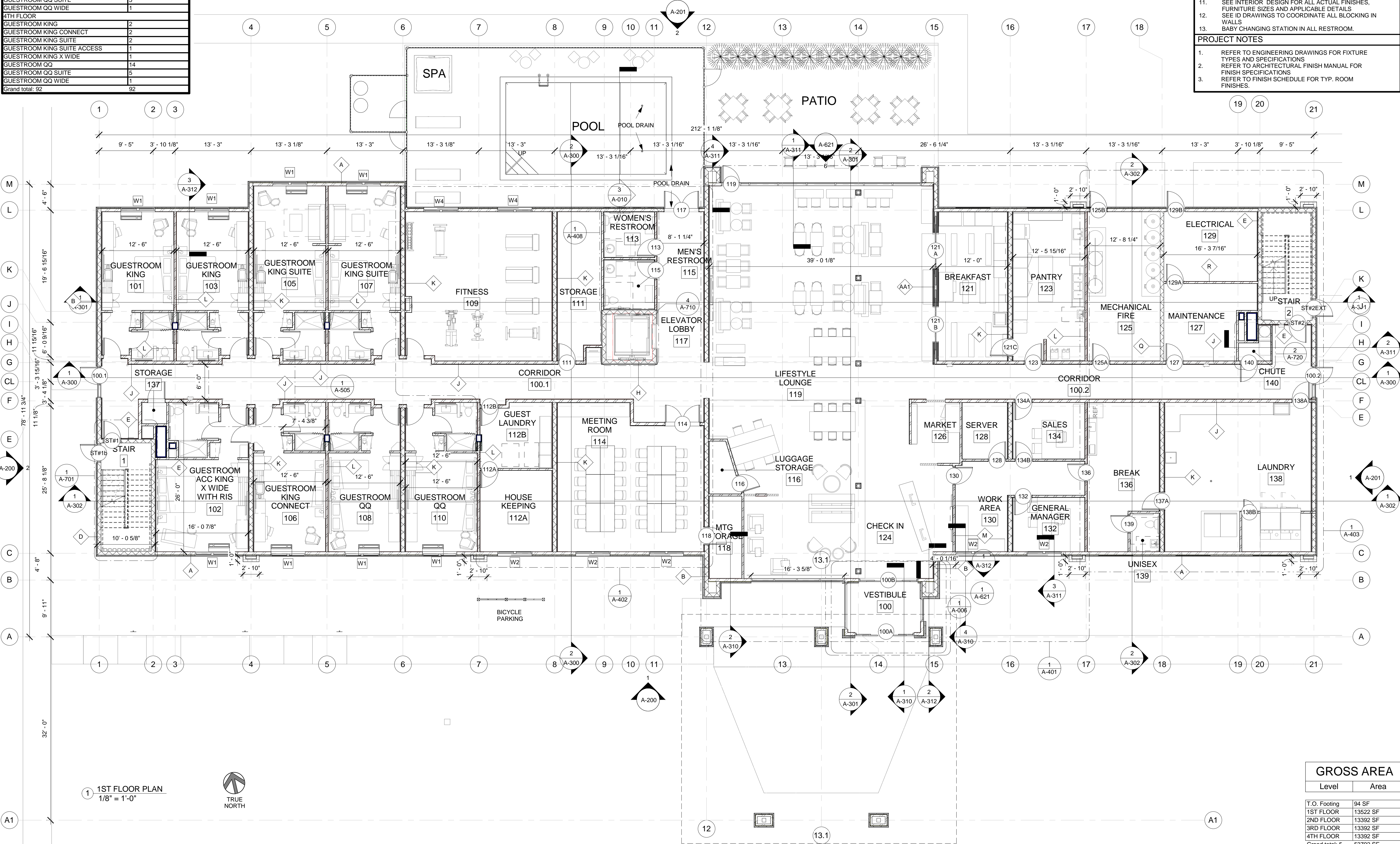
Note: The Number of accessible guestrooms for a given number of rooms in a hotel (Left column) is derived by adding together Column "A" and Column "B".

\* the number of Roll-in-shower rooms in hotels with more than 400 guestrooms total equals 4+ (1 per 100 rooms over 400).

TOTAL NUMBER OF GUEST ROOMS PROVIDED	MINIMUM NUMBER OF REQUIRED GUEST ROOMS WITH COMMUNICATION FEATURES
2 TO 25	2
26 TO 50	4
50 TO 75	7
76 TO 100	9
101 TO 150	12
151 TO 200	14
201 TO 300	17
301 TO 400	20
401 TO 500	22
501 TO 1000	5 PERCENT OF TOTAL
1001 AND OVER	50, PLUS 3 FOR EACH 100 OVER 1000

KEYNOTE FLOOR PLAN	
Tag	Description
1	MEDIA WALL
2	MIRROR WALL
3	TV BUILT INTO SLATED WALL
5	RAISED CONCRETE WASHER SLAB WITH TROUGH
6	LOCATED FIRE READ OUT PANEL BEHIND CHECK IN DESK
7	ALIGN DOOR WITH CORRIDOR WALL
8	ADD COURT HOOK TO INSIDE OF ALL RESTROOM DOORS
9	TV IS MOUNTED TO WALL. G.C TO PROVIDE BACKING IN WALL
10	WINDOWS TO BE VENTABLE
11	6'X2' TRASH CONSOLE
29	METAL STUD WALL SEE WALL PARTITION DETAILS

GENERAL FLOOR PLAN NOTES	
BASE4 NOTES	
1.	WHERE FLOOR FINISH CHANGES FROM ONE ROOM TO ANOTHER, SET JOINT OF THE FLOOR MATERIALS AT THE CENTER OF THE COMMUNICATING DOOR.
2.	CERAMIC TILE QUARRY TILE TO BE INSTALLED SO CUT TILES ARE NOT LESS THAN HALF OF A TILE.
3.	ALL DIMENSION ARE FROM THE FACE OF STUD UNLESS NOTED OTHERWISE.
4.	INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
5.	PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
6.	GYPSUM WALLBOARD CONTROL JOINTS TO BE 30'-0" MAX. O.C. AND AT DOOR JAMBS FROM HEAD TO TERMINATION OF GYPSUM WALLBOARD.
7.	PROVIDE ACCESS PANELS AS REQUIRED. (SEE ENGINEERING DRAWINGS).
8.	G.C TO PROVIDE BLOCKING FOR ALL ACCESSORIES,BUILDING ITEMS,AND OWNER FF&E ITEMS THAT ARE WALL OR CEILING MOUNTED.
9.	ALL EXERCISE EQUIPMENT IS OFOL.
10.	GUEST ROOMS WITH "COMMUNICATION FEATURES" SHALL COMPLY WITH 806.3 OF THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. SEE ELECTRICAL FOR DEVICE REQUIREMENTS.
11.	SEE INTERIOR DESIGN FOR ALL ACTUAL FINISHES, FURNITURE SIZES AND APPLICABLE DETAILS
12.	SEE ID DRAWINGS TO COORDINATE ALL BLOCKING IN WALLS
13.	BABY CHANGING STATION IN ALL RESTROOM.
PROJECT NOTES	
1.	REFER TO ENGINEERING DRAWINGS FOR FIXTURE TYPES AND SPECIFICATIONS
2.	REFER TO ARCHITECTURAL FINISH MANUAL FOR FINISH SPECIFICATIONS
3.	REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.





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Holiday Inn Express  
& Suites  
Alachua, FL

No. ISSUED PROJECT STATUS

DATE 2016.12.02

DRAWN BY KRN

CHECKED BY NBL

PROJECT NO. B4-093-1602

SHEET NAME

1ST FLOOR PLAN

DRAWINGS NO.

**A-101**

ISSUED FOR PERMIT

GROSS AREA	
Level	Area
T.O. Footing	94 SF
1ST FLOOR	13522 SF
2ND FLOOR	13392 SF
3RD FLOOR	13392 SF
4TH FLOOR	13392 SF
Grand total: 5	53792 SF



ROOM MATRIX		
Name	Count	
1ST FLOOR		
GUESTROOM ACC KING X WIDE WITH RIS	1	
GUESTROOM KING	2	
GUESTROOM KING CONNECT	1	
GUESTROOM KING SUITE	2	
GUESTROOM QQ	2	
2ND FLOOR		
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING X WIDE ACCESS	1	
GUESTROOM QQ	16	
GUESTROOM QQ ACCESS	1	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
3RD FLOOR		
GUESTROOM KING	1	
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GUESTROOM QQ ACCESS	1	
GUESTROOM QQ SUITE	5	
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4TH FLOOR		
GUESTROOM KING	2	
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING SUITE ACCESS	1	
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Grand total: 92	92	

Table 9.1.2		
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101 to 150	5	2
151 to 200	6	2
201 to 300	7	3
301 to 400	8	4
401 to 500	9	See Below*
501 to 1000	2% of Total rooms	See Below*
1001+	20+ (1 Per 100 over 1000)	See Below*

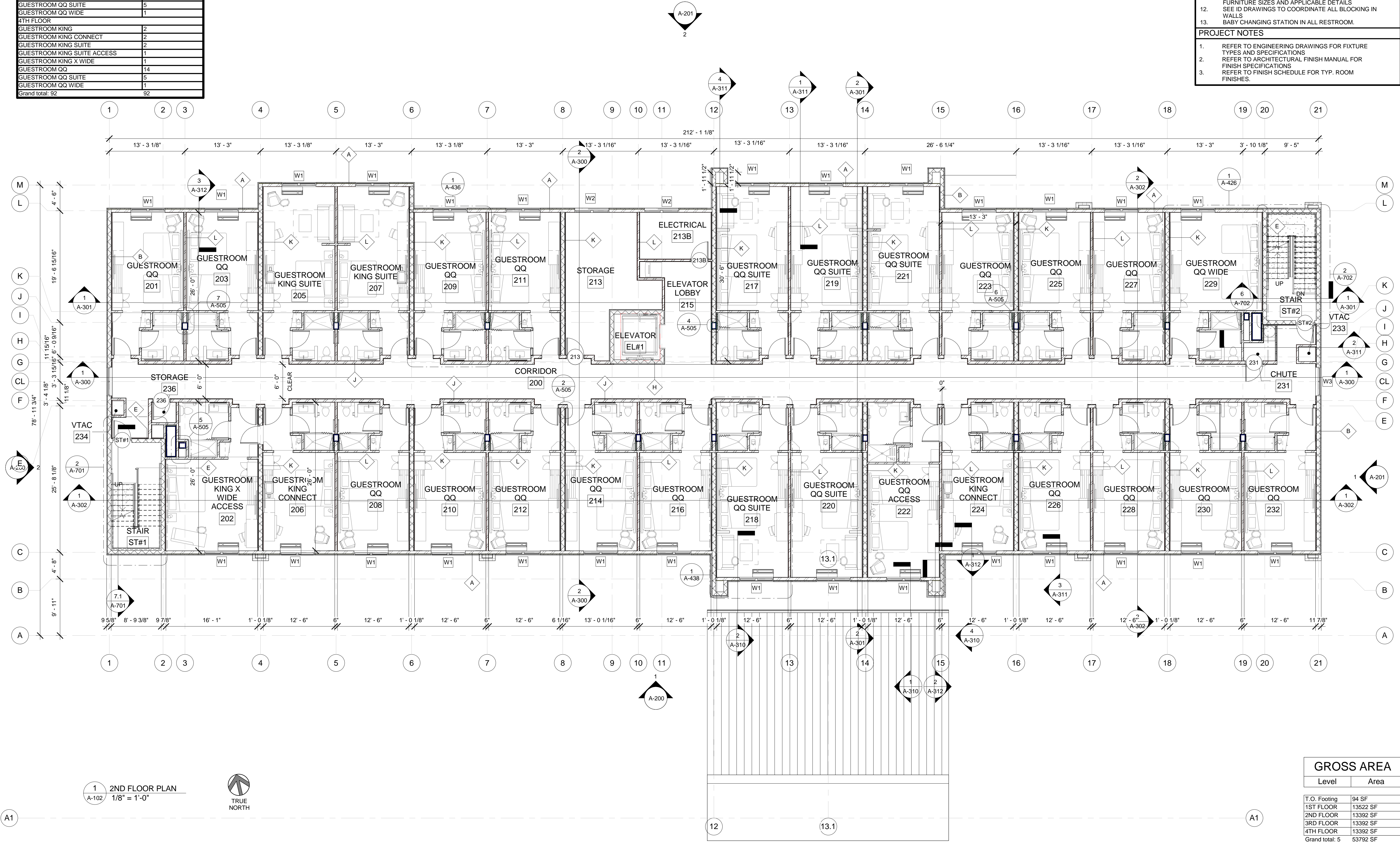
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11	6'X2' TRASH CONSOLE
29	METAL STUD WALL SEE WALL PARTITION DETAILS

GENERAL FLOOR PLAN NOTES	
BASE4 NOTES	
1.	WHERE FLOOR FINISH CHANGES FROM ONE ROOM TO ANOTHER, SET JOINT OF THE FLOOR MATERIALS AT THE CENTER OF THE COMMUNICATING DOOR.
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Holiday Inn Express  
& Suites  
Alachua, FL

No. ISSUED PROJECT STATUS

DATE 2016.12.02

DRAWN BY KRN

CHECKED BY NBL

PROJECT NO. B4-093-1602

SHEET NAME

2ND FLOOR PLAN

DRAWINGS NO.

A-102

ISSUED FOR PERMIT



ROOM MATRIX		
Name	Count	
1ST FLOOR		
GUESTROOM ACC KING X WIDE WITH RIS	1	
GUESTROOM KING	2	
GUESTROOM KING CONNECT	1	
GUESTROOM KING SUITE	2	
GUESTROOM QQ	2	
2ND FLOOR		
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING X WIDE ACCESS	1	
GUESTROOM QQ	16	
GUESTROOM QQ ACCESS	1	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
3RD FLOOR		
GUESTROOM KING	1	
GUESTROOM KING CONNECT	1	
GUESTROOM KING SUITE	2	
GUESTROOM KING X WIDE	1	
GUESTROOM QQ	16	
GUESTROOM QQ ACCESS	1	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
4TH FLOOR		
GUESTROOM KING	2	
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING SUITE ACCESS	1	
GUESTROOM KING X WIDE	1	
GUESTROOM QQ	14	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
Grand total: 92	92	

Table 9.1.2		
Total Rooms in Facility	Column "A" Accessible Rooms	Column "B" Rooms with Roll-in-Shower
1 to 25	1	0
26 to 50	2	0
51 to 75	3	1
76 to 100	4	1
101 to 150	5	2
151 to 200	6	2
201 to 300	7	3
301 to 400	8	4
401 to 500	9	See Below*
501 to 1000	2% of Total rooms	See Below*
1001+	20+ (1 Per 100 over 1000)	See Below*

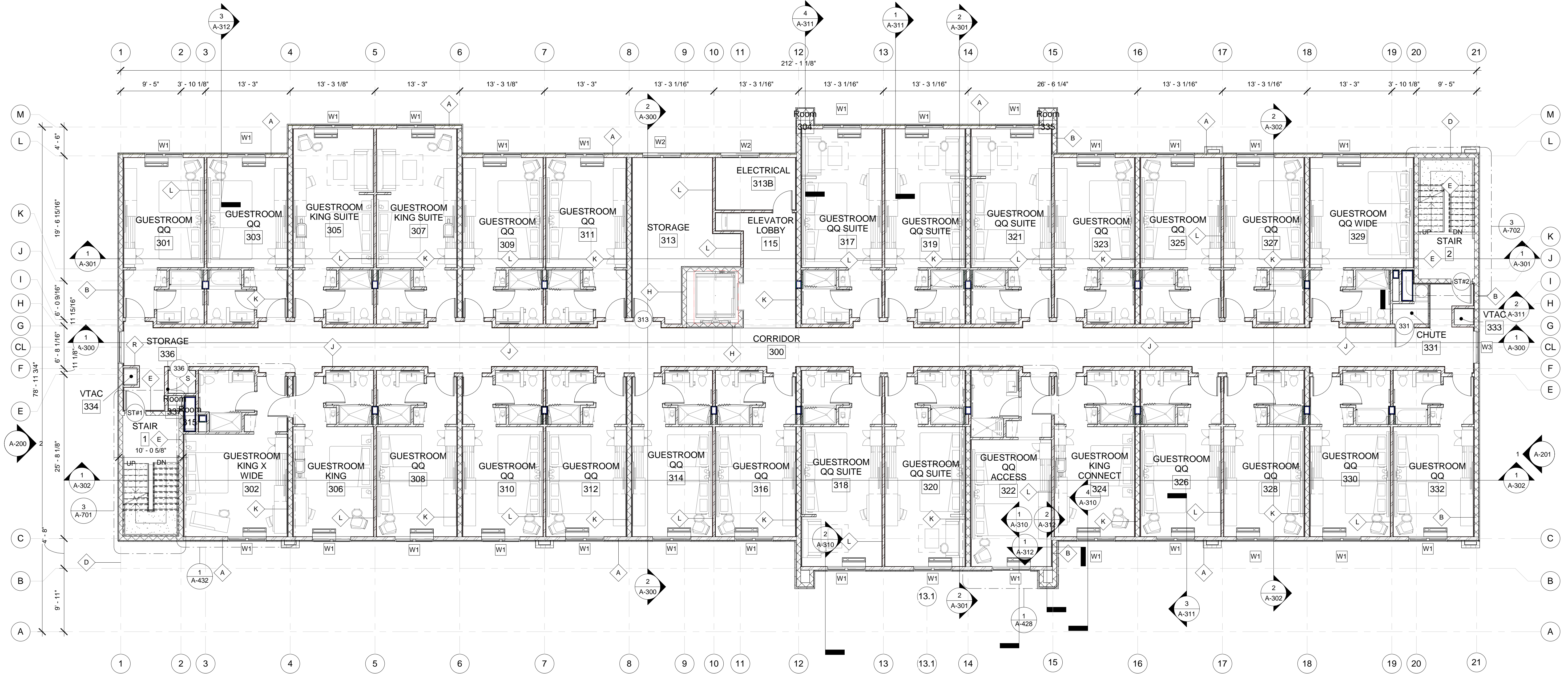
Note: The Number of accessible guestrooms for a given number of rooms in a hotel (Left column) is derived by adding together Column "A" and Column "B".

\* the number of Roll-in-shower rooms in hotels with more than 400 guestrooms total equals 4+ (1 per 100 rooms over 400).

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301 TO 400	20
401 TO 500	22
501 TO 1000	5 PERCENT OF TOTAL
1001 AND OVER	50, PLUS 3 FOR EACH 100 OVER 1000

KEYNOTE FLOOR PLAN	
Tag	Description
1	MEDIA WALL
2	MIRROR WALL
3	TV BUILT INTO SLATED WALL
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11	6'X2' TRASH CONSOLE
29	METAL STUD WALL SEE WALL PARTITION DETAILS

GENERAL FLOOR PLAN NOTES	
BASE4 NOTES	
1.	WHERE FLOOR FINISH CHANGES FROM ONE ROOM TO ANOTHER, SET JOINT OF THE FLOOR MATERIALS AT THE CENTER OF THE COMMUNICATING DOOR.
2.	CERAMIC TILE/QUARRY TILE TO BE INSTALLED SO CUT TILES ARE NOT LESS THAN HALF OF A TILE.
3.	ALL DIMENSION ARE FROM THE FACE OF STUD UNLESS NOTED OTHERWISE.
4.	INTERIOR DOORS TO BE MIN. OF 4" FROM ADJACENT WALLS AS SHOWN ON PLANS.
5.	PROVIDE MASONRY CONTROL JOINTS IN EXTERIOR CMU WALLS.
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3.	REFER TO FINISH SCHEDULE FOR TYP. ROOM FINISHES.



1 3RD FLOOR PLAN  
A-103 1/8" = 1'-0"



#### GROSS AREA

Level	Area
T.O. Footing	94 SF
1ST FLOOR	13522 SF
2ND FLOOR	13392 SF
3RD FLOOR	13392 SF
4TH FLOOR	13392 SF
Grand total: 5	53792 SF

Seal:

Owner:



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Holiday Inn Express  
& Suites  
Alachua, FL

No. ISSUED PROJECT STATUS

DATE 2016.12.02

DRAWN BY KRN

CHECKED BY NBL

PROJECT NO. B4-093-1602

SHEET NAME

3RD FLOOR PLAN

DRAWINGS NO.

A-103

ISSUED FOR PERMIT



ROOM MATRIX		
Name	Count	
1ST FLOOR		
GUESTROOM ACC KING X WIDE WITH RIS	1	
GUESTROOM KING	2	
GUESTROOM KING CONNECT	1	
GUESTROOM KING SUITE	2	
GUESTROOM QQ	2	
2ND FLOOR		
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING X WIDE ACCESS	1	
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GUESTROOM QQ ACCESS	1	
GUESTROOM QQ SUITE	5	
GUESTROOM QQ WIDE	1	
4TH FLOOR		
GUESTROOM KING	2	
GUESTROOM KING CONNECT	2	
GUESTROOM KING SUITE	2	
GUESTROOM KING SUITE ACCESS	1	
GUESTROOM KING X WIDE	1	
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Grand total: 92	92	

Table 9.1.2		
	Column "A"	Column "B"
Total Rooms in Facility	Accessible Rooms	Rooms with Roll-in-Shower
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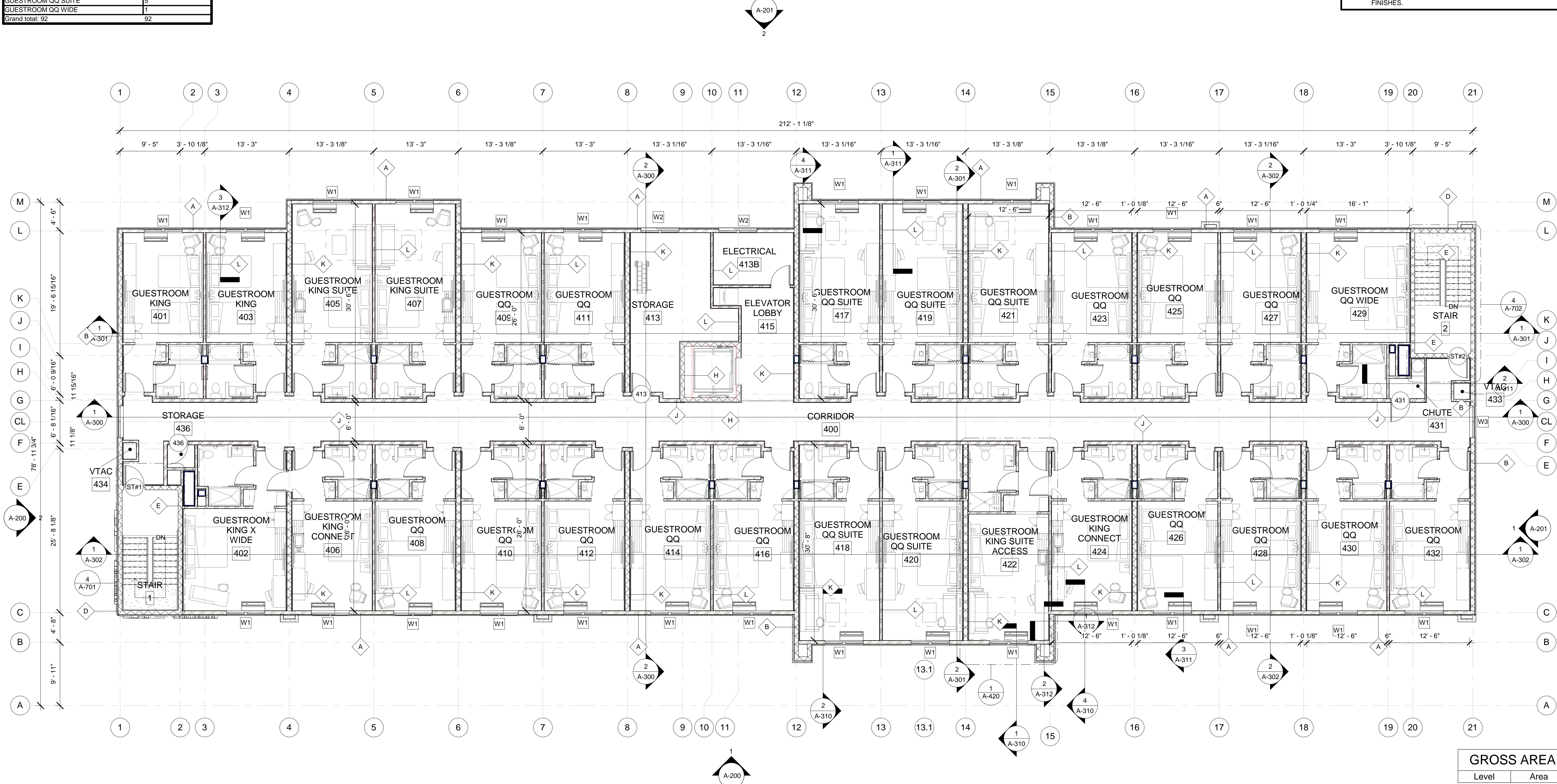
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KEYNOTE FLOOR PLAN	
Tag	Description
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GENERAL FLOOR PLAN NOTES	
BASE4 NOTES	
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BASE4

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PROJECT NO. B4-093-1602

SHEET NAME

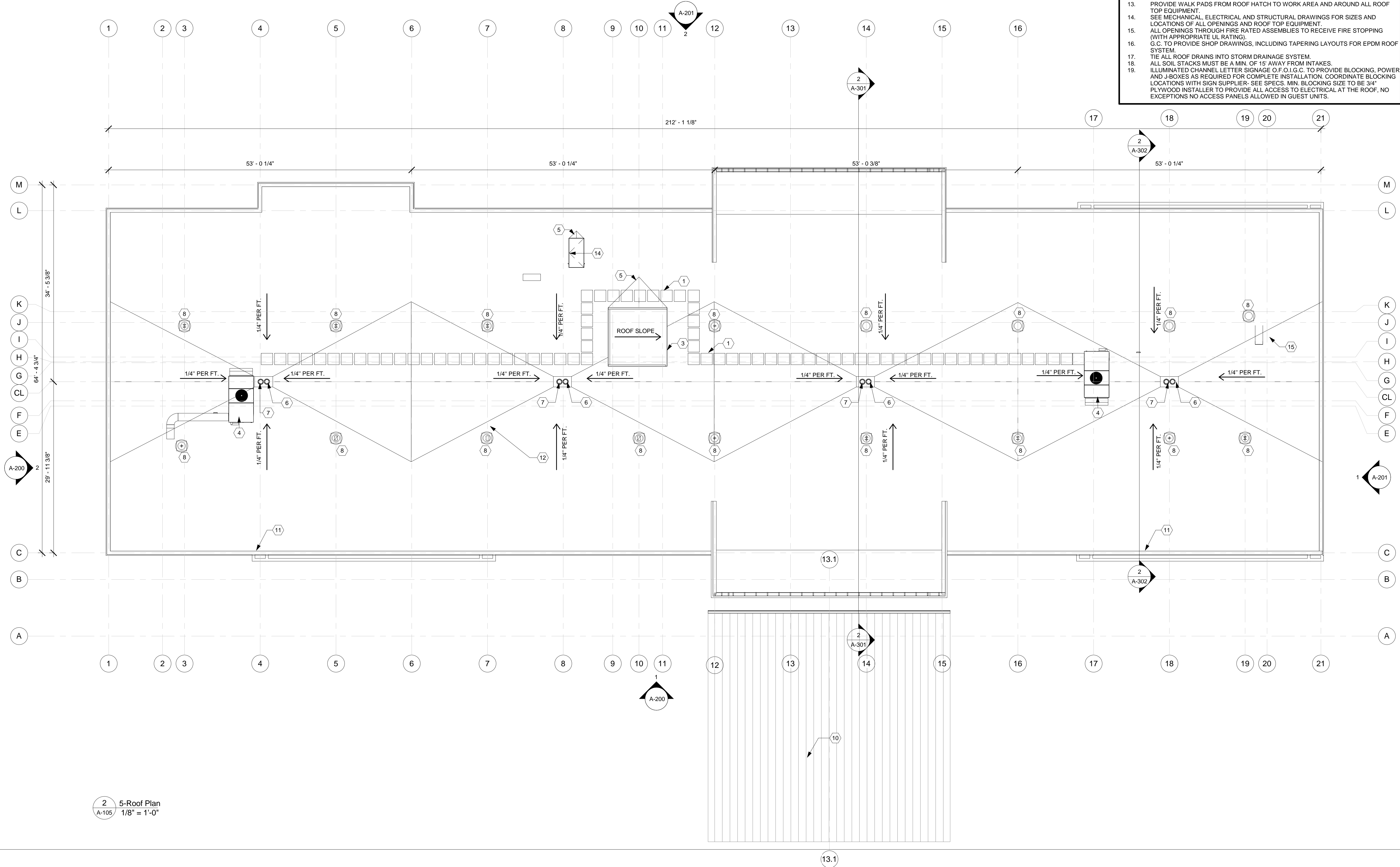
4TH FLOOR PLAN

DRAWINGS NO.

A-104

ISSUED FOR PERMIT





Roof Plan Keynotes	
Tag	Description
1	ROOF PAVER
3	ELEVATOR PENTHOUSE
4	ROOF MOUNTED AIR HANDLING EQUIPMENT
5	ROOF CRICKET, (TYP)
6	OVERFLOW ROOF DRAIN
7	ROOF DRAIN (R.D.), (TYP)
8	EXHAUST FAN (TYP)
10	ROOF BELOW
11	EXTRWIDE PREFINISHED ALUMINUM COPING
12	SINGLE PLY ROOFING ON TAPERED INSULATION ON PRE-CAST SLAB.
14	ROOF HATCH
15	PROVIDE LAUNDRY CAP HERE

- GENERAL NOTES
1.

GENERAL CONTRACTOR TO INSTALL AND SEAL ROOF PENETRATIONS, CURBS AND SLEEPERS.
2.

HVAC VENDOR TO PROVIDE ROOF CURBS AND VENDOR IS RESPONSIBLE FOR PROVISION/ COORDINATION OF ROOF PENETRATIONS REQUIRED FOR EQUIPMENT INSTALLATION.
3.

FLASH PLUMBING VENT AND ELECTRICAL PIPES. SEE MECH. AND ELEC. DWGS. FOR LOCATIONS.
4.

COORDINATE SIZE AND LOCATION OF SATELLITE DISH PROVIDED BY AV CONTRACTOR, COORDINATE LOADS AND REACTIONS WITH JOIST MANUFACTURER. GC TO PROVIDE SUPPORT LEGS/BLOCKING
5.

NEW ROOF MEMBRANE TO BE INSTALLED BY MANUFACTURER APPROVED LICENSED ROOFING CONTRACTOR. REFER TO DETAILS AS INDICATED ON THIS AND OTHER SHEETS.
6.

ROOF DRAINS AND OVERFLOW DRAINS SEE ALSO MECH. DWGS.
7.

ROOF DRAINAGE IS SHOWN FOR GENERAL INFORMATION ONLY. SEE PLUMBING PLANS FOR TYPE/LOCATION & SIZE OF DRAINAGE/SCUPPERS ETC.
8.

ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS,CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALSS.
9.

KEEP ROOF MOUNTED EQUIPMENT AWAY FROM PARAPETS TO REDUCE SIGHT LINES.
10.

(IF APPLICABLE) PROVIDE CONDUIT FROM PBX TO ROOF FOR H.I.B.S. SATELLITE DISH ON SEPARATE CIRCUIT. PROVIDE POWER ON ROOF EDGE FOR HEATER WHEN REQUIRED
11.

ALL ROOF CURBS PIPE CONDUIT FLASHING COLLARS AND PIPE ROLLER SUPPORTS SHALL BE AS DESCRIBED IN DIV. 15 AND 16 OF THE SPECIFICATIONS.
12.

ALL CONDENSATE DRAINS FROM ROOF TOP EQUIPMENT WILL BE PROVIDED IN INSULATED TRAP IF NOT INCLUDED WITH EQUIPMENT.
13.

PROVIDE WALK PADS FROM ROOF HATCH TO WORK AREA AND AROUND ALL ROOF TOP EQUIPMENT.
14.

SEE MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR SIZES AND LOCATIONS OF ALL OPENINGS AND ROOF TOP EQUIPMENT
15.

ALL OPENINGS THROUGH FIRE RATED ASSEMBLIES TO RECEIVE FIRE STOPPING (WITH APPROPRIATE UL RATING).
16.

G.C. TO PROVIDE SHOP DRAWINGS, INCLUDING TAPERING LAYOUTS FOR EPDM ROOF SYSTEM
17.

TIE ALL ROOF DRAINS INTO STORM DRAINAGE SYSTEM.
18.

ALL SOIL STACKS MUST BE A MIN. OF 15' AWAY FROM INTAKES.
19.

ILLUMINATED CHANNEL LETTER SIGNAGE O.F.O.I.G.C. TO PROVIDE BLOCKING, POWER AND J-BOXES AS REQUIRED FOR COMPLETE INSTALLATION. COORDINATE BLOCKING LOCATIONS WITH SIGN SUPPLIER- SEE SPECS. MIN. BLOCKING SIZE TO BE 3/4" PLYWOOD INSTALLER TO PROVIDE ALL ACCESS TO ELECTRICAL AT THE ROOF, NO EXCEPTIONS NO ACCESS PANELS ALLOWED IN GUEST UNITS.



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Alachua, FL

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PROJECT NO.	B4-093-1602
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SHEET NAME	
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ROOF LEVEL PLAN

DRAWINGS NO.	
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A-105

ISSUED FOR PERMIT

2 5-Roof Plan  
A-105 1/8" = 1'-0"





**EXTERIOR WALL MATERIALS**  
TOTAL: 3,401 SF  
EIFS: 2,977/3,401 = 88%  
STONE VENEER: 424/3,401 = 12%

LEGEND - EXTERIOR FINISHES		
CODE	MATERIAL	MANUFACTURER AND COLOR
EF1	EIFS	COLOR: SNOWBALL 10400L
EF2	EIFS	ACCESSIBLE BEIGE SW7036 (SMOOTH)
EF3	EIFS	ACCESSIBLE BEIGE SW7036 (TEXTURED)
EF4	EIFS	VIRTUAL TAUPE SW7039
EF5	EIFS	ROCKWOOD TERRA COTTA SW2803
EF6	EIFS	ROCKWOOD TERRA COTTA SW2803 SMOOTH TEXTURE
ST-1	STONE	PRO-FIT LEDGESTONE SOUTHWEST BLEND

KEYNOTES- ELEVATION	
Tag	Text
1	PREFINISHED METAL GUTTER
2	LIGHTED SIGNAGE BY VENDOR
3	EXTERIOR FORMULA DOWN LIGHTING. MOUNT AT 7'-6" AFF
4	EXTERIOR FORMULA UP LIGHTING. MOUNT AT 11'-6" AFF
5	EXTERIOR "X" LIGHTING
6	EIFS REVEAL TO LOOK LIKE WINDOW
7	EIFS BAND DETAIL
8	NOT USED
9	BLACK OUT FILM APPLIED TO GLAZING
10	CLEARANCE SIGN-12'-6". PROVIDE MARKINGS INDICATING THE EXTENT OF 12'-6" CLEARANCE
11	PLACE BUILDING ADDRESS HERE
12	SHEET METAL PARAPET CAP
13	EIFS REVEAL TYP
14	PTAC LOUVER TO MATCH FINISH EIFS
15	12" DEEP EIFS FALSE COLUMN
16	2" WIDE & 1" DEEP POP OUT

**GENERAL ELEVATION NOTES**

**BASE4 NOTES**

- REVIEW ALL SIGHTLINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- EXTERIOR INSUL. & FINISH SYSTEM (EIFS) SYSTEM TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND DETAILS.
- MANUFACTURERS INSTALLATION MANUAL SPECIFICATIONS. CONSTRUCTION DOCUMENTS AND PROJECT MANUAL TO BE ON SITE THROUGHOUT CONSTRUCTION PROCESS.
- EIFS WARRANTY: MANUFACTURER SHALL PROVIDE A WRITTEN, 10 YR. LIMITED MATERIALS WARRANTY AGAINST DEFECTIVE MATERIALS.
- THE APPLICATOR SHALL WARRANT WORKMANSHIP SEPARATELY AND PROVIDE A 5 YR WARRANTY AGAINST DEFECTIVE INSTALLATION WORKMANSHIP. ALL LOUVERS AND MECHANICAL VENTS & FLASHING TO MATCH ADJACENT SURFACE

**BUILDING SIGNAGE NOTES**

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE PER FRANCHISE REQUIREMENTS.
- MINIMUM EXTERIOR GRADE 3/4" PLYWOOD BLOCKING REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
- RACEWAYS / WIREWAYS ARE NOT ALLOWED. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR AND COORDINATED WITH ARCHITECT. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS, ACCESS DOORS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED. WITH ARCHITECT APPROVAL. PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.



**EXTERIOR WALL MATERIALS**  
TOTAL: 7,312 SF  
EIFS: 6,650/7,312 = 90%  
STONE VENEER: 662/7,312 = 10%

13'-5" -8" (Structure height)= 12'-9"  
12.75\* 212.58= 2,710 SF 1st floor  
369 SF Windows (41 SF \* 9 windows)  
478 SF Curtain Glazing  
874 Total glazing/2710 Wall  
31.2% Glazing



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SHEET NAME

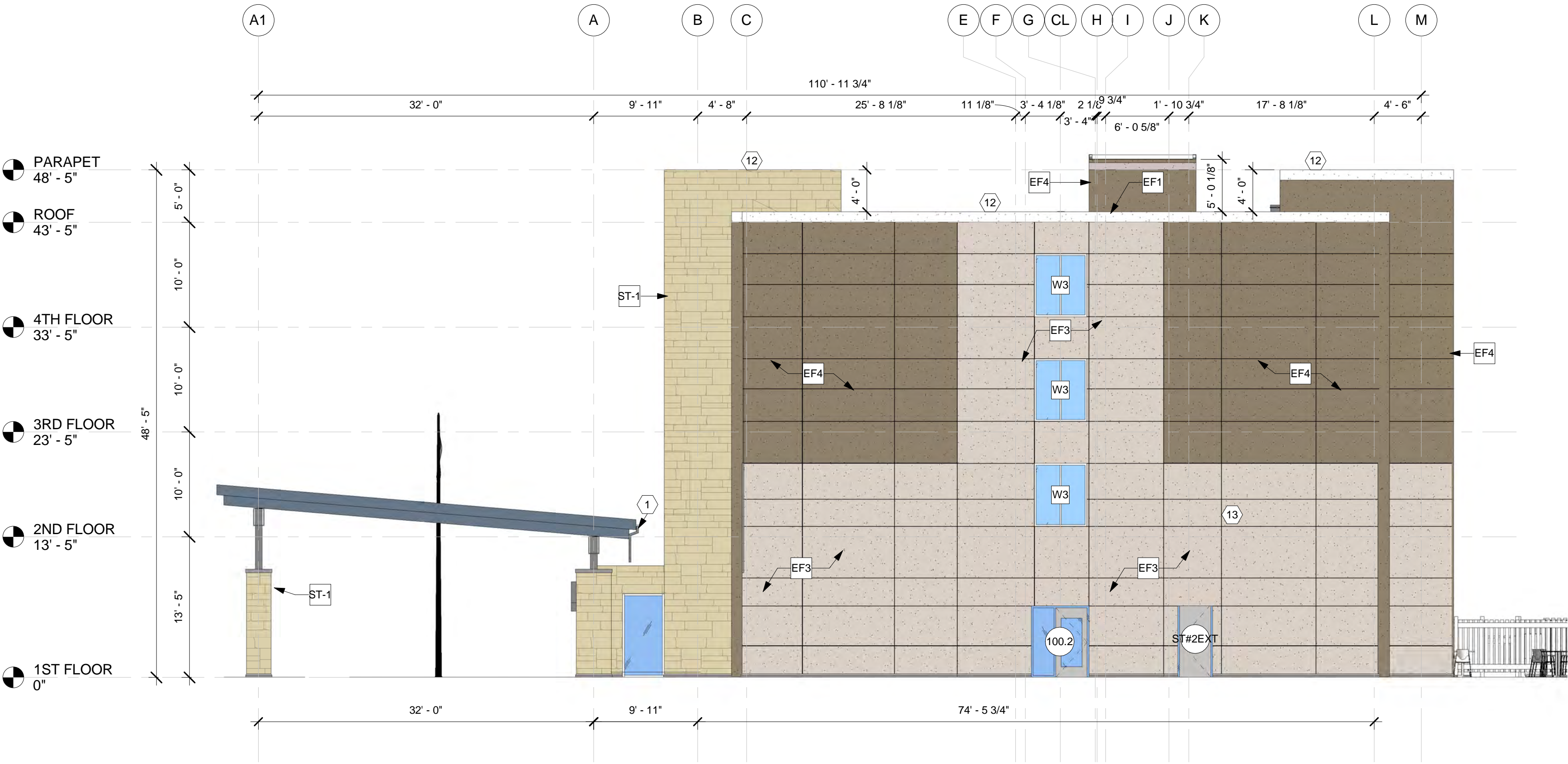
EXTERIOR  
ELEVATIONS-1

DRAWINGS NO.

A-200

ISSUED FOR PERMIT





1 EAST ELEVATION  
A-201 1/8" = 1'-0"

**EXTERIOR WALL MATERIALS**  
TOTAL: 3,409 SF  
EIFS: 2,977/3,409 = 87%  
STONE VENEER: 432/3,409 = 13%

LEGEND - EXTERIOR FINISHES		
CODE	MATERIAL	MANUFACTURER AND COLOR
EF1	EIFS	COLOR: SNOWBALL 10400L
EF2	EIFS	ACCESSIBLE BEIGE SW7036 (SMOOTH)
EF3	EIFS	ACCESSIBLE BEIGE SW7036 (TEXTURED)
EF4	EIFS	VIRTUAL TAUPE SW7039
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KEYNOTES- ELEVATION

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GENERAL ELEVATION NOTES	
BASE4 NOTES	
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2.	EXTERIOR INSUL. & FINISH SYSTEM (EIFS) SYSTEM TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND DETAILS.
3.	MANUFACTURERS INSTALLATION MANUAL, SPECIFICATIONS, CONSTRUCTION DOCUMENTS AND PROJECT MANUAL TO BE ON SITE THROUGHOUT CONSTRUCTION PROCESS.
4.	EIFS WARRANTY:
A.	MANUFACTURES SHALL PROVIDE A WRITTEN, 10 YR. LIMITED MATERIALS WARRANTY AGAINST DEFECTIVE MATERIALS.
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5.	ALL LOUVERS AND MECHANICAL VENTS & FLASHING TO MATCH ADJACENT SURFACE

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3.	ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY.
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6.	GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS, ACCESS DOORS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED, WITH ARCHITECT APPROVAL, PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.



2 NORTH ELEVATION  
A-201 1/8" = 1'-0"

**EXTERIOR WALL MATERIALS**  
EIFS: 7,142 SF = 100%

13'-5" -8" (Structure height)= 12'-9"  
12.75\* 212.58= 2,710 SF 1st floor  
246 SF Windows (41 SF \* 6 windows)  
352 SF Curtain Glazing  
598 S.F. Total glazing/2710 S.F. Wall  
22.2% Glazing



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SHEET NAME

EXTERIOR  
ELEVATIONS-2

DRAWINGS NO.

A-201

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