

December 15, 2016

Mr. Adam Hall, AICP
Planner
City of Alachua
Planning & Community Development
P.O. Box 9
Alachua, FL 32616-0009

Re: Holiday Inn Alachua
Civil Engineering Review

Dear Mr. Hall:

As you requested I have reviewed the signed & sealed design drawings provided to us for the above referenced project, prepared by EDA, and dated 12/5/16. This review is the 2nd engineering review of this project and our review was primarily limited to the comments provided in our original review. We reviewed the latest drawing set and the comment response letter provided by EDA to determine if the first round of comments was addressed satisfactorily. This 2nd round of comments is focused on items that were not addressed or not completely addressed in the original review. The latest review comments are provided below.

Sht. C2.00

1. The valley gutter along NW 167th Blvd. @ the driveway connection was eliminated but the curb transitions were not indicated. The curb upstream of the driveway has to be removed and transitioned from standard C & G to spillout C & G in order for the valley gutter to be eliminated and the drainage to work properly within the curb profile. This should be indicated / detailed on the plans.
2. Provide better spot grading at the driveway intersection to make sure the ADA ramps are constructed properly and the crosswalk cross-slope is not steeper than 2.0%. **(Previous comment)**
3. Provide better spot grading at the ADA parking spaces to assure they are constructed with max slope of 2.0% and the sidewalk transitions are constructed properly. **(Previous Comment)**. A spot at each disabled parking space bay exceeds 2.0%.
4. Is there a design detail for the retaining wall? What material is the wall supposed to be? Is it masonry or poured-in-place concrete? A note states it is to be designed by others. It is very important this wall is designed properly by a Florida Registered Structural Engineer PE. I suggest the design details for this wall be added to this plan set. **(Previous Comment)** We were not provided with this design detail although it was mentioned that it was provided

to the City. The main point is that a signed & sealed structural engineering design drawing of the retaining wall has been provided to the City.

5. Suggest showing the building roof storm drain discharge locations and their piping tie-ins to the storm sewer lines provided. **(Previous Comment)** Does any roof drain discharge to the ground in the NE quadrant of this building? Do not understand why this area, which contains a good bit of impervious area, is not directed to the stormwater retention basin.
6. Spot Elevations should be provided on the exterior of the building to identify drainage patterns away from the building. **(Previous comment was not addressed)**

Sht. C2.20

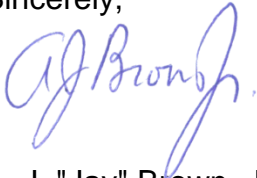
1. A note should be added in the basin plan view which identifies the location of the basin undercut limits per the GSE Geotechnical Report. These limits are to extend to the southeast of the basin to the elevation 98 contour and this is not depicted on the drawings. **(Previous Comment)**
2. Please clarify on the basin Section A-A if the undercut on the side slopes is 12" thick. **(Previous Comment)**

Sht. C4.00

1. Not sure what is meant by tapping saddle and box. Remove "box" as appropriate.

Several of the previous comments mentioned above were not addressed or not addressed completely. I would be happy to review them with the project engineer if so desired, in case there is any misunderstanding regarding my comments or intent. Please feel free to call me any time to discuss this review.

Sincerely,

A handwritten signature in blue ink, appearing to read "AJ Brown Jr.", with a stylized flourish at the end.

A. J. "Jay" Brown, Jr., PE
President, JBrown Professional Group Inc.



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: December 13th, 2016

TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. *RSV*
Public Services Director

RE: Holiday Inn

Public Services have reviewed the Holiday Inn - Minor Site Plan and offer the following comments.

NO.	COMMENTS
1.	<u>Fire Flow Requirements</u> The City of Alachua is aware of the existing water distribution performance within the specific area and is passing along the following information to the designer. Fire Flow Assessment Report Request form is typically accompanied with a \$476.75 fee. However, the City will waive this fee given that an assessment within the area has been completed. Analyses indicate that the minimum fire flow capacity within this area is approximately 688 gpm for a duration of 2 hours. [FYI; No Response Required] As noted, fire flow requirements do not exceed the minimum fire flow capacity as noted above.
2.	<u>Existing Drainage Structures</u> ; Sheet C2.00 Contractor to modify structure top to be flush with existing finished grade <u>AND</u> eliminate tripping hazard(s). Typical existing structure of 2. [Approved as Noted]
3.	<u>Electric Utility Plan</u> ; Sheet C4.00 See attachment for comments on sheet. Comments are noted in <u>RED</u> . [Revise and Resubmit]
4.	<u>Water Main</u> ; Sheet C4.00 Provide the 3 x 2 PVC Tee <u>AFTER</u> the 5 inch water main valve. [Revise and Resubmit]
5.	<u>Valves</u> ; Sheet C4.00 Note 7: shall reference all 2-inch valves. All 2-inch valves, unless 18 inch or shallower for meter control, shall be cast iron, resilient seat gate valves with standard 2-inch operating nut, threaded with galvanized nipple between the vales and the tapping saddle or tapped tee. [Approved as Noted]

NO.	COMMENTS
6.	<u>Fire Hydrant</u> ; Sheet - C4.00 Relocate hydrant so that supply line does not run under paved parking area. [Revise and Resubmit]
7.	<u>Manhole</u> ; Sheet - C4.00 Provide detail for MH 1. [Revise and Resubmit] <u>Manhole</u> ; Sheet - C4.00 Referenced sanitary manhole does not 'exist'. Provide sanitary manhole 6-inches above grade and a 10:1 slope to grade. [Revise and Resubmit]
8.	<u>General Comment</u> ; Sheet C4.10 Water Distribution System, Note 1; typo STOM = STORM [Approved as Noted]
9.	<u>CoA Design and Construction Requirements</u> ; Reference requirements and details within design. Details shall be in accordance with CoA details. [Approved as Noted]
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Adam Hall – AICP Planner
Harry Dillard – Lead Engineering Technician

PLEASE PRINT CLEARLY

[illegible]

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Holiday Inn

APPLICATION TYPE: Site Plan

APPLICANT/PROPERTY OWNER: Hipp Investments, LLC

AGENT: Sergio Reyes, P.E., eda engineers-surveyors-planners, inc.

DRT MEETING DATE: November 21, 2016

DRT MEETING TYPE: Applicant

FLUM DESIGNATION: Commercial

ZONING: CI

OVERLAY: I-75/441 Gateway

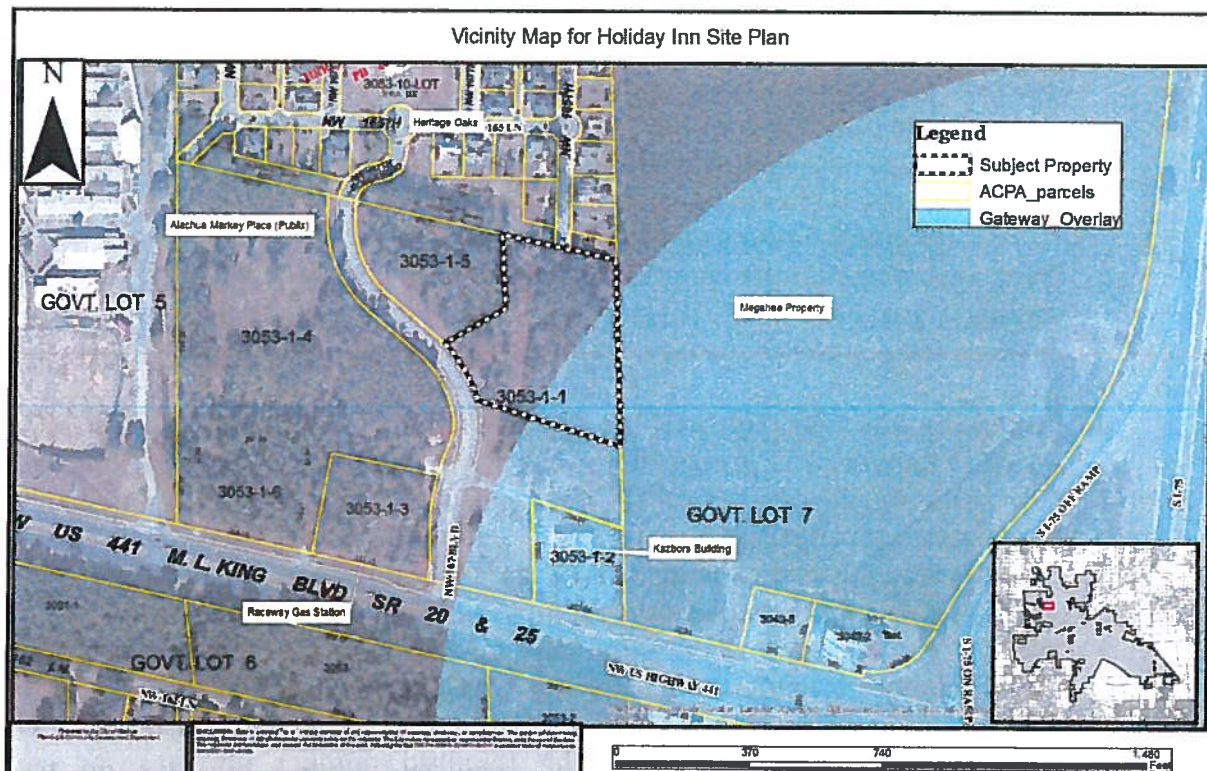
DEVELOPMENT AREA ACREAGE: ± 4.24 acres

PARCEL: 03053-0001-001

PROJECT LOCATION: South of Heritage Oaks Subdivision, east of Alachua Market Place (Publix), west of Megahee Property, north of US Highway 441

PROJECT SUMMARY: Construction of a 92 room hotel with a 24 seat meeting room, employee and visitor parking, storm water management facility improvements and associated utility infrastructure.

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before 5:00 PM on Monday, December 5, 2016.



Deficiencies to be Addressed

Unless otherwise noted, references to code Sections refer to City of Alachua Land Development Regulations.

A. Comprehensive Plan Consistency

1. Submitted Public School Student Generation Form does not indicate that the proposed development is exempt from Public School Concurrency requirements. Per the Interlocal Agreement for Public School Facility Planning between the City of Alachua and the School Board of Alachua County, exempts group quarters that do not generate students that will be assigned to public school facilities, including motels and hotels.
2. Future Land Use Element Policy 1.3.d creates design and performance standards for commercial development proposals. Policy 1.3.d.9 has not been adequately addressed. Site appears to be potentially constrained by the presence of unsuitable soils (Bivans Sand, 5% to 8% slopes). Please address.

B. Concurrency Impact Analysis

1. The Concurrency Impact Analysis Report references "Table 1" as a data source for available capacities for potable water, wastewater, and solid waste. Table 1 (and Table 2) not provided in Concurrency Impact Analysis Report.

C. Development Standards

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District
 - a. To demonstrate compliance with 3.7.2 (C)(5)ii and 3.7.2 (C)(5)vi, a description of each façade material and color is required. See comment C.7.b below.
 - b. To demonstrate compliance with 3.7.2 (C)(5)vi, please identify accent materials referenced in Comment Response letter submitted that is dated October 31, 2016 . Three architectural elements from a provided list of elements are required for building walls facing a public right-of-way; Staff has identified two architectural elements from the provided list: a prominent public entrance and a change in building materials.
2. Section 6.1-Off Street Parking and Loading Standards
 - a. Plans must demonstrate compliance with Section 6.1.7 (B), which requires that loading areas have a 14' vertical clearance. Plans appear to show that the distance from grade to the bottom of the roof of the porte cochere is less than 14'.
 - b. In parking lots with 100 parking spaces or more, a pedestrian crosswalk is required between the primary entrance of the structure and the parking area. Crosswalk should be at least 10' feet wide and raised, striped, or otherwise designated with alternative materials.
3. Section 6.2- Tree protection/landscape/xeriscape standards
 - a. Generally, the plans do not indicate how the tree preservation credits will be used. Tree preservation credits can be used towards site landscaping requirements, perimeter buffering, and interior and perimeter landscaping for parking areas. The credits cannot be used towards tree mitigation. The landscaping plans should show the required number of trees for each landscaped area and how many tree preservation credits will be applied to

- that required area. Landscaping plan should indicate which trees are being counted towards meeting the required mitigation amounts.
- b. Section 6.2.1 (D)(4)(b) requires that at least 75% of trees used for mitigation purposes come from the recommended tree list.
 - c. Section 6.2.2(D)(4)(b) requires that 6 understory trees per acre (25 total) are planted with 25% (6) planted on each side of the building face and 50% (13) in front of the building. The west façade only has 5 understory trees; an additional understory tree is required for this façade.
 - d. The parking lot buffer calculation of 400 linear feet appears to be low. Staff has estimated that the perimeter length used to determine landscaping requirements is closer to 650 feet. Please confirm. This would require 28 canopy trees and 14 understory trees. Currently, it appears that 26 canopy trees and 12 understory trees. Two more canopy trees and two more understory trees are required.
 - e. Eastern portion of parking lot does not have continuous shrub row or short fence or wall; required to meet Section 6.2.2(D)(2)(b)(iv)c.
 - f. Sheet L-1 shows a 30" Laurel Oak being removed, but this is not listed on the mitigation table. May be a mislabel. Additionally, please identify "Hazard" or "Poor" trees on sheet L-1.
 - g. Plans should indicate which existing trees are being used to meet the requirements for either the perimeter buffer or site landscaping requirements for building facades. Staff can only identify 14 canopy trees in buffer area (13 proposed, 1 existing); 16 canopy trees are required for the rear perimeter buffer.
 - h. Confirm location of fencing on eastern property boundary. Callout on Sheet C1.00 seems to indicate fencing along entire eastern property boundary, but sketch of fence line appears to terminate at front building line.
 - i. Irrigation plans must be shown to demonstrate compliance with Section 6.2.2 (D)(6)(b).
 - j. Pool equipment or structure not shown on landscaping plans (shown on architectural plans, however); per Section 6.2.3 (D), equipment must be screened with solid wood, masonry, stone, or finished metal.
 - k. Sheet L-3 does not provide calculation for southwest property line buffer; perimeter buffer must comply with Section 4.7.2(C)(5)(d)iii.
 - l. Site landscaping calculations should be shown on sheet L-3; landscaping plans should indicate which trees are being used to meet building façade requirements.
 - m. Mitigation not adequately addressed. See Comment C.3.a. above. Plans should indicate which trees are being used to meet minimum mitigation requirements. If required mitigation amounts cannot be met on site, the City permits offsite mitigation through a tree banking program. See Section 6.2.1(D)(7).
 - n. Per Section 6.2.2(D)(1)(c), an additional three canopy trees are required along the east and west façades.
 - o. Per Section 6.2.2(D)(1)(c), an additional six canopy trees are required along the north facade.
 - p. Per Section 6.2.2(D)(1)(c), an additional six canopy trees are required along the south (primary) facade.

4. Section 6.3- Fencing Standards
 - a. Provide cross section/ design detail for retaining wall.
5. Section 6.4- Exterior lighting Standards
 - a. In order to ensure compliance with 6.4.4, please provide schematics or cut sheets for the CREE ARE-EDG-4M-**-06-E-12-700-40K (labeled P4T on Photometric Plan)
 - b. Illumination on western property boundary must be shielded to prevent spillover onto adjacent property. See Section 6.4.4 (F), City of Alachua Land Development Regulations.
 - c. Illumination on eastern property boundary must be shielded to prevent spillover onto adjacent property. See Section 6.4.4 (F), City of Alachua Land Development Regulations.
 - d. Provide cross section of porte-cochere showing lights or note on plans indicating compliance with Section 6.4.6 City of Alachua Land Development Regulations.
6. Section 6.6.3 – Residential Protection Standards
 - a. Section 6.6.3 permits additional requirements and conditions for nonresidential development located within 500' of any residential district. The conditions below are intended to reduce or minimize the potential adverse impacts that the proposed development may have on the residential uses found north of the subject property, in the Heritage Oaks subdivision. These requirements and conditions are in addition to all other requirements found in the City of Alachua Land Development Regulations:
 - i. In addition to all other landscaping requirements, understory trees shall be planted along the rear property line to complete the visual and aural buffer between uses.
 - ii. All canopy trees proposed to serve as a perimeter buffer on the rear property line shall be of a species that achieves an average height of at least 50 feet at maturity.
 - iii. Proposed privacy fence along rear property line shall be a minimum of 8 feet tall, but shall otherwise meet all other requirements of Section 6.3- Fencing Standards.
 - iv. Pool area shall be closed from 10 PM to dawn on weeknights and from 11 PM to dawn on weekend nights.
7. Section 6.8- Design Standards for Business Uses
 - a. Façade massing requirements do not appear to be met. If utilizing a “pilaster” as an offset alternative, the pilaster must be at least 1' in depth (appears to only be 6" as shown on architectural plans).
 - b. Plans should show percentage calculations of each building material on each façade.
 - c. Distance between building offsets or offset alternatives appears to exceed 30' on 4 of the 6 building “segments”.
 - d. Identify building material below windows.
 - e. Identify yellow material located at parapet on Drawing A-201.

D. Fire Marshal/Public Services/Outside Engineering Review Comments

1. The applicant must address the comments provided by Brian Green, Fire Inspector for Alachua County Fire Rescue (attached to this memo).
2. The applicant must address the comments provided by A. J. "Jay" Brown, Jr., PE of JBrown Professional Group, Inc in a letter received by the City on November 15, 2016 (attached to this memo).
3. The applicant must comply with all comments provided by the Public Services Department in a memo dated November 16, 2016 (attached to this memo).

E. Miscellaneous/General Issues

1. On Sheet C0.00, Parcels located and labeled in the Heritage Oaks subdivision appear to be mislabeled. Provide Future Land Use Designations and Zoning Designations for these parcel numbers.
2. The Site Plan should show Floor to Area calculation on site plan. Per Comprehensive Plan Future Land Use Element Policy 1.3.d. 11, the maximum Floor to Area ratio for parcels more than 1 acre, but less than 5 acres is .75.
3. Inset map appears to call out the CBD of the City of Alachua instead of actual location of development.
4. Provide breakdown on square footage devoted to guestrooms on site plan.

ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 5:00 PM ON THE RESUBMISSION DATE OF DECEMBER 5, 2016.

Community Development
Box 9
Alachua, FL 32616-0009

Re: Holiday Inn Alachua
Civil Engineering Review

Dear Mr. Hall:

As you requested I have reviewed the signed & sealed design drawings provided to us for the above referenced project, prepared by EDA, and dated 10/28/16. I have reviewed the design from an engineering standpoint to provide the City of Alachua an independent civil engineering review. My review comments of the design are provided below.

General

1. The design drawings are well done and it is a very complete set of plans. My comments should most likely be straightforward for the design engineer to address.

Sht. C0.00

1. In the parking calculations under bicycle parking, adjust the number of required parking spaces to 9.4, not 94.
2. Please explain the inconsistency with the impervious area identified on this sheet (87,025 SF) vs. that identified in the stormwater report (71,956 SF). This is not a minor difference (0.35 acres) and should be adjusted. If the amount on the cover sheet is correct, then the stormwater calculations should be corrected and revised.

Sht. C0.10

1. Suggest adding abbreviations for your wall callout abbreviations TW & BW.

Sht. C0.20

1. This sheet shows the proposed Emerick Pediatric project which has a stormwater basin northwest of the project entrance. The topographic survey does not indicate this basin as existing. I suggest verifying that this basin does not discharge to the Holiday Inn site or cause additional offsite stormwater runoff to be directed to the Holiday Inn site.

Sht. C2.00

1. Be sure valley gutter is desired along NW 167th Blvd. @ the driveway connection. Where feasible it is desired to eliminate the valley gutter as a long term maintenance issue. I suggest eliminating it and detailing curb transitions as required.
2. Label the Type F Curb & Gutter at the driveway entrance and the valley gutter, if it remains.
3. Identify and label any spillout curb and transitions, if required.
4. Provide better spot grading at the driveway intersection to make sure the ADA ramps are constructed properly and the crosswalk cross-slope is not steeper than 2.0 %.
5. Make sure the crosswalk striping is striped from curb to curb.
6. Label the predominant curb within the parking lot as 6" standard curb (Typ.)
7. Provide better spot grading at the ADA parking spaces to assure they are constructed with max slope of 2.0% and the sidewalk transitions are constructed properly.
8. The retaining wall is provided with callouts referring to TW and BW. These terms are not defined in your legend and abbreviations and are not standard FDOT abbreviations. I assume TW is top of wall, which makes sense. I am unsure what BW stands for. If it stands for bottom of wall, what does that refer to? The "BW" elevations shown along the inside of the wall would not be the ground surface at these locations. Perhaps that would be the elevation of the wall at the top of the footing? Or maybe the bottom of the wall footing. Please provide a description. These BW elevations do not seem to follow a pattern so please verify they are accurately describing the wall design.
9. Is there a design detail for the retaining wall? What material is the wall supposed to be? Is it masonry or poured-in-place concrete? A note states it is to be designed by others. It is very important this wall is designed properly by a Florida Registered Structural Engineer PE. I suggest the design details for this wall be added to this plan set.
10. The 6" and 8" storm pipes discharging into S-1 and S-4 are labeled as RCP. RCP is not made in those sizes. Please revise to CPE or PVC or other acceptable pipe material.
11. Suggest showing the building roof storm drain discharge locations and their piping tie-ins to the storm sewer lines provided.
12. Spot Elevations should be provided on the exterior of the building to identify drainage patterns away from the building.
13. The pool area and sidewalk north of the pool area has very little grading. I suggest this be revised to include additional grading and to make sure storm water runoff from the north sidewalk flows to S-1. This sidewalk appears to be graded flat right now and this could cause drainage ponding.
14. The exterior sidewalk at the far northeast corner has 0.92' of fall across the corner. This may be a typo and seems to be a severe cross slope. Suggest revising it.
15. Provide spot grades for the bicycle parking pad.

16. The grading of the dumpster pad calls for a flush connection between pavement and the concrete pad, yet the detail on Sht. C2.10 shows a 6" step-up. Please correct one or the other. A-001 also shows details at the dumpster pad but it is unclear from those details whether or not the 6" step-up is provided or not.
17. ****THIS IS VERY IMPORTANT**** The geotechnical report indicates a very special manner in which the building shall be undercut and backfilled, and also identifies the need for an underdrain system to be provided around the building. Please provide a note referencing the building undercut per the Geotechnical report. Please also provide the design and details for the underdrain recommended in the report. The report indicates the north, west, and south side of the building should be provided with underdrain. This should be designed and the details added to the drawings.

Sht. C2.20

1. The Typical Basin Section A-A line that runs through the basin should be redrawn to be perpendicular to the basin sides slopes and to reach the pavement so it accurately identifies the location of the Section A-A drawn in the detail.
2. A note should be added in the basin plan view which identifies the location of the basin undercut limits per the GSE Geotechnical Report. These limits are to extend to the southeast of the basin to the elevation 98 contour and this is not depicted on the drawings.
3. Suggest relocating the silt fence shown so that it is beyond the limits of the basin back slope. This will allow the construction activity to be within the protected area. The silt fence should also be drawn beyond the rubble pad at MES-2 and all other construction work limits.
4. In the Section A-A detail the maintenance path is indicated to be 10:1 and the slope to tie back up to the parking lot is indicated to be 6:1. It is not designed that way in the proposed plan view contours. Please revise one or the other.
5. Suggest that the note in the Section A-A detail pointing to the undercut be expanded to identify the exact GSE Report which provides the undercut recommendations.
6. Please clarify on the basin Section A-A if the undercut on the side slopes is 12" thick.
7. Label the basin outfall detail S-12.
8. Suggest the S-12 detail profile views be labeled "Front View" and "Side View" or some other label like the upper detail is labeled "Plan View". The right most view or "Side View" should be redrawn to match the left "Front View" in scale, so they make more sense next to each other. The side view is drawn much shorter than the front view and it does not present the detail well. It is also suggested that the basin bottom be shown on the front and side view.

Sht. C3.10

1. Suggest relocating the silt fence shown so that it is beyond the work limits of the basin back slope and other construction activity. This will allow the construction activity to be within the protected area. The silt fence should also be drawn beyond the rubble pad at MES-2.

Sht. C4.00

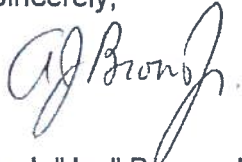
1. Provide callouts for the water main and fire line pipe fittings running through the project.
2. The note pointing to the fire hydrant includes a tap. This should include the 8" gate valve and the 8" bend but not a tap.

3. Does Note 1 of the Utility Notes apply?
4. Is the wastewater line lateral supposed to be 8" diameter? Usually these are more commonly 6" diameter. The slope of the wastewater lateral is 22.39%, which is severe. Perhaps the invert at the manhole can be raised or the cleanout invert lowered, or an outside drop provided to reduce this slope. Please coordinate with the City of Alachua Utilities Dept. to make sure they approve of this 8" lateral slope.
5. Suggest adding the electrical lighting locations to this drawing.
6. Where is the primary electric feed coming from? Should the primary electric lines feeding the transformer be shown on this drawing? It may be shown on a separate electrical plan, which is fine if coordinated properly.

I would also point out that I confined my review to the drawings and information I was provided. I did not review the stormwater report modeling and basin design since the project will go through a separate stormwater design review with SRWMD, and that would satisfy the City of Alachua stormwater concerns. If you would also like us to review the stormwater design on the City's behalf, please let me know.

I will make myself available to City staff or the EDA project manager if there are any questions related to my comments or a desire to meet and review the comments in person. Please let me know if I can provide any other services related to this project.

Sincerely,



A. J. "Jay" Brown, Jr., PE
President, JBrown Professional Group Inc.


Zimbra

ad_hall@cityofalachua.org

RE: Electronic Application for Site Plan for Holiday Inn Alachua

From : Brian Green
<bgreen@AlachuaCounty.US>

Tue, Nov 15, 2016 02:26 PM

 Holiday Inn Alachua

Subject : RE: Electronic Application for Site
Plan for Holiday Inn Alachua

To : Adam Hall
<ad_hall@cityofalachua.org>

Adam,

The flow test was done along US 441 at a much lower elevation than where the hotel will be. A new flow test shall be done from a fire hydrant closer to the hotel.

Brian Green

Alachua County Fire Rescue

Life Safety / Internal Affairs Branch

352-384-3103 office

352-494-3140 cell

352-384-3157 fax

BGREEN@ALACHUACOUNTY.US

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, November 15, 2016 2:11 PM

To: Brian Green

Subject: Fwd: Electronic Application for Site Plan for Holiday Inn Alachua

Brian,

I wanted to confirm that you had received this. If comments have been submitted to me, I have not received them yet. The Staff DRT is scheduled for this Thursday, November 17, 2016.

Adam H

From: "Adam Hall" <ad_hall@cityofalachua.org>

To: "Brian Green" <bgreen@alachuacounty.us>, "William P. Whitelock"

<wi_whitelock@cityofalachua.org>

Sent: Monday, November 7, 2016 1:51:09 PM

Subject: Electronic Application for Site Plan for Holiday Inn Alachua

Brian and Bill,

Please find a link to an electronic version of plans for the Holiday Inn Alachua site plan application here: <http://cloud.cityofalachua.org/index.php/s/jOownUXgLCogut2>. Please submit any comments by Wednesday, November 16, 2016 at 5 PM. The Staff DRT is schedule for Thursday, November 17, 2016 at 2 PM. The applicant DRT is scheduled for Monday, November 21, 2016 at 2 PM.

Bill, the application can also be found on our shared drive at: X:\Planning and Community Development\Planning Division\Development Applications\Site Plans\Holiday Inn\Submittals\2016_10_31 .

If you have any questions or need more information, please let me know.

Thank you,

--
Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125

From : Adam Hall
<ad_hall@cityofalachua.org>

Tue, Nov 15, 2016 02:10 PM

 Holiday Inn Alachua

Subject : Fwd: Electronic Application for Site
Plan for Holiday Inn Alachua

To : Brian Green
<bgreen@alachuacounty.us>

Brian,

I wanted to confirm that you had received this. If comments have been submitted to me, I have not received them yet. The Staff DRT is scheduled for this Thursday, November 17, 2016.

Adam H



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: November 16th, 2016
TO: Kathy Winburn, AICP
Planning & Community Development Director
FROM: Rodolfo Valladares, P.E. *RSV*
Public Services Director
RE: Holiday Inn

Public Services have reviewed the Holiday Inn - Minor Site Plan and offer the following comments.

NO.	COMMENTS
1.	Fire Flow Requirements The City of Alachua is aware of the existing water distribution performance within the specific area and is passing along the following information to the designer. Fire Flow Assessment Report Request Form is typically accompanied with a \$470.75 fee. However, the City will waive this fee given that an assessment within the area has been completed. Analyses indicate that the minimum fire flow capacity within this area is approximately 688 gpm for a duration of 2 hours. [FYI; No Response Required]
2.	Existing Drainage Structures: Sheet C2.00 Contractor to modify structure top to be flush with existing/finished grade AND eliminate trapping hazard(s). Typical existing structure of 2. [Approved as Noted]
3.	Electric Utility Plan: Sheet C4.00 See attachment for comments on sheet. Comments are noted in RED. [Revise and Resubmit]
4.	Water Main: Sheet - C4.00 Provide the 3 x 2 PVC Tee AFTER the 3-inch water main valve. [Revise and Resubmit]
5.	Valves: Sheet - C4.00 Note 7: shall reference 'all' 2-inch valves. All 2-inch valves, unless 18 inch or shallower for meter control, shall be cast iron, resilient seat gate valves with standard 2-inch operating nut, threaded with galvanized nipple between the vales and the tapping saddle or tapped tee. [Approved as Noted]

PO Box 9
Alachua, Florida 32616-0009

"The Good Life Community"
www.cityofalachua.com

Phone: (386) 418-6140
Fax: (386) 418-6164

*FORWARD
TO S&B
COMMENTS*

NO.	COMMENTS
6.	Fire Hydrant: Sheet - C4.00 Relocate hydrant so that supply line does not run under paved parking area. [Revise and Resubmit]
7.	Manhole: Sheet - C4.00 Provide detail for MH-1. [Revise and Resubmit]
8.	General Comment: Sheet C4.10 Water Distribution System, Note 1; typo STOM = STORM [Approved as Noted]
END OF COMMENTS	



FORWARD WFL SPEAK w/ PLANNING
RE LOCATING FIRE HYDRANT ON
NORTH SIDE OF ENTRANCE ROAD.

Please advise if you have any questions or require additional information.

cc: Adam Hall - AICP Planner
Harry Dillard - Lead Engineering Technician



RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

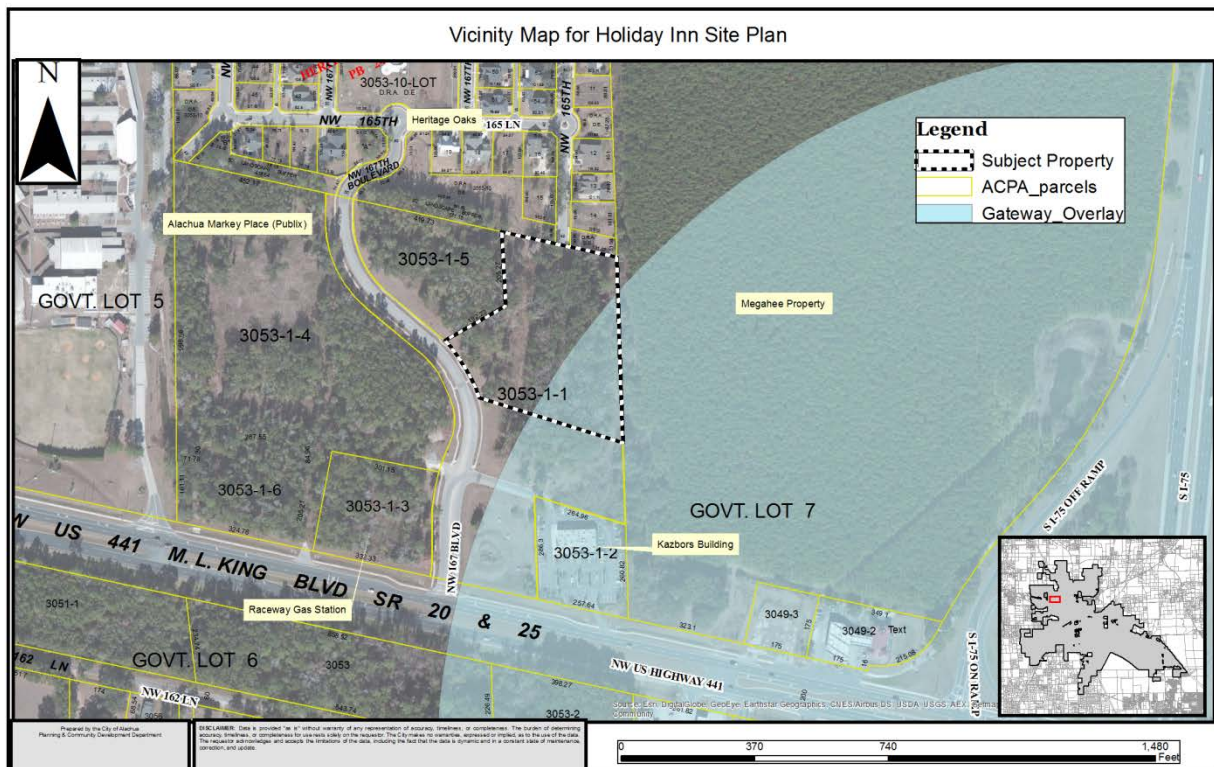
WILSON & JONES



"The Good Life Community"
www.cityofalachu.com

PO Box 9
Alachua, Florida 32616-0009

-
- TAPS, # OF
 - FIRE HYDRANT
 - FENCE, HEIGHT ON BACK
 - FENCE, HEIGHT ON EAST SIDE



Deficiencies to be Addressed

Unless otherwise noted, references to code Sections refer to City of Alachua Land Development Regulations.

A. Comprehensive Plan Consistency

1. Submitted Public School Student Generation Form does not indicate that the proposed development is exempt from Public School Concurrency requirements. Per the Interlocal Agreement for Public School Facility Planning between the City of Alachua and the School Board of Alachua County, exempts group quarters that do not generate students that will be assigned to public school facilities, including motels and hotels.
2. Future Land Use Element Policy 1.3.d creates design and performance standards for commercial development proposals. Policy 1.3.d.9 has not been adequately addressed. Site appears to be potentially constrained by the presence of unsuitable soils (Bivans Sand, 5% to 8% slopes). Please address.

B. Concurrency Impact Analysis

1. The Concurrency Impact Analysis Report references "Table 1" as a data source for available capacities for potable water, wastewater, and solid waste. Table 1 (and Table 2) not provided in Concurrency Impact Analysis Report.

C. Development Standards

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District
 - a. To demonstrate compliance with 3.7.2 (C)(5)ii and 3.7.2 (C)(5)vi, a description of each façade material and color is required. See comment C.7.b below.
 - b. To demonstrate compliance with 3.7.2 (C)(5)vi, please identify accent materials referenced in Comment Response letter submitted that is dated October 31, 2016 . Three architectural elements from a provided list of elements are required for building walls facing a public right-of-way; Staff has identified two architectural elements from the provided list: a prominent public entrance and a change in building materials.
2. Section 6.1-Off Street Parking and Loading Standards
 - a. Plans must demonstrate compliance with Section 6.1.7 (B), which requires that loading areas have a 14' vertical clearance. Plans appear to show that the distance from grade to the bottom of the roof of the porte cochere is less than 14'.
 - b. In parking lots with 100 parking spaces or more, a pedestrian crosswalk is required between the primary entrance of the structure and the parking area. Crosswalk should be at least 10' feet wide and raised, striped, or otherwise designated with alternative materials.
3. Section 6.2- Tree protection/landscape/xeriscape standards
 - a. Generally, the plans do not indicate how the tree preservation credits will be used. Tree preservation credits can be used towards site landscaping requirements, perimeter buffering, and interior and perimeter landscaping for parking areas. The credits cannot be used towards tree mitigation. The landscaping plans should show the required number of trees for each landscaped area and how many tree preservation credits will be applied to

that required area. Landscaping plan should indicate which trees are being counted towards meeting the required mitigation amounts.

- b. Section 6.2.1 (D)(4)(b) requires that at least 75% of trees used for mitigation purposes come from the recommended tree list.
- c. Section 6.2.2(D)(4)(b) requires that 6 understory trees per acre (25 total) are planted with 25% (6) planted on each side of the building face and 50% (13) in front of the building. The west façade only has 5 understory trees; an additional understory tree is required for this façade.
- d. The parking lot buffer calculation of 400 linear feet appears to be low. Staff has estimated that the perimeter length used to determine landscaping requirements is closer to 650 feet. Please confirm. This would require 28 canopy trees and 14 understory trees. Currently, it appears that 26 canopy trees and 12 understory trees. Two more canopy trees and two more understory trees are required.
- e. Eastern portion of parking lot does not have continuous shrub row or short fence or wall; required to meet Section 6.2.2(D)(2)(b)(iv)c.
- f. Sheet L-1 shows a 30" Laurel Oak being removed, but this is not listed on the mitigation table. May be a mislabel. Additionally, please identify "Hazard" or "Poor" trees on sheet L-1.
- g. Plans should indicate which existing trees are being used to meet the requirements for either the perimeter buffer or site landscaping requirements for building facades. Staff can only identify 14 canopy trees in buffer area (13 proposed, 1 existing); 16 canopy trees are required for the rear perimeter buffer.
- h. Confirm location of fencing on eastern property boundary. Callout on Sheet C1.00 seems to indicate fencing along entire eastern property boundary, but sketch of fence line appears to terminate at front building line.
- i. Irrigation plans must be shown to demonstrate compliance with Section 6.2.2 (D)(6)(b).
- j. Pool equipment or structure not shown on landscaping plans; per Section 6.2.3 (D), equipment must be screened with solid wood, masonry, stone, or finished metal.
- k. Sheet L-3 does not provide calculation for southwest property line buffer; perimeter buffer must comply with Section 4.7.2(C)(5)(d)iii.
- l. Site landscaping calculations should be shown on sheet L-3; landscaping plans should indicate which trees are being used to meet building façade requirements.
- m. Mitigation not adequately addressed. See Comment C.3.a. above. Plans should indicate which trees are being used to meet minimum mitigation requirements. If required mitigation amounts cannot be met on site, the City permits offsite mitigation through a tree banking program. See Section 6.2.1(D)(7).
- n. Per Section 6.2.2(D)(1)(c), an additional three canopy trees are required along the east and west façades.
- o. Per Section 6.2.2(D)(1)(c), an additional six canopy trees are required along the north facade.
- p. Per Section 6.2.2(D)(1)(c), an additional six canopy trees are required along the south (primary) facade.

4. Section 6.3- Fencing Standards
 - a. Provide cross section/ design detail for retaining wall.
5. Section 6.4- Exterior lighting Standards
 - a. In order to ensure compliance with 6.4.4, please provide schematics or cut sheets for the CREE ARE-EDG-4M-**-06-E-12-700-40K (labeled P4T on Photometric Plan)
 - b. Illumination on western property boundary must be shielded to prevent spillover onto adjacent property. See Section 6.4.4 (F), City of Alachua Land Development Regulations.
 - c. Illumination on eastern property boundary must be shielded to prevent spillover onto adjacent property. See Section 6.4.4 (F), City of Alachua Land Development Regulations.
 - d. Provide cross section of porte-cochere showing lights or note on plans indicating compliance with Section 6.4.6m City of Alachua Land Development Regulations.
6. Section 6.6.3 – Residential Protection Standards
 - a. Section 6.6.3 permits additional requirements to be added to nonresidential development located within 500' of any residential district. The requirements below are intended to reduce or minimize the potential adverse impacts that the proposed development may have on the residential uses found north of the subject property, in the Heritage Oaks subdivision.
 - b. In addition to all other landscaping requirements, understory trees shall be planted along the rear property line to complete the visual and aural buffer between uses.
 - c. All canopy trees proposed to serve as a perimeter buffer on the rear property line shall be of a species that achieves an average height of at least 50 feet at maturity.
 - d. Proposed privacy fence along rear property line shall be a minimum of 8 feet tall, but shall otherwise meet all other requirements of Section 6.3- Fencing Standards.
 - e. Pool area shall be closed from 10 AM to dawn on weeknights and from 11 AM to dawn on weekend nights.
7. Section 6.8- Design Standards for Business Uses
 - a. Façade massing requirements do not appear to be met. If utilizing a “pilaster” as an offset alternative, the pilaster must be at least 1' in depth (appears to only be 6" as shown on architectural plans).
 - b. Plans should show percentage calculations of each building material on each façade.
 - c. Distance between building offsets or offset alternatives appears to exceed 30' on 4 of the 6 building “segments”.
 - d. Identify building material below windows.
 - e. Identify yellow material located at parapet on Drawing A-201.

D. Fire Marshal/Public Services/Outside Engineering Review Comments

1. The applicant must address the comments provided by Brian Green, Fire Inspector for Alachua County Fire Rescue (attached to this memo).

2. The applicant must address the comments provided by A. J. "Jay" Brown, Jr., PE of JBrown Professional Group, Inc in a letter received by the City on November 15, 2016 (attached to this memo).
3. The applicant must comply with all comments provided by the Public Services Department in a memo dated November 16, 2016 (attached to this memo).

E. Completeness Review Comments:

1. The applicant must address all completeness review deficiencies as provided in correspondence dated November 3, 2016 and noted below:

Required Attachment 3: Fire Department Access and Water Supply Plan.

Action Needed to Address Deficiency: Please provide documentation from the local water purveyor (City of Alachua Public Services) verifying required flow can be provided at proposed development site.

F. Miscellaneous/General Issues

1. On Sheet C0.00, Parcels located and labeled in the Heritage Oaks subdivision appear to be mislabeled. Provide Future Land Use Designations and Zoning Designations for these parcel numbers.
2. The Site Plan should show Floor to Area calculation on site plan. Per Comprehensive Plan Future Land Use Element Policy 1.3.d. 11, the maximum Floor to Area ratio for parcels more than 1 acre, but less than 5 acres is .75.
3. Inset map appears to call out the CBD of the City of Alachua instead of actual location of development.
4. Provide breakdown on square footage devoted to guestrooms on site plan.

ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 5:00 PM ON THE RESUBMISSION DATE OF DECEMBER 5, 2016.

August 31, 2016

Mr. Adam Hall, AICP
Planner
City of Alachua
Planning & Community Development
P.O. Box 9
Alachua, FL 32616-0009

Re: Holiday Inn Alachua
Civil Engineering Review

Dear Mr. Hall:

As you requested I have reviewed the signed & sealed design drawings provided to us for the above referenced project, prepared by EDA, and dated 10/28/16. I have reviewed the design from an engineering standpoint to provide the City of Alachua an independent civil engineering review. My review comments of the design are provided below.

General

1. The design drawings are well done and it is a very complete set of plans. My comments should most likely be straightforward for the design engineer to address.

Sht. C0.00

1. In the parking calculations under bicycle parking, adjust the number of required parking spaces to 9.4, not 94.
2. Please explain the inconsistency with the impervious area identified on this sheet (87,025 SF) vs. that identified in the stormwater report (71,956 SF). This is not a minor difference (0.35 acres) and should be adjusted. If the amount on the cover sheet is correct, then the stormwater calculations should be corrected and revised.

Sht. C0.10

1. Suggest adding abbreviations for your wall callout abbreviations TW & BW.

Sht. C0.20

1. This sheet shows the proposed Emerick Pediatric project which has a stormwater basin northwest of the project entrance. The topographic survey does not indicate this basin as existing. I suggest verifying that this basin does not discharge to the Holiday Inn site or cause additional offsite stormwater runoff to be directed to the Holiday Inn site.

Sht. C2.00

1. Be sure valley gutter is desired along NW 167th Blvd. @ the driveway connection. Where feasible it is desired to eliminate the valley gutter as a long term maintenance issue. I suggest eliminating it and detailing curb transitions as required.
2. Label the Type F Curb & Gutter at the driveway entrance and the valley gutter, if it remains.
3. Identify and label any spillout curb and transitions, if required.
4. Provide better spot grading at the driveway intersection to make sure the ADA ramps are constructed properly and the crosswalk cross-slope is not steeper than 2.0 %.
5. Make sure the crosswalk striping is striped from curb to curb.
6. Label the predominant curb within the parking lot as 6" standard curb (Typ.)
7. Provide better spot grading at the ADA parking spaces to assure they are constructed with max slope of 2.0% and the sidewalk transitions are constructed properly.
8. The retaining wall is provided with callouts referring to TW and BW. These terms are not defined in your legend and abbreviations and are not standard FDOT abbreviations. I assume TW is top of wall, which makes sense. I am unsure what BW stands for. If it stands for bottom of wall, what does that refer to? The "BW" elevations shown along the inside of the wall would not be the ground surface at these locations. Perhaps that would be the elevation of the wall at the top of the footing? Or maybe the bottom of the wall footing. Please provide a description. These BW elevations do not seem to follow a pattern so please verify they are accurately describing the wall design.
9. Is there a design detail for the retaining wall? What material is the wall supposed to be? Is it masonry or poured-in-place concrete? A note states it is to be designed by others. It is very important this wall is designed properly by a Florida Registered Structural Engineer PE. I suggest the design details for this wall be added to this plan set.
10. The 6" and 8" storm pipes discharging into S-1 and S-4 are labeled as RCP. RCP is not made in those sizes. Please revise to CPE or PVC or other acceptable pipe material.
11. Suggest showing the building roof storm drain discharge locations and their piping tie-ins to the storm sewer lines provided.
12. Spot Elevations should be provided on the exterior of the building to identify drainage patterns away from the building.
13. The pool area and sidewalk north of the pool area has very little grading. I suggest this be revised to include additional grading and to make sure storm water runoff from the north sidewalk flows to S-1. This sidewalk appears to be graded flat right now and this could cause drainage ponding.
14. The exterior sidewalk at the far northeast corner has 0.92' of fall across the corner. This may be a typo and seems to be a severe cross slope. Suggest revising it.
15. Provide spot grades for the bicycle parking pad.

16. The grading of the dumpster pad calls for a flush connection between pavement and the concrete pad, yet the detail on Sht. C2.10 shows a 6" step-up. Please correct one or the other. A-001 also shows details at the dumpster pad but it is unclear from those details whether or not the 6" step-up is provided or not.
17. ****THIS IS VERY IMPORTANT**** The geotechnical report indicates a very special manner in which the building shall be undercut and backfilled, and also identifies the need for an underdrain system to be provided around the building. Please provide a note referencing the building undercut per the Geotechnical report. Please also provide the design and details for the underdrain recommended in the report. The report indicates the north, west, and south side of the building should be provided with underdrain. This should be designed and the details added to the drawings.

Sht. C2.20

1. The Typical Basin Section A-A line that runs through the basin should be redrawn to be perpendicular to the basin sides slopes and to reach the pavement so it accurately identifies the location of the Section A-A drawn in the detail.
2. A note should be added in the basin plan view which identifies the location of the basin undercut limits per the GSE Geotechnical Report. These limits are to extend to the southeast of the basin to the elevation 98 contour and this is not depicted on the drawings.
3. Suggest relocating the silt fence shown so that it is beyond the limits of the basin back slope. This will allow the construction activity to be within the protected area. The silt fence should also be drawn beyond the rubble pad at MES-2 and all other construction work limits.
4. In the Section A-A detail the maintenance path is indicated to be 10:1 and the slope to tie back up to the parking lot is indicated to be 6:1. It is not designed that way in the proposed plan view contours. Please revise one or the other.
5. Suggest that the note in the Section A-A detail pointing to the undercut be expanded to identify the exact GSE Report which provides the undercut recommendations.
6. Please clarify on the basin Section A-A if the undercut on the side slopes is 12" thick.
7. Label the basin outfall detail S-12.
8. Suggest the S-12 detail profile views be labeled "Front View" and "Side View" or some other label like the upper detail is labeled "Plan View". The right most view or "Side View" should be redrawn to match the left "Front View" in scale, so they make more sense next to each other. The side view is drawn much shorter than the front view and it does not present the detail well. It is also suggested that the basin bottom be shown on the front and side view.

Sht. C3.10

1. Suggest relocating the silt fence shown so that it is beyond the work limits of the basin back slope and other construction activity. This will allow the construction activity to be within the protected area. The silt fence should also be drawn beyond the rubble pad at MES-2.

Sht. C4.00

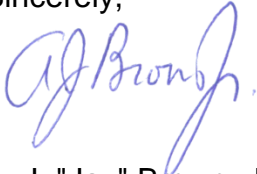
1. Provide callouts for the water main and fire line pipe fittings running through the project.
2. The note pointing to the fire hydrant includes a tap. This should include the 8" gate valve and the 8" bend but not a tap.

3. Does Note 1 of the Utility Notes apply?
4. Is the wastewater line lateral supposed to be 8" diameter? Usually these are more commonly 6" diameter. The slope of the wastewater lateral is 22.39%, which is severe. Perhaps the invert at the manhole can be raised or the cleanout invert lowered, or an outside drop provided to reduce this slope. Please coordinate with the City of Alachua Utilities Dept. to make sure they approve of this 8" lateral slope.
5. Suggest adding the electrical lighting locations to this drawing.
6. Where is the primary electric feed coming from? Should the primary electric lines feeding the transformer be shown on this drawing? It may be shown on a separate electrical plan, which is fine if coordinated properly.

I would also point out that I confined my review to the drawings and information I was provided. I did not review the stormwater report modeling and basin design since the project will go through a separate stormwater design review with SRWMD, and that would satisfy the City of Alachua stormwater concerns. If you would also like us to review the stormwater design on the City's behalf, please let me know.

I will make myself available to City staff or the EDA project manager if there are any questions related to my comments or a desire to meet and review the comments in person. Please let me know if I can provide any other services related to this project.

Sincerely,

A handwritten signature in blue ink, appearing to read "AJ Brown Jr.", with a stylized, cursive script.

A. J. "Jay" Brown, Jr., PE
President, JBrown Professional Group Inc.



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

November 3, 2016

Sergio Reyes, P.E.
eda engineers-surveyors-planners, inc.
2404 NW 43rd Street
Gainesville, FL 32606

Also submitted electronically to sreyes@edafl.com

RE: Completeness Review for Holiday Inn Alachua Site Plan and Lot Split Applications

Dear Mr. Reyes:

On October 31, 2016 the City of Alachua received your updated application for the approval of a Site Plan for the development located on NW 167th Boulevard (Tax Parcel 03053-001-001), consisting of a 58,821 square foot, 92 room hotel and all associated drainage, paving, grading, and utility infrastructure improvements on a 4.24 acre subject property.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the application is complete. Detailed comments will be provided at the Development Review Team (DRT), which will be scheduled separately.

It should be noted, the contents of the applications have not been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any issues with content will be addressed at DRT. The following comments originally found in the Completeness Review will be included with the DRT comments.

6. **Required Attachment 3:** Fire Department Access and Water Supply Plan.
Action Needed to Address Deficiency: Please provide documentation from the local water purveyor (City of Alachua Public Services) verifying required flow can be provided at proposed development site.

Should you have any questions, please feel free to contact me at (386) 418-6100, ext. 108 or via email at ahall@cityofalachua.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Adam Hall', is positioned above the typed name.

Adam Hall, AICP
Planner

c: Kathy Winburn, AICP, Planning Director
Justin Tabor, AICP, Principal Planner
File



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

October 6, 2016

Sergio Reyes, P.E.
eda engineers-surveyors-planners, inc.
2404 NW 43rd Street
Gainesville, FL 32606

Also submitted electronically to sreyes@edafl.com

RE: Completeness Review for Holiday Inn Alachua Site Plan and Lot Split Applications

Dear Mr. Reyes:

On September 29, 2016 the City of Alachua received your application for the approval of a Site Plan for the development located on NW 167th Boulevard (Tax Parcel 03053-001-001), consisting of a 58,821 square foot, 92 room hotel and all associated drainage, paving, grading, and utility infrastructure improvements on a 4.24 acre subject property.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

The comments below are based solely on a preliminary review of your application for completeness. Detailed comments will be provided at the Development Review Team (DRT) Meeting. A DRT Meeting will be scheduled upon satisfaction of the application's completeness review deficiencies, as indicated below.

Please address the following:

1. **Required Attachment D.1.c:** Vicinity map appears to call out different area of the City of Alachua.
Action Needed to Address Deficiency: Confirm call out inset for vicinity map.
2. **Required Attachment D.1.k:** Required loading area(s) not depicted on site plan. Please see Section 6.1.5 of the City of Alachua Land Development Regulations for loading area requirements.
Action Needed to Address Deficiency: Identify loading area(s) on site plan.

3. **Required Attachment D.1.n:** Rear required setback does not appear to meet requirement of Section 6.6.3 (B). Total number of parking spaces may be impacted by number of seats in meeting space.
Action Needed to Address Deficiency: Section 6.6.3 applies to non-residential development located within 500 feet of residential development. Section 6.6.3 (B) requires that any non-residential structure be setback from the residential use boundary by a minimum distance equal to the height of the nonresidential structure. The minimum setback therefore from the rear property line would be the height of the proposed hotel- 47.5 feet. Please address. Additionally, per Table 6.1-1, parking spaces must be provided for uses accessory to the hotel, such as the conference meeting space. Further, if this increases the number of parking spaces to 100 or more, additional requirements may be required. Please see Section 6.1.10 of the City of Alachua Land Development Regulations.
4. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing existing residential uses, detail on the plans demonstrating compliance with façade massing requirements (Section 6.8.2 (A)(2)(b)), and must be in color.
Action Needed to Address Deficiency: Amend architectural plans to provide glazing calculations for all facades facing residential uses (rear) in addition to the glazing calculations already provided for front façade. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.
5. **Required Attachment D.1.r:** For development consisting of multi-family residential, hotel, or mobile home park, the following information is needed: tabulation of gross acreage, tabulation of density, number of dwelling units proposed, location and percent of total open space and recreation space, floor area of dwelling units, street layout, lay of mobile home stands, City of Alachua Public School Student Generation form.
Action Needed to Address Deficiency: Please provide a note on plans indicating the square footage dedicated to accommodations and other areas in the proposed development. Provide total number of seats proposed in meeting/conference room area (per Table 6.1-1, parking spaces must be provided for uses accessory to the hotel). Provide a completed City of Alachua Public School Student Generation form.
6. **Required Attachment 3:** Fire Department Access and Water Supply Plan.
Action Needed to Address Deficiency: Please provide documentation from the local water purveyor (City of Alachua Public Services) verifying required flow can be provided at proposed development site.
7. **Required Attachment 8:** Legal Description with Parcel Number.
Action Needed to Address Deficiency: Submitted legal description on separate sheet does not include parcel number. Please address. This comment applies to both site plan application and lot split application.

8. Additional Comments: Please address the following issues:

- a. Submitted plans do not indicate location or arrangement of all mechanical equipment (HVAC, pool filtration equipment, etc). If located at the ground level, please provide screening location and detail. If located on roof of proposed structure, please provide a detailed roof plan demonstrating compliance with the screening requirements set forth in Section 6.8.2 (A) (3).
- b. Property is located with the US Highway 441/ Interstate 75 Gateway Overlay District. Please review plans for compliance with Section 3.7 (C), including building design and orientation standards.
- c. Site Photometric Plan: northwest property boundary photometric data is illegible. Cut sheets for proposed exterior lighting fixtures not provided.
- d. Landscaping plan: please provide design detail for the following: all fencing and retaining walls, and the dumpster enclosure.
- e. Please note that the proposed development is located within 500 feet of a residential district and subject to the residential protection standards set forth in Section 6.6.3. Additional conditions may be imposed to minimize adverse impacts to the residential areas. Please address Section 6.6.3 (A) 1- 12 particularly regarding the protection of privacy of adjacent residential uses and activities that may generate potential adverse impacts (such as noise from proposed pool area).

Action Needed to Address Deficiency: Update site plan that addresses these comments.

It should be noted, the contents of the applications have not been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any issues with content will be addressed at DRT.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. *The time frame and cycle for review shall be based upon the date the application is determined to be complete.* If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the applications shall be considered withdrawn.

Should you have any questions, please feel free to contact me at (386) 418-6100, ext. 108 or via email at ahall@cityofalachua.com.

Sincerely,



Adam Hall, AICP
Planner

c: Kathy Winburn, AICP, Planning Director
Justin Tabor, AICP, Principal Planner
File


Zimbra

ad_hall@cityofalachua.org

Re: Completeness Review Comments for Holiday Inn Alachua

From : Adam Boukari
<aboukari@cityofalachua.org>

Tue, Oct 11, 2016 01:48 PM

 Holiday Inn Alachua

Subject : Re: Completeness Review Comments
for Holiday Inn Alachua

To : Adam Hall
<ad_hall@cityofalachua.org>

Thank you.

Adam Boukari
Assistant City Manager

City of Alachua
P.O. Box 9
Alachua, FL 32616

PH: (386) 418-6100
FX: (386) 418-6175

From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Adam Boukari" <ad_boukari@cityofalachua.org>
Sent: Tuesday, October 11, 2016 1:35:32 PM
Subject: Completeness Review Comments for Holiday Inn Alachua

Adam, See attached. Thank you!

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

From : Adam Hall

<ad_hall@cityofalachua.org>

Tue, Oct 11, 2016 01:35 PM

 Holiday Inn Alachua

Subject : Completeness Review Comments for
Holiday Inn Alachua

 1 attachment

To : Adam Boukari

<ad_boukari@cityofalachua.org>

Adam, See attached. Thank you!

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

 **Completeness Review Letter- October 6, 2016.pdf**
148 KB

RE: Holiday Inn Alachua Scheduled for January 10, 2017 PZB

From : Stephanie Sutton

<ssutton@edafl.com>

Wed, Dec 21, 2016 11:51 AM

 Holiday Inn Alachua

Subject : RE: Holiday Inn Alachua Scheduled
for January 10, 2017 PZB

 3 attachments

To : Adam Hall

<ad_hall@cityofalachua.org>

Sorry about that – see attached

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Wednesday, December 21, 2016 11:43 AM

To: Stephanie Sutton <ssutton@edafl.com>

Subject: Re: Holiday Inn Alachua Scheduled for January 10, 2017 PZB

Stephanie, I only see the concurrency report , no retaining wall sheets.

Adam H

From: "Stephanie Sutton" <ssutton@edafl.com>

To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes" <sreyes@edafl.com>

Sent: Wednesday, December 21, 2016 10:53:42 AM

Subject: RE: Holiday Inn Alachua Scheduled for January 10, 2017 PZB

Adam,

I've revised the concurrency report again- does this address your comments?
I've also attached the retaining wall detail sheets.

We'll include both of these items and an updated landscape plan in the final submittal.

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street
Gainesville, FL 32606
(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, December 20, 2016 4:41 PM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Stephanie Sutton <ssutton@edafl.com>

Subject: Holiday Inn Alachua Scheduled for January 10, 2017 PZB

Sergio,

Please see the attached letter regarding the Holiday Inn Alachua Site Plan application. Before preparing final submittal, also note the following:

- One of the recommended conditions relates to the granting of easements to the City for public utilities; please coordinate with the City of Alachua Compliance and Risk Management Office prior to recording any easements.
- The Public Services Department is still reviewing the latest submittal, a additional condition will be recommended that requires compliance with their comment letter. An updated comment letter will be issued prior to the hearing material submission deadline of December 28, 2016.
- The property must be posted with a Notice of Public Hearing sign by **December 21, 2016**. This sign is ready for pick up now. Please note that this deadline is tomorrow.
- There are several outstanding items that must be corrected prior to final submittal; failure to fully address these items may result in a postponement in the public hearing. If the public hearing is postponed, the applicant is responsible for all costs related to renoticing the hearing.
 - The square footage listed on the Floor to Area calculation does not match the square footage used for the concurrency calculations. Please rectify.
 - Referenced Sheet C701.1 not found although it is listed as being submitted in the cover letter for the December 19, 2016 submission.
 - The table numbers in the Concurrency Management report are still not coherent. While it is acceptable to use the City's data and table numbers from the Development Monitoring Report, the submitted concurrency management report uses both. This results in duplicated table numbers.
 - The landscaped plans have floating/ mislabeled trees on the southern property buffer area ('MG' and 'QV' are shown, but do not seem to have an associated tree proposed)

If you have any questions, or need anything else, please do not hesitate to contact me.

Thank you,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



image002.jpg

7 KB



image003.jpg

7 KB

2016.12.02 - HIEX, Alachua, FL-SE- Retaining Wall.pdf
639 KB

From : Adam Hall
<ad_hall@cityofalachua.org>

Wed, Dec 21, 2016 11:42 AM

Holiday Inn Alachua

Subject : Re: Holiday Inn Alachua Scheduled
for January 10, 2017 PZB

1 attachment

To : Stephanie Sutton
<ssutton@edafl.com>

Stephanie, I only see the concurrency report , no retaining wall sheets.

Adam H

From: "Stephanie Sutton" <ssutton@edafl.com>

To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes"
<sreyes@edafl.com>

Sent: Wednesday, December 21, 2016 10:53:42 AM

Subject: RE: Holiday Inn Alachua Scheduled for January 10, 2017 PZB

Adam,

I've revised the concurrency report again- does this address your comments?
I've also attached the retaining wall detail sheets.

We'll include both of these items and an updated landscape plan in the final submittal.

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, December 20, 2016 4:41 PM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Stephanie Sutton <:ssutton@edafl.com>

Subject: Holiday Inn Alachua Scheduled for January 10, 2017 PZB

Sergio,

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- The Public Services Department is still reviewing the latest submittal, a additional condition will be recommended that requires compliance with their comment letter. An updated comment letter will be issued prior to the hearing material submission deadline of December 28, 2016.
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- The square footage listed on the Floor to Area calculation does not match the square footage used for the concurrency calculations. Please rectify.
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- The table numbers in the Concurrency Management report are still not coherent. While it is acceptable to use the City's data and table numbers from the Development Monitoring Report, the submitted concurrency management report uses both. This results in duplicated table numbers.
- The landscaped plans have floating/ mislabeled trees on the southern property buffer area ('MG' and 'QV' are shown, but do not seem to have an associated tree proposed)

If you have any questions, or need anything else, please do not hesitate to contact me.

Thank you,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



image002.jpg
7 KB

From : Stephanie Sutton
<ssutton@edafl.com>

Wed, Dec 21, 2016 10:53 AM

📎 Holiday Inn Alachua

Subject : RE: Holiday Inn Alachua Scheduled
for January 10, 2017 PZB

📎 2 attachments

To : Adam Hall
<ad_hall@cityofalachua.org>,
Sergio Reyes <sreyes@edafl.com>

Adam,

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I've also attached the retaining wall detail sheets.

We'll include both of these items and an updated landscape plan in the final submittal.

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

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Gainesville, FL 32606

(352) 373-3541

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, December 20, 2016 4:41 PM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Stephanie Sutton <:ssutton@edafl.com>

Subject: Holiday Inn Alachua Scheduled for January 10, 2017 PZB

Sergio,

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- One of the recommended conditions relates to the granting of easements to the City for public utilities; please coordinate with the City of Alachua Compliance and Risk Management Office prior to recording any easements.
- The Public Services Department is still reviewing the latest submittal, a additional condition will be recommended that requires compliance with their comment letter. An updated comment letter will be issued prior to the hearing material submission deadline of December 28, 2016.
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If you have any questions, or need anything else, please do not hesitate to contact me.

Thank you,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



image002.jpg

7 KB



Holiday Inn Concurrency Impact Analysis.pdf

75 KB

From : Stephanie Sutton
<ssutton@edafl.com>

Tue, Dec 20, 2016 04:43 PM

Holiday Inn Alachua

Subject : RE: Holiday Inn Alachua Scheduled
for January 10, 2017 PZB

1 attachment

To : Adam Hall
<ad_hall@cityofalachua.org>

Cc : Sergio Reyes <sreyes@edafl.com>

Thank you Adam- we'll take a look at these items and send Melissa from our office to pickup the signs and get them posted on the property tomorrow.

Stephanie

Stephanie Sutton

Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

December 21, 2016. This sign is ready for pick up now. Please note that this deadline is tomorrow.

- There are several outstanding items that must be corrected prior to final submittal; failure to fully address these items may result in a postponement in the public hearing. If the public hearing is postponed, the applicant is responsible for all costs related to renoticing the hearing.
 - The square footage listed on the Floor to Area calculation does not match the square footage used for the concurrency calculations. Please rectify.
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If you have any questions, or need anything else, please do not hesitate to contact me.

Thank you,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

 **Notice of Hearing Scheduled.pdf**
81 KB

Holiday Inn P&Z schedule

From : Stephanie Sutton
<ssutton@edafl.com>

Tue, Dec 20, 2016 04:24 PM

✉ Holiday Inn Alachua

Subject : Holiday Inn P&Z schedule

📎 1 attachment

To : Adam Hall
<ad_hall@cityofalachua.org>

Cc : Sergio Reyes <sreyes@edafl.com>

Adam,

When do you expect to know if we will make the January P&Z board meeting? Please let us know so we can work on getting the final materials/plans signed and sealed ASAP as it will be harder to reach people around the holidays.

Thank you,

Stephanie

Stephanie Sutton

Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com





image001.jpg

9 KB

RE: Holiday Inn - 2nd Engineering Review

From : A. J. 'Jay' Brown, Jr., PE
<jay.brown@jbprogroup.com>

Mon, Dec 19, 2016 10:04 PM

📎 Holiday Inn Alachua

Subject : RE: Holiday Inn - 2nd Engineering
Review

📎 2 attachments

To : Adam Hall
<ad_hall@cityofalachua.org>

You are welcome Adam. I am very happy to do these reviews for the City of Alachua. I hope my reviews prove helpful.

Jay

A. J. "Jay" Brown, Jr., P.E.
President



www.JBProGroup.com

3530 NW 43rd Street · Gainesville, FL 32606

Office: (352) 375-8999 x102 · Fax: (352) 375-0833 · Mobile: (352) 318-9462

"Our services now include surveying. Please contact us for all of your surveying needs!"

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Monday, December 19, 2016 3:39 PM

To: A. J. 'Jay' Brown, Jr., PE

Subject: Re: Holiday Inn - 2nd Engineering Review

Jay,

Thank you for this, the applicant has been given a copy of these comments.

Adam H

From: "jay brown" <jay.brown@jbprogroup.com>

To: "ad hall" <ad_hall@cityofalachua.org>

Sent: Thursday, December 15, 2016 11:29:05 PM

Subject: Holiday Inn - 2nd Engineering Review

Adam,

Please find my 2nd round of review comments for the Holiday Inn project. EDA whittled down the comments a good bit, but I still have a few that I think should be addressed. My letter is attached.

Jay

A. J. "Jay" Brown, Jr., P.E.

President



www.JBProGroup.com

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Office: (352) 375-8999 x102 · Fax: (352) 375-0833 · Mobile: (352) 318-9462

"Our services now include surveying. Please contact us for all of your surveying needs!"



image003.png

34 KB



image004.png

34 KB

From : Adam Hall
<ad_hall@cityofalachua.org>

Mon, Dec 19, 2016 03:36 PM

Subject : Re: Holiday Inn - 2nd Engineering
Review

✉ Holiday Inn Alachua
📎 1 attachment

To : jay brown
<jay.brown@jbprogroup.com>

Jay,

Thank you for this, the applicant has been given a copy of these comments.

Adam H

From: "jay brown" <jay.brown@jbprogroup.com>
To: "ad hall" <ad_hall@cityofalachua.org>
Sent: Thursday, December 15, 2016 11:29:05 PM
Subject: Holiday Inn - 2nd Engineering Review

Adam,

Please find my 2nd round of review comments for the Holiday Inn project. EDA whittled down the comments a good bit, but I still have a few that I think should be addressed. My letter is attached.
Jay

A. J. "Jay" Brown, Jr., P.E.
President



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"Our services now include surveying. Please contact us for all of your surveying needs!"



image003.png

34 KB

From : A. J. 'Jay' Brown, Jr., PE
<jay.brown@jbprogroup.com>

Thu, Dec 15, 2016 11:29 PM

Subject : Holiday Inn - 2nd Engineering
Review

📎 Holiday Inn Alachua

📎 2 attachments

To : ad hall
<ad_hall@cityofalachua.org>

Adam,

Please find my 2nd round of review comments for the Holiday Inn project. EDA whittled down the comments a good bit, but I still have a few that I think should be addressed. My letter is attached.

Jay

A. J. "Jay" Brown, Jr., P.E.
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"Our services now include surveying. Please contact us for all of your surveying needs!"



image003.png
34 KB

JBPro - Review Comment Letter - Holiday Inn 12-15-16.pdf
205 KB

RE: Holiday Inn

From : Stephanie Sutton
<ssutton@edafl.com>

Wed, Dec 14, 2016 10:20 AM

1 attachment

Subject : RE: Holiday Inn

To : Adam Hall
<ad_hall@cityofalachua.org>

Thanks Adam- that should be easy for us to address.

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Wednesday, December 14, 2016 9:32 AM

To: Stephanie Sutton <ssutton@edafl.com>

Subject: Re: Holiday Inn

Stephanie,

I am attaching the comments from Public Services. It appears that there is one issue with a manhole.

Adam Hall
City of Alachua

From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Stephanie Sutton" <ssutton@edafl.com>
Sent: Tuesday, December 13, 2016 11:04:20 AM
Subject: Holiday Inn

Stephanie,

Per my review so far, the following DRT comments have not been addressed:

1. FLUM Policy 1.3.d.9 has not been addressed in the Comp Plan consistency analysis portion of the application. DRT Comment A.2.
2. The Concurrency Impact Analysis has not been updated. DRT Comment B.1.
3. The demarcated pedestrian connection between the parking areas and entrance to the building should connect with pedestrian facilities proposed (sidewalk that runs through parking lot). DRT Comment C.2.b.
4. Pool equipment has been added to landscape plan, but no screening is shown. Must be screened with wood, masonry, stone, or finished metal or screened with landscaping. DRT comment C.3.j.
5. General landscape comment: the proposed tree counts appear to be slightly off, please verify. Counted trees on site plan meet all landscape requirements, other than those addressed in this email.
6. Retaining wall details/ specs not found in resubmittal. DRT comment C.4.
7. No additional row of understory trees along rear property line show in plans as discussed at DRT and as noted in DRT comment C.6.a.i.
8. Color architectural plans not submitted (will be required at final submittal).
9. Calculation of floor to area ratio does not appear to match proposed square footage and lot size. Please verify and/or show calculation of floor to area ratio.

I have not yet received comments from outside engineering review, Public Services, or Building and Fire. These comments should be submitted to me by Thursday.

If you have any questions or wish to discuss further, please let me know.

Thanks,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



image002.jpg

7 KB

From : Adam Hall
<ad_hall@cityofalachua.org>
Subject : Re: Holiday Inn
To : Stephanie Sutton
<ssutton@edafl.com>

Wed, Dec 14, 2016 09:31 AM
📎 Holiday Inn Alachua
📎 1 attachment

Stephanie,

I am attaching the comments from Public Services. It appears that there is one issue with a manhole.

Adam Hall
City of Alachua

From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Stephanie Sutton" <ssutton@edafl.com>
Sent: Tuesday, December 13, 2016 11:04:20 AM
Subject: Holiday Inn

Stephanie,

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Thanks,

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Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

 **12_14_1609_04_28.pdf**
66 KB

From : Adam Hall

Tue, Dec 13, 2016 11:04 AM

If you have any questions or wish to discuss further, please let me know.

Thanks,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

Fwd: Holiday Inn - City of Alachua

From : Adam Hall

<ad_hall@cityofalachua.org>

Wed, Nov 30, 2016 11:04 AM

 4 attachments

Subject : Fwd: Holiday Inn - City of Alachua

To : Meagan Dickey

<mdickey@edafl.com>

Cc : Sergio Reyes <sreyes@edafl.com>,
Rodolfo Valladares

<ro_valladares@cityofalachua.org>

Meagan,

Please see clarifications from Public Services below regarding their DRT comments. Together with a previously sent email, I believe we have provided answers to all questions raised at DRT.

If that is not the case, or if you have any other questions, please let me know. Also, to let you know- I have spoken with Nate with the architecture team, but have not been contacted by anyone with Zamia. As a reminder, we are closed on Fridays.

Thank you!

Adam Hall

From: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>

To: "Adam Hall" <ad_hall@cityofalachua.org>

Sent: Wednesday, November 30, 2016 10:53:27 AM

Subject: Re: Holiday Inn - City of Alachua

Mr. Adam Hall,

Pursuant to the inquiry below, the following provides response to Comments 1 & 2.

- Comment 1. Electrical service to the proposed building. The comments indicated that the service will be done along the east property line. We requested clarification if there are service connection along NW 167th Blvd, as provided to all the other developments fronting this road, Public Services to clarify.
Response: Electrical underground service to the propose building shall be done along the east property line as noted in Public Services comment #3.
- Comment 2. Water tap(s) to serve the project for potable water, fire hydrant, fire connection and irrigation system. Comment was made the only one tap should be proposed to serve this facility. Clarification was requested if that is correct or as prior projects, individual taps were requested and approved for fire services, fire hydrant and potable and irrigation meter. Please clarify how many water taps are required to serve this project.
Response: In reference to the proposed water tap(s) to service the project, Public Services Department has no noted issues with a single tap. However, keep in mind, Engineer is responsible to provide a design in accordance with standards and codes that facilitates the requirement within their design. Engineer is responsible for their design.

Additionally, attached is the word document of Public Services' review

comments.

Regards,

Rodolfo Valladares, P.E.
Public Service Director
City of Alachua
386.418.6140



From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Sent: Wednesday, November 30, 2016 9:00:54 AM
Subject: Fwd: Holiday Inn - City of Alachua

Rodolfo, I hadn't thought of it this morning, but looking at the calendar- the deadline for eda to respond to us in order to keep them on schedule for a January planning board meeting is next Monday, December 5. I thought there might have been another week between, so they are looking to get our answers, update their plans, and resubmit back to us on Monday.

Adam H

From: "Meagan Dickey" <mdickey@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes" <sreyes@edafl.com>
Cc: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>, "Adam Boukari" <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Stephanie Sutton" <ssutton@edafl.com>, "Kathy Winburn" <ka_winburn@cityofalachua.org>
Sent: Tuesday, November 29, 2016 4:06:25 PM

Subject: RE: Holiday Inn - City of Alachua

Rodolfo,

Any update on items 1 and 2?

Thank you,

Meagan Dickey, E.I.

Project Designer

MDickey@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Wednesday, November 23, 2016 2:47 PM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Rodolfo Valladares <ro_valladares@cityofalachua.org>; Adam Boukari<aboukari@cityofalachua.com>; Randy Gibbons <rgibbons@mphhotels.com>; Meagan Dickey <mdickey@edafl.com>; Stephanie Sutton <ssutton@edafl.com>; Kathy Winburn <ka_winburn@cityofalachua.org>

Subject: Re: Holiday Inn - City of Alachua

Sergio,

Please see responses to Questions 3 and 4 below. Public Services will forward their responses when completed.

3. Location of Fire Hydrant- No tree intended to be a mitigation tree shall be planted within ten feet of a fire hydrant; trees whose roots are known to damage public utilities shall not be planted within fifteen

feet of a public utility line (Section 6.2.1 (4)(h)). Perimeter buffer, and parking lot buffer/parking lot interior landscape have no listed setbacks from utility lines or fire hydrants. For this reason, unless the trees to the north of the access road become mitigation trees then I do not see a reason why the hydrant could not be located on the north side of the access point. Public Services requires separation minimums from utility lines and trees, but perimeter buffering still would be required. Use of tree preservation credits may be useful in meeting the required buffering requirements while at the same time meeting separation from utility lines required by public services.

4. 6' Privacy fence on east side of property- The height is permitted by Section 6.3, but would not completely satisfy the requirements of Section 6.2.2(D)(2)(b)iv. A continuous row of shrubs along the eastern perimeter of the parking lot area would be required, but the fencing may be used to satisfy up to 50% of that buffer requirement. Required fencing along north property line- after discussing this issue, the proposed 6' privacy fence along the rear property line, in conjunction with all other residential protection conditions will be satisfactory.

If you have any questions, or need further clarification then please do not hesitate to contact me.

Thank you,

Adam Hall
Planner
City of Alachua

From: "Sergio Reyes" <sreyes@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>, "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Cc: "Adam Boukari" <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Meagan Dickey" <mdickey@edafl.com>, "Stephanie Sutton" <ssutton@edafl.com>
Sent: Tuesday, November 22, 2016 1:31:06 PM
Subject: Holiday Inn - City of Alachua

All:

Thanks for meeting with us yesterday for the DRT meeting.

As discussed yesterday, we still have some items that we need clarification for the resubmittal of the revised plans:

1. Electrical service to the proposed building. The comments indicated that the service will be done along the east property line. We

requested clarification if there are service connection along NW 167th Blvd, as provided to all the other developments fronting this road, Public Services to clarify.

2. Water tap(s) to serve the project for potable water, fire hydrant, fire connection and irrigation system. Comment was made the only one tap should be proposed to serve this facility. Clarification was requested if that is correct or as prior projects, individual taps were requested and approved for fire services, fire hydrant and potable and irrigation meter. Please clarify how many water taps are required to serve this project.
3. Location of the proposed Fire Hydrant; The proposed fire hydrant crosses a the driving lane (pavement). A comment was made to move the water line feeding the fire hydrant away from the pavement. Only place to located the Fire hydrant and accomplished this will be within the proposed buffer. Please clarify if this is acceptable or we will keep the fire hydrant at the current proposed location
4. Hight of the proposed fence. We are proposing a 6 ft. privacy fence along the north, east (partial) and west property lines. Please clarify is 6 ft. is acceptable or 8 ft. will be required per your comments.

Let me know if we missed any additional information that we will need to respond.

Thanks

Sergio Reyes, P.E.

President

SReyes@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



Seal.png
67 KB



image003.jpg
7 KB



image002.jpg
7 KB

 **Holiday Inn Comments.doc**
2 MB

From : Rodolfo Valladares
<ro_valladares@cityofalachua.org>

Wed, Nov 30, 2016 10:53 AM

 4 attachments

Subject : Re: Holiday Inn - City of Alachua

To : Adam Hall
<ad_hall@cityofalachua.org>

Mr. Adam Hall,

Pursuant to the inquiry below, the following provides response to Comments 1 & 2.

- Comment 1. Electrical service to the proposed building. The comments indicated that the service will be done along the east property line. We requested clarification if there are service connection along NW 167th Blvd, as provided to all the other

developments fronting this road, Public Services to clarify.

Response: Electrical underground service to the propose building shall be done along the east property line as noted in Public Services comment #3.

- Comment 2. Water tap(s) to serve the project for potable water, fire hydrant, fire connection and irrigation system. Comment was made the only one tap should be proposed to serve this facility. Clarification was requested if that is correct or as prior projects, individual taps were requested and approved for fire services, fire hydrant and potable and irrigation meter. Please clarify how many water taps are required to serve this project.

Response: In reference to the proposed water tap(s) to service the project, Public Services Department has no noted issues with a single tap. However, keep in mind, Engineer is responsible to provide a design in accordance with standards and codes that facilitates the requirement within their design. Engineer is responsible for their design.

Additionally, attached is the word document of Public Services' review comments.

Regards,

Rodolfo Valladares, P.E.
Public Service Director
City of Alachua
386.418.6140



From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Sent: Wednesday, November 30, 2016 9:00:54 AM
Subject: Fwd: Holiday Inn - City of Alachua

Rodolfo, I hadn't thought of it this morning, but looking at the calendar- the deadline for eda to respond to us in order to keep them on schedule for a January planning board meeting is next Monday, December 5. I thought there might have been another week between, so they are looking to get our answers, update their plans, and resubmit back to us on Monday.

Adam H

From: "Meagan Dickey" <mdickey@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes" <sreyes@edafl.com>
Cc: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>, "Adam Boukari@cityofalachua.com" <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Stephanie Sutton" <ssutton@edafl.com>, "Kathy Winburn" <ka_winburn@cityofalachua.org>
Sent: Tuesday, November 29, 2016 4:06:25 PM
Subject: RE: Holiday Inn - City of Alachua

Rodolfo,

Any update on items 1 and 2?

Thank you,

Meagan Dickey, E.I.

Project Designer

MDickey@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]
Sent: Wednesday, November 23, 2016 2:47 PM
To: Sergio Reyes <sreyes@edafl.com>
Cc: Rodolfo Valladares <ro_valladares@cityofalachua.org>; Adam Boukari@cityofalachua.com <aboukari@cityofalachua.com>; Randy Gibbons <rgibbons@mphhotels.com>; Meagan Dickey <mdickey@edafl.com>; Stephanie Sutton <ssutton@edafl.com>; Kathy Winburn <ka_winburn@cityofalachua.org>
Subject: Re: Holiday Inn - City of Alachua

Sergio,

Please see responses to Questions 3 and 4 below. Public Services will forward their responses when completed.

3. Location of Fire Hydrant- No tree intended to be a mitigation tree shall be planted within ten feet of a fire hydrant; trees whose roots are known to damage public utilities shall not be planted within fifteen feet of a public utility line (Section 6.2.1 (4)(h)). Perimeter buffer, and parking lot buffer/parking lot interior landscape have no listed setbacks from utility lines or fire hydrants. For this reason, unless the trees to the north of the access road become mitigation trees then I do not see a reason why the hydrant could not be located on the north side of the access point. Public Services requires separation minimums from utility lines and trees, but perimeter buffering still would be required. Use of tree preservation credits may be useful in meeting the required buffering requirements while at the same time meeting separation from utility lines required by public services.

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If you have any questions, or need further clarification then please do not hesitate to contact me.

Thank you,

Adam Hall
Planner

City of Alachua

From: "Sergio Reyes" <sreyes@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>, "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Cc: "Adam Boukari" <Boukari@cityofalachua.com> <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Meagan Dickey" <mdickey@edafl.com>, "Stephanie Sutton" <ssutton@edafl.com>
Sent: Tuesday, November 22, 2016 1:31:06 PM
Subject: Holiday Inn - City of Alachua

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Let me know if we missed any additional information that we will need to respond.

Thanks

Sergio Reyes, P.E.

President

SReyes@edafl.com

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Gainesville, FL 32606
(352) 373-3541

www.edafl.com



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image002.jpg

7 KB



Seal.png

67 KB



Holiday Inn Comments.doc

2 MB

From : Adam Hall

<ad_hall@cityofalachua.org>

Wed, Nov 30, 2016 09:00 AM

 2 attachments

Subject : Fwd: Holiday Inn - City of Alachua

To : Rodolfo Valladares

<ro_valladares@cityofalachua.org>

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To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes" <sreyes@edafl.com>

Cc: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>, "Adam Boukari@cityofalachua.com" <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Stephanie Sutton" <ssutton@edafl.com>, "Kathy Winburn" <ka_winburn@cityofalachua.org>

Sent: Tuesday, November 29, 2016 4:06:25 PM

Subject: RE: Holiday Inn - City of Alachua

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Any update on items 1 and 2?

Thank you,

50% of that buffer requirement. Required fencing along north property line- after discussing this issue, the proposed 6' privacy fence along the rear property line, in conjunction with all other residential protection conditions will be satisfactory.

If you have any questions, or need further clarification then please do not hesitate to contact me.

Thank you,

Adam Hall
Planner
City of Alachua

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To: "Adam Hall" <ad_hall@cityofalachua.org>, "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
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Sergio Reyes, P.E.

President

SReyes@edafl.com

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Gainesville, FL 32606

(352) 373-3541

www.edafl.com



image003.jpg

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image002.jpg

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From : Meagan Dickey
<mdickey@edafl.com>

Tue, Nov 29, 2016 04:06 PM

📎 2 attachments

Subject : RE: Holiday Inn - City of Alachua

To : Adam Hall
<ad_hall@cityofalachua.org>,
Sergio Reyes <sreyes@edafl.com>

Cc : Rodolfo Valladares
<ro_valladares@cityofalachua.org>,
Adam Boukari@cityofalachua.com
<aboukari@cityofalachua.com>,
Randy Gibbons
<rgibbons@mphhotels.com>,
Stephanie Sutton
<ssutton@edafl.com>, Kathy
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<ka_winburn@cityofalachua.org>

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Project Designer

MDickey@edafl.com

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]
Sent: Wednesday, November 23, 2016 2:47 PM
To: Sergio Reyes <sreyes@edafl.com>
Cc: Rodolfo Valladares <ro_valladares@cityofalachua.org>; Adam Boukari@cityofalachua.com <aboukari@cityofalachua.com>; Randy Gibbons <rgibbons@mphhotels.com>; Meagan Dickey <mdickey@edafl.com>; Stephanie Sutton <ssutton@edafl.com>; Kathy Winburn <ka_winburn@cityofalachua.org>
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If you have any questions, or need further clarification then please do not hesitate to contact me.

Thank you,

Adam Hall
Planner

City of Alachua

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To: "Adam Hall" <ad_hall@cityofalachua.org>, "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Cc: "Adam Boukari" <Boukari@cityofalachua.com> <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Meagan Dickey" <mdickey@edafl.com>, "Stephanie Sutton" <ssutton@edafl.com>
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Let me know if we missed any additional information that we will need to respond.

Thanks

Sergio Reyes, P.E.

President

SReyes@edafl.com

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(352) 373-3541

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From : Sergio Reyes <sreyes@edafl.com> Wed, Nov 23, 2016 05:29 PM
Subject : RE: Holiday Inn - City of Alachua 📎 Holiday Inn Alachua
To : Adam Hall 📎 3 attachments
<ad_hall@cityofalachua.org>

Adam:

Ok Thanks.

Happy Thanksgiving

Sergio Reyes, P.E.

President

SReyes@edafl.com

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Wednesday, November 23, 2016 5:27 PM

To: Sergio Reyes <sreyes@edafl.com>

Subject: Re: Holiday Inn - City of Alachua

Sergio,

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Thanks,
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Cc: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>, "Adam

Boukari@cityofalachua.com" <aboukari@cityofalachua.com>, "Randy Gibbons"

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Sutton" <ssutton@edafl.com>, "Kathy Winburn" <ka_winburn@cityofalachua.org>

Sent: Wednesday, November 23, 2016 3:02:31 PM

Subject: RE: Holiday Inn - City of Alachua

Adam:

Thanks for the clarification. When can we expect to have a response/clarification to questions 1 and 2?

Have a nice Thanksgiving

Sergio Reyes, P.E.

President

SReyes@edafl.com

eda engineers-surveyors-planners, inc.

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Wednesday, November 23, 2016 2:47 PM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Rodolfo Valladares <ro_valladares@cityofalachua.org>; Adam Boukari <aboukari@cityofalachua.com>; Randy Gibbons <rgibbons@mphhotels.com>; Meagan Dickey <mdickey@edafl.com>; Stephanie Sutton <ssutton@edafl.com>; Kathy Winburn <ka_winburn@cityofalachua.org>

Subject: Re: Holiday Inn - City of Alachua

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Planner
City of Alachua

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image004.jpg

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From : Adam Hall
<ad_hall@cityofalachua.org>

Wed, Nov 23, 2016 05:27 PM

Subject : Re: Holiday Inn - City of Alachua

📎 Holiday Inn Alachua

📎 2 attachments

To : Sergio Reyes <sreyes@edafl.com>

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Cc: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>, "Adam

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Sent: Wednesday, November 23, 2016 3:02:31 PM

Subject: RE: Holiday Inn - City of Alachua

Adam:

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Sent: Wednesday, November 23, 2016 2:47 PM

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image004.jpg

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Subject : RE: Holiday Inn - City of Alachua 📎 Holiday Inn Alachua
To : Adam Hall 📎 2 attachments
<ad_hall@cityofalachua.org>
Cc : Rodolfo Valladares
<ro_valladares@cityofalachua.org> ,
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Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Wednesday, November 23, 2016 2:47 PM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Rodolfo Valladares <ro_valladares@cityofalachua.org>; Adam Boukari@cityofalachua.com <aboukari@cityofalachua.com>; Randy Gibbons <rgibbons@mphhotels.com>; Meagan Dickey <mdickey@edafl.com>; Stephanie Sutton <ssutton@edafl.com>; Kathy Winburn <ka_winburn@cityofalachua.org>

Subject: Re: Holiday Inn - City of Alachua

Sergio,

Please see responses to Questions 3 and 4 below. Public Services will forward their responses when completed.

3. Location of Fire Hydrant- No tree intended to be a mitigation tree shall be planted within ten feet of a fire hydrant; trees whose roots are known to damage public utilities shall not be planted within fifteen feet of a public utility line (Section 6.2.1 (4)(h)). Perimeter buffer, and parking lot buffer/parking lot interior landscape have no listed setbacks from utility lines or fire hydrants. For this reason, unless the trees to the north of the access road become mitigation trees then I do not see a reason why the hydrant

could not be located on the north side of the access point. Public Services requires separation minimums from utility lines and trees, but perimeter buffering still would be required. Use of tree preservation credits may be useful in meeting the required buffering requirements while at the same time meeting separation from utility lines required by public services.

4. 6' Privacy fence on east side of property- The height is permitted by Section 6.3, but would not completely satisfy the requirements of Section 6.2.2(D)(2)(b)iv. A continuous row of shrubs along the eastern perimeter of the parking lot area would be required, but the fencing may be used to satisfy up to 50% of that buffer requirement. Required fencing along north property line- after discussing this issue, the proposed 6' privacy fence along the rear property line, in conjunction with all other residential protection conditions will be satisfactory.

If you have any questions, or need further clarification then please do not hesitate to contact me.

Thank you,

Adam Hall
Planner
City of Alachua

From: "Sergio Reyes" <sreyes@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>, "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Cc: "Adam Boukari" <Boukari@cityofalachua.com> <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Meagan Dickey" <mdickey@edafl.com>, "Stephanie Sutton" <ssutton@edafl.com>
Sent: Tuesday, November 22, 2016 1:31:06 PM
Subject: Holiday Inn - City of Alachua

All:

Thanks for meeting with us yesterday for the DRT meeting.

As discussed yesterday, we still have some items that we need clarification for the resubmittal of the revised plans:

1. Electrical service to the proposed building. The comments indicated that the service will be done along the east property line. We requested clarification if there are service connection along NW 167th Blvd, as provided to all the other developments fronting this

road, Public Services to clarify.

2. Water tap(s) to serve the project for potable water, fire hydrant, fire connection and irrigation system. Comment was made the only one tap should be proposed to serve this facility. Clarification was requested if that is correct or as prior projects, individual taps were requested and approved for fire services, fire hydrant and potable and irrigation meter. Please clarify how many water taps are required to serve this project.
3. Location of the proposed Fire Hydrant; The proposed fire hydrant crosses a the driving lane (pavement). A comment was made to move the water line feeding the fire hydrant away from the pavement. Only place to located the Fire hydrant and accomplished this will be within the proposed buffer. Please clarify if this is acceptable or we will keep the fire hydrant at the current proposed location
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Let me know if we missed any additional information that we will need to respond.

Thanks

Sergio Reyes, P.E.

President

SReyes@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com





image004.jpg

7 KB



image002.jpg

7 KB

From : Adam Hall

<ad_hall@cityofalachua.org>

Wed, Nov 23, 2016 02:46 PM

📌 Holiday Inn Alachua

Subject : Re: Holiday Inn - City of Alachua

📎 1 attachment

To : Sergio Reyes <sreyes@edafl.com>

Cc : Rodolfo Valladares

<ro_valladares@cityofalachua.org> ,

Adam Boukari@cityofalachua.com

<aboukari@cityofalachua.com> ,

Randy Gibbons

<rgibbons@mphhotels.com> ,

Meagan Dickey

<mdickey@edafl.com> , Stephanie

Sutton <ssutton@edafl.com> ,

Kathy Winburn

<ka_winburn@cityofalachua.org>

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Planner
City of Alachua

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To: "Adam Hall" <ad_hall@cityofalachua.org>, "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Cc: "Adam Boukari@cityofalachua.com" <aboukari@cityofalachua.com>, "Randy Gibbons" <rgibbons@mphhotels.com>, "Meagan Dickey" <mdickey@edafl.com>, "Stephanie Sutton" <ssutton@edafl.com>
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President

SReyes@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



image002.jpg

7 KB

From : Sergio Reyes <sreyes@edafl.com> Tue, Nov 22, 2016 01:31 PM
Subject : Holiday Inn - City of Alachua 📎 Holiday Inn Alachua
To : Adam Hall 📎 1 attachment
<ad_hall@cityofalachua.org>,
Rodolfo Valladares
<ro_valladares@cityofalachua.org>
Cc : Adam Boukari@cityofalachua.com
<aboukari@cityofalachua.com>,
Randy Gibbons
<rgibbons@mphhotels.com>,
Meagan Dickey
<mdickey@edafl.com>,
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President

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Gainesville, FL 32606

(352) 373-3541

www.edafl.com



image002.jpg

7 KB

FW: Holiday Inn Site Plan Review Comments

From : Kathy Winburn
<kwinburn@cityofalachua.org>

Wed, Nov 16, 2016 03:35 PM

Subject : FW: Holiday Inn Site Plan Review
Comments

📎 Holiday Inn Alachua

📎 1 attachment

To : ad hall
<ad_hall@cityofalachua.org>

Laurie Thomas
Office Administrator



www.JBProGroup.com

3530 NW 43rd Street · Gainesville, FL 32606
Office: (352) 375-8999 · Fax: (352) 375-0833

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, December 06, 2016 2:44 PM

To: A. J. 'Jay' Brown, Jr., PE

Cc: Laurie Thomas

Subject: Re: Outside Review for Holiday Inn Site Plan

Mr Brown,

Please find attached a memo requesting your services in providing outside review for a revised site plan application the City has received. This is the resubmission for the Holiday Inn Site Plan proposed in the City of Alachua.

If acceptable, the plans will be at the Building Department counter to be picked up at your convenience.

If you have any questions, or need anything else, please let me know.

Thank you,

Adam Hall
City of Alachua

From: "jay brown" <jay.brown@jbprogroup.com>

To: "Adam Hall" <ad_hall@cityofalachua.org>

Sent: Tuesday, November 15, 2016 4:18:41 PM

Subject: RE: Outside Review for Holiday Inn Site Plan

Adam,
Please find attached my letter with review comments for the Holiday Inn project. Call me any time if you have any questions.
Jay

A. J. "Jay" Brown, Jr., P.E.
President



www.JBProGroup.com

3530 NW 43rd Street · Gainesville, FL 32606
Office: (352) 375-8999 x102 · Fax: (352) 375-0833 · Mobile: (352) 318-9462

"Our services now include surveying. Please contact us for all of your surveying needs!"

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Monday, November 07, 2016 12:06 PM

To: Laurie Thomas

Cc: A. J. 'Jay' Brown, Jr., PE

Subject: Re: Outside Review for Holiday Inn Site Plan

Hi Laurie,

We are open until 6 PM today and open again at 7:30 tomorrow morning. We are closed Thursday and Friday of this week.

Thank you,

Adam H

From: "Laurie Thomas" <laurie.thomas@jbprogroup.com>

To: "jay brown" <jay.brown@jbprogroup.com>, "Adam Hall" <ad_hall@cityofalachua.org>

Sent: Monday, November 7, 2016 11:39:55 AM

Subject: RE: Outside Review for Holiday Inn Site Plan

Adam,

What are the hours of operation? I will pick them up either this afternoon or in the morning.

Thanks,

Laurie Thomas
Office Administrator

www.JBProGroup.com

3530 NW 43rd Street · Gainesville, FL 32606
Office: (352) 375-8999 · Fax: (352) 375-0833

From: A. J. 'Jay' Brown, Jr., PE

Sent: Monday, November 07, 2016 11:34 AM
To: Adam Hall
Cc: Laurie Thomas
Subject: Re: Outside Review for Holiday Inn Site Plan

Sure thing Adam. We will pick them up today it first thing in the morning.

Thank you,
Jay

Sent from my iPhone

On Nov 7, 2016, at 11:15 AM, Adam Hall <ad_hall@cityofalachua.org> wrote:

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Thank you,

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Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125

<Holiday Inn Site Plan Review Memo - J Brown.pdf>



image001.jpg
10 KB



image002.png

34 KB

From : Adam Hall

<ad_hall@cityofalachua.org>

Tue, Dec 06, 2016 02:39 PM

1 attachment

Subject : Re: Outside Review for Holiday Inn
Site Plan**To :** jay brown

<jay.brown@jbprogroup.com>

Cc : Laurie Thomas

<laurie.thomas@jbprogroup.com>

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City of Alachua

From: "jay brown" <jay.brown@jbprogroup.com>**To:** "Adam Hall" <ad_hall@cityofalachua.org>**Sent:** Tuesday, November 15, 2016 4:18:41 PM**Subject:** RE: Outside Review for Holiday Inn Site Plan

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3530 NW 43rd Street · Gainesville, FL 32606
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"Our services now include surveying. Please contact us for all of your surveying needs!"

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Thank you,

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Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

<Holiday Inn Site Plan Review Memo - J Brown.pdf>



From : A. J. 'Jay' Brown, Jr., PE

Tue, Nov 15, 2016 04:18 PM

<jay.brown@jbprogroup.com>

✉ Holiday Inn Alachua

Subject : RE: Outside Review for Holiday Inn
Site Plan

📎 2 attachments

To : Adam Hall

<ad_hall@cityofalachua.org>

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President



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<Holiday Inn Site Plan Review Memo - J Brown.pdf>



image003.png
34 KB

JBPro - Review Comment Letter - Holiday Inn 11-15-16.pdf
220 KB

From : Laurie Thomas

Mon, Nov 07, 2016 12:11 PM

<laurie.thomas@jbprogroup.com>

Holiday Inn Alachua

Subject : RE: Outside Review for Holiday Inn
Site Plan

1 attachment

To : Adam Hall

<ad_hall@cityofalachua.org>

Thanks Adam. I will swing by in the morning after I drop my daughter off at Irby.

Thanks,

Laurie Thomas
Office Administrator



www.JBProGroup.com

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Office: (352) 375-8999 · Fax: (352) 375-0833

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<Holiday Inn Site Plan Review Memo - J Brown.pdf>



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<ad_hall@cityofalachua.org>

Mon, Nov 07, 2016 12:01 PM

📎 Holiday Inn Alachua

Subject : Re: Outside Review for Holiday Inn
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<laurie.thomas@jbprogroup.com>

Cc : jay brown
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Sent: Monday, November 7, 2016 11:39:55 AM

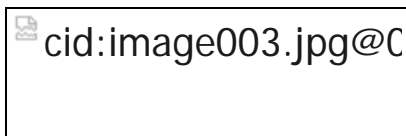
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Adam H

From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Brian Green" <bgreen@alachuacounty.us>, "William P. Whitelock" <wi_whitelock@cityofalachua.org>
Sent: Monday, November 7, 2016 1:51:09 PM
Subject: Electronic Application for Site Plan for Holiday Inn Alachua

Brian and Bill,

Please find a link to an electronic version of plans for the Holiday Inn Alachua site plan application here: <http://cloud.cityofalachua.org/index.php/s/jOownUXgLCogut2>. Please submit any comments by Wednesday, November 16, 2016 at 5 PM. The Staff DRT is schedule for Thursday, November 17, 2016 at 2 PM. The applicant DRT is scheduled for Monday, November 21, 2016 at 2 PM.

Bill, the application can also be found on our shared drive at: X:\Planning and Community Development\Planning Division\Development Applications\Site Plans\Holiday Inn\Submittals\2016_10_31 .

If you have any questions or need more information, please let me know.

Thank you,

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Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125

From : Brian Green
<bgreen@AlachuaCounty.US>
Subject : RE: Electronic Application for Site Plan for Holiday Inn Alachua
To : Adam Hall
<ad_hall@cityofalachua.org>

Tue, Nov 15, 2016 02:26 PM
📎 Holiday Inn Alachua

Adam,

The flow test was done along US 441 at a much lower elevation than where the hotel will be. A new flow test shall be done from a fire hydrant closer to the hotel.

Brian Green

Alachua County Fire Rescue

Life Safety / Internal Affairs Branch

352-384-3103 office

352-494-3140 cell

352-384-3157 fax

BGREEN@ALACHUACOUNTY.US

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, November 15, 2016 2:11 PM

To: Brian Green

Subject: Fwd: Electronic Application for Site Plan for Holiday Inn Alachua

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--

Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125

From : Adam Hall

<ad_hall@cityofalachua.org>

Tue, Nov 15, 2016 02:10 PM

📌 Holiday Inn Alachua

Subject : Fwd: Electronic Application for Site
Plan for Holiday Inn Alachua

To : Brian Green

<bgreen@alachuacounty.us>

Brian,

I wanted to confirm that you had received this. If comments have been submitted to me, I have not received them yet. The Staff DRT is scheduled for this Thursday, November 17, 2016.

Adam H

From: "Adam Hall" <ad_hall@cityofalachua.org>

To: "Brian Green" <bgreen@alachuacounty.us>, "William P. Whitelock" <wi_whitelock@cityofalachua.org>

Sent: Monday, November 7, 2016 1:51:09 PM

Subject: Electronic Application for Site Plan for Holiday Inn Alachua

Brian and Bill,

Please find a link to an electronic version of plans for the Holiday Inn Alachua site plan application here: <http://cloud.cityofalachua.org/index.php/s/jOownUXgLCogut2>. Please submit any comments by Wednesday, November 16, 2016 at 5 PM. The Staff DRT is schedule for

and Community Development\Planning Division\Development Applications\Site Plans\Holiday Inn\Submittals\2016_10_31 .

If you have any questions or need more information, please let me know.

Thank you,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

Accept: DRT (Applicant)

From : Rodolfo Valladares

<ro_valladares@cityofalachua.org>

Wed, Nov 09, 2016 03:39 PM

 Holiday Inn Alachua

Subject : Accept: DRT (Applicant)

 1 attachment

To : ad hall

<ad_hall@cityofalachua.org>

Subject: DRT (Applicant)

Organizer: ad_hall@cityofalachua.org

Location: Swick House - Conference Room 1

Time: Monday, November 21, 2016, 2:00:00 PM - 3:30:00 PM GMT
-05:00 US/Canada Eastern

ad_boukari@cityofalachua.org;

tr_gresham@cityofalachua.org; marian@robertarushpa.com;


Invitees: ro_valladares@cityofalachua.org; ju_tabor@cityofalachua.org;


bgreen@alachuacounty.us; wi_whitelock@cityofalachua.org;



ka_winburn@cityofalachua.org

* ~ * ~ * ~ * ~ * ~ * ~ * ~ * ~ *

Yes, I will attend.

 **meeting.ics**
2 KB

From : Marian Rush
<marian@robertarushpa.com>
Subject : Accepted: DRT (Applicant)
To : Adam Hall
<ad_hall@cityofalachua.org>
Tue, Nov 08, 2016 10:28 AM
 Holiday Inn Alachua

From : Adam Boukari
<aboukari@cityofalachua.org>
Subject : Accept: DRT (Applicant)
To : ad hall
<ad_hall@cityofalachua.org>
Tue, Nov 08, 2016 08:35 AM
 Holiday Inn Alachua
 1 attachment

Subject: DRT (Applicant)
Organizer: ad_hall@cityofalachua.org

Location: Swick House - Conference Room 1

Time: Monday, November 21, 2016, 2:00:00 PM - 3:30:00 PM GMT
-05:00 US/Canada Eastern

ad_boukari@cityofalachua.org;
Invitees: tr_gresham@cityofalachua.org; marian@robertarushpa.com;
ro_valladares@cityofalachua.org; ju_tabor@cityofalachua.org;



bgreen@alachuacounty.us; wi_whitelock@cityofalachua.org;
ka_winburn@cityofalachua.org

* ~ * ~ * ~ * ~ * ~ * ~ * ~ * ~ *

Yes, I will attend.

 **meeting.ics**
2 KB

From : Justin Tabor
<jtabor@cityofalachua.org>
Subject : Accept: DRT (Applicant)
To : ad hall
<ad_hall@cityofalachua.org>

Tue, Nov 08, 2016 08:31 AM
 Holiday Inn Alachua
 1 attachment

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Location: Swick House - Conference Room 1

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bgreen@alachuacounty.us; wi_whitelock@cityofalachua.org;
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* ~ * ~ * ~ * ~ * ~ * ~ * ~ * ~ *

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2 KB

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<ad_hall@cityofalachua.org>

Tue, Nov 08, 2016 08:28 AM

 Holiday Inn Alachua

Subject : DRT (Applicant)

 1 attachment

To : Adam Boukari
<ad_boukari@cityofalachua.org>,
Traci Gresham
<tr_gresham@cityofalachua.org>,
Marian Rush
<marian@robertarushpa.com>,
Rodolfo Valladares
<ro_valladares@cityofalachua.org>,
Justin Tabor
<ju_tabor@cityofalachua.org>,
Brian Green
<bgreen@alachuacounty.us>,
William P. Whitelock
<wi_whitelock@cityofalachua.org>,
Kathy Winburn
<ka_winburn@cityofalachua.org>

The following is a new meeting request:

Subject: DRT (Applicant)

Organizer: "Adam Hall" <ad_hall@cityofalachua.org>

Location: Swick House - Conference Room 1

Time: Monday, November 21, 2016, 2:00:00 PM - 3:30:00

PM GMT -05:00 US/Canada Eastern

Invitees: ad_boukari@cityofalachua.org;

tr_gresham@cityofalachua.org; marian@robertarushpa.com;
ro_valladares@cityofalachua.org;
ju_tabor@cityofalachua.org; bgreen@alachuacounty.us;
wi_whitelock@cityofalachua.org;
ka_winburn@cityofalachua.org

~~*~*~*~*~*~*~*~*

 **meeting.ics**
2 KB

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Wed, Nov 09, 2016 03:37 PM

 Holiday Inn Alachua

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 1 attachment

To : ad hall
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Subject: DRT (Staff): Holiday Inn

Organizer: ad_hall@cityofalachua.org

Location: Planning Conference Room


Time: Thursday, November 17, 2016, 2:00:00 PM - 3:00:00 PM GMT
-05:00 US/Canada Eastern

Invitees: ad_boukari@cityofalachua.org;
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ju_tabor@cityofalachua.org; ka_winburn@cityofalachua.org;
wi_whitelock@cityofalachua.org; bgreen@alachuacounty.us;
ro_valladares@cityofalachua.org;

je_meetoo@cityofalachua.org

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ro_valladares@cityofalachua.org;
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 **meeting.ics**
2 KB

From : Justin Tabor
<jtabor@cityofalachua.org>
Subject : Accept: DRT (Staff): Holiday Inn
To : ad hall
<ad_hall@cityofalachua.org>

Mon, Nov 07, 2016 04:57 PM
📎 Holiday Inn Alachua
📎 1 attachment

Subject: DRT (Staff): Holiday Inn
Organizer: ad_hall@cityofalachua.org


Location: Planning Conference Room


Time: Thursday, November 17, 2016, 2:00:00 PM - 3:00:00 PM GMT
-05:00 US/Canada Eastern

Invitees: ad_boukari@cityofalachua.org;
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ro_valladares@cityofalachua.org;
je_meetoo@cityofalachua.org



* ~ * ~ * ~ * ~ * ~ * ~ * ~ * ~ *

Yes, I will attend.

 **meeting.ics**
2 KB

 **meeting.ics**
3 KB

Holiday In - City of Alachua

From : Sergio Reyes <sreyes@edafl.com> Tue, Nov 08, 2016 03:55 PM
Subject : Holiday In - City of Alachua  Holiday Inn Alachua
To : Rodolfo Valladares  5 attachments
<ro_valladares@cityofalachua.org>
Cc : Adam Hall
<ad_hall@cityofalachua.org> ,
Stephanie Sutton
<ssutton@edafl.com> , 'Adam
Boukari'
<aboukari@cityofalachua.org>

Rodolfo:

We have been ask to provide a letter from the Public Services department (see attached) indicating that the city can provide the flow required for this project. As part of our submittal and after meeting with the city staff, we provided the information required for what this project will need for potable water and fire protection (see attached).

We will appreciate your help with this letter. Let us know if you need anything else.

Thanks

Sergio Reyes, P.E.

President

SReyes@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



image002.jpg

7 KB

Application Acceptance Letter - November 3, 2016.pdf

84 KB

Fire Flow Test.pdf

114 KB

Fire System Letter.pdf

145 KB

Holiday Inn Water Calculations.pdf

1 MB

RE: Completeness Review Letter for Holiday Inn Site Plan Application

From : Stephanie Sutton
<ssutton@edafl.com>

Tue, Nov 08, 2016 01:05 PM

Subject : RE: Completeness Review Letter for
Holiday Inn Site Plan Application

Holiday Inn Alachua

1 attachment

To : Adam Hall
<ad_hall@cityofalachua.org>

OK- thank you. Please let me know when the location is confirmed. We'll plan on the Swick House for now.

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, November 8, 2016 12:51 PM

To: Stephanie Sutton <ssutton@edafl.com>

Subject: Re: Completeness Review Letter for Holiday Inn Site Plan Application

Stephanie, we have scheduled the DRT for the 21st at 2 PM. It will more than likely be in the Swick House.

We will provide comments at the meeting as they may not be final until the day before.

Adam H

From: "Stephanie Sutton" <ssutton@edafl.com>

To: "Adam Hall" <ad_hall@cityofalachua.org>

Cc: "Sergio Reyes" <sreyes@edafl.com>, "Melissa Watson" <mwatson@edafl.com>

Sent: Monday, November 7, 2016 8:08:36 AM

Subject: RE: Completeness Review Letter for Holiday Inn Site Plan Application

Great. Melissa from our office will come up this morning to put everything together. Can you let us know what time would be best?

We are available anytime on the 21st for DRT. Can we get the comments ahead of the meeting?

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

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Gainesville, FL 32606

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www.edafl.com

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Monday, November 7, 2016 7:36 AM

To: Stephanie Sutton <ssutton@edafl.com>

Cc: Sergio Reyes <sreyes@edafl.com>; Melissa Watson <mwatson@edafl.com>

Subject: Re: Completeness Review Letter for Holiday Inn Site Plan Application

Stephanie,

Yes, all the materials are available here. If you give me some heads up the person could use our conference room.

As for the date, we can do the 21st or 22nd the next week, but this reduces the amount of time you all have to address any DRT comments and resubmit (resubmittal deadline is December 5th in order to get on the January PZB agenda).

Adam Hall

From: "Stephanie Sutton" <ssutton@edafl.com>

To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes" <sreyes@edafl.com>

Cc: "Melissa Watson" <mwatson@edafl.com>

Sent: Friday, November 4, 2016 11:51:46 AM

Subject: RE: Completeness Review Letter for Holiday Inn Site Plan Application

Adam,

What other days/times are available for a DRT meeting? We have a conflict on 11/17.

Do you have all of the materials at your office and could we just send someone up to combine them into the appropriate package of materials?

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

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www.edafl.com

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Thursday, November 3, 2016 10:46 AM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Stephanie Sutton <ssutton@edafl.com>

Subject: Completeness Review Letter for Holiday Inn Site Plan Application

Sergio,

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Will November 17, 2016 at 2 PM work for a DRT meeting?

Also, we will need to have the resubmitted application materials and original application combined by 12 PM on Monday so that we can distribute complete and updated proposed site plans to all DRT members.

Thank you!

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Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



image002.jpg

7 KB

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<ad_hall@cityofalachua.org>

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📎 Holiday Inn Alachua

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(003)

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Cc: Sergio Reyes <sreyes@edafl.com>; Melissa Watson <mwatson@edafl.com>

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Thank you!

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Cc : Sergio Reyes <sreyes@edafl.com>,
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Mon, Nov 07, 2016 01:34 PM
📎 Holiday Inn Alachua
📎 4 attachments

Thank you!

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To: "Adam Hall" <ad_hall@cityofalachua.org>
Cc: "Sergio Reyes" <sreyes@edafl.com>, "Melissa Watson"
<mwatson@edafl.com>
Sent: Monday, November 7, 2016 1:32:11 PM
Subject: RE: Completeness Review Letter for Holiday Inn Site Plan

Application

Yes- Adam, please visit edafl.com and click on ftp at the top right.

Username: holiday

Password: inn

There is a folder with today's date with all of the materials.

Stephanie

Stephanie Sutton

Project Manager

[SSutton@edafl.com](mailto:ssutton@edafl.com)

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Cc: Sergio Reyes <sreyes@edafl.com>; Melissa Watson <mwatson@edafl.com>

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To: "Adam Hall" <ad_hall@cityofalachua.org>

Cc: "Sergio Reyes" <sreyes@edafl.com>, "Melissa Watson" <mwatson@edafl.com>

Sent: Monday, November 7, 2016 8:52:19 AM

Subject: RE: Completeness Review Letter for Holiday Inn Site Plan Application

OK- she's headed your way now!

Stephanie Sutton
Project Manager

SSutton@edafl.com

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Monday, November 7, 2016 8:26 AM

To: Stephanie Sutton <ssutton@edafl.com>

Cc: Sergio Reyes <sreyes@edafl.com>; Melissa Watson <mwatson@edafl.com>

Subject: Re: Completeness Review Letter for Holiday Inn Site Plan Application

Anytime, 9 AM to 11 AM.

Adam H

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image002.jpg

7 KB



image003.jpg

7 KB



image004.jpg

7 KB

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📎 Holiday Inn Alachua

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📎 4 attachments

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We are available anytime on the 21st for DRT. Can we get the comments ahead of the meeting?

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street
Gainesville, FL 32606
(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Monday, November 7, 2016 7:36 AM

To: Stephanie Sutton <ssutton@edafl.com>

Cc: Sergio Reyes <sreyes@edafl.com>; Melissa Watson <mwatson@edafl.com>

Subject: Re: Completeness Review Letter for Holiday Inn Site Plan Application

Stephanie,

Yes, all the materials are available here. If you give me some heads up the person could use our conference room.

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Adam Hall

From: "Stephanie Sutton" <ssutton@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes" <sreyes@edafl.com>
Cc: "Melissa Watson" <mwatson@edafl.com>
Sent: Friday, November 4, 2016 11:51:46 AM
Subject: RE: Completeness Review Letter for Holiday Inn Site Plan Application

Adam,

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Sent: Thursday, November 3, 2016 10:46 AM
To: Sergio Reyes <sreyes@edafl.com>
Cc: Stephanie Sutton <ssutton@edafl.com>
Subject: Completeness Review Letter for Holiday Inn Site Plan Application

Sergio,

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Will November 17, 2016 at 2 PM work for a DRT meeting?

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Thank you!

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Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



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From : Adam Hall

<ad_hall@cityofalachua.org>

Mon, Nov 07, 2016 11:20 AM

Holiday Inn Alachua

Subject : Re: Completeness Review Letter for
Holiday Inn Site Plan Application

3 attachments

To : Stephanie Sutton

<ssutton@edafl.com>

Cc : Sergio Reyes <sreyes@edafl.com>,
Melissa Watson
<mwatson@edafl.com>

Stephanie,

Can you also ftp me a complete and updated application package digitally?

Thank you!

Adam H

From: "Stephanie Sutton" <ssutton@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>
Cc: "Sergio Reyes" <sreyes@edafl.com>, "Melissa Watson" <mwatson@edafl.com>
Sent: Monday, November 7, 2016 8:52:19 AM
Subject: RE: Completeness Review Letter for Holiday Inn Site Plan Application

OK- she's headed your way now!

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Monday, November 7, 2016 8:26 AM

To: Stephanie Sutton <ssutton@edafl.com>
Cc: Sergio Reyes <sreyes@edafl.com>; Melissa Watson <mwatson@edafl.com>
Subject: Re: Completeness Review Letter for Holiday Inn Site Plan Application

Anytime, 9 AM to 11 AM.

Adam H

From: "Stephanie Sutton" <ssutton@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>
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Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



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From : Stephanie Sutton
<ssutton@edafl.com>

Mon, Nov 07, 2016 08:52 AM

Subject : RE: Completeness Review Letter for
Holiday Inn Site Plan Application

📎 Holiday Inn Alachua

📎 3 attachments

To : Adam Hall
<ad_hall@cityofalachua.org>

Cc : Sergio Reyes <sreyes@edafl.com>,
Melissa Watson
<mwatson@edafl.com>

OK- she's headed your way now!

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Project Manager

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From : Adam Hall
<ad_hall@cityofalachua.org>

Mon, Nov 07, 2016 08:25 AM

📎 Holiday Inn Alachua

Subject : Re: Completeness Review Letter for
Holiday Inn Site Plan Application

📎 2 attachments

To : Stephanie Sutton
<ssutton@edafl.com>

Cc : Sergio Reyes <sreyes@edafl.com>,
Melissa Watson
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Anytime, 9 AM to 11 AM.

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To: "Adam Hall" <ad_hall@cityofalachua.org>

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Subject: RE: Completeness Review Letter for Holiday Inn Site Plan
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From : Stephanie Sutton
<ssutton@edafl.com>

Mon, Nov 07, 2016 08:08 AM

📌 Holiday Inn Alachua

Subject : RE: Completeness Review Letter for
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📎 2 attachments

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To: "Adam Hall" <ad_hall@cityofalachua.org>, "Sergio Reyes" <sreyes@edafl.com>

Cc: "Melissa Watson" <mwatson@edafl.com>

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Sent: Thursday, November 3, 2016 10:46 AM

To: Sergio Reyes <sreyes@edafl.com>

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City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



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From : Adam Hall

<ad_hall@cityofalachua.org>

Mon, Nov 07, 2016 07:36 AM

Holiday Inn Alachua

Subject : Re: Completeness Review Letter for
Holiday Inn Site Plan Application

1 attachment

To : Stephanie Sutton
<ssutton@edafl.com>

Cc : Sergio Reyes <sreyes@edafl.com>,
Melissa Watson
<mwatson@edafl.com>

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Sent: Thursday, November 3, 2016 10:46 AM

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Cc: Stephanie Sutton <ssutton@edafl.com>

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From : Stephanie Sutton
<ssutton@edafl.com>

Fri, Nov 04, 2016 11:51 AM

📎 Holiday Inn Alachua

Subject : RE: Completeness Review Letter for
Holiday Inn Site Plan Application

📎 1 attachment

To : Adam Hall
<ad_hall@cityofalachua.org>, Sergio
Reyes <sreyes@edafl.com>

Cc : Melissa Watson
<mwatson@edafl.com>

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Thursday, November 3, 2016 10:46 AM

To: Sergio Reyes <sreyes@edafl.com>

Cc: Stephanie Sutton <ssutton@edafl.com>

Subject: Completeness Review Letter for Holiday Inn Site Plan Application

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City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



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Re: Table and Room Reservation

From : Kimberly Vermillion
<kvermillion@cityofalachua.org>

Mon, Nov 07, 2016 03:00 PM

📌 Holiday Inn Alachua

Subject : Re: Table and Room Reservation

To : Adam Hall
<ad_hall@cityofalachua.org>

Adam,

I put you down for the Swick House for November 21st from 1:30 to 3:30 for Conference Room 1.

Kimberly Vermillion
Event Coordinator
P.O. Box 9
Alachua, FL 32616-0009
(386) 418-6157 ext. 186

From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Kimberly Vermillion" <kvermillion@cityofalachua.org>

Sent: Monday, November 7, 2016 2:35:42 PM

Subject: Table and Room Reservation

Hi Kim,

I dropped off the table in front of the Swick House (entrance to large room). Thank you!

Also, are there are spaces that could accommodate up to 20 people on Monday, the 21st, from about 1:30 PM to 3:30 PM ? We might have a large meeting (or there may only be 4 people), and it looks like the Duke conference center is not available.

Adam H

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

From : Adam Hall
<ad_hall@cityofalachua.org>

Mon, Nov 07, 2016 02:35 PM

 Holiday Inn Alachua

Subject : Table and Room Reservation

To : Kimberly Vermillion
<kvermillion@cityofalachua.org>

Hi Kim,

I dropped off the table in front of the Swick House (entrance to large room). Thank you!

Also, are there are spaces that could accommodate up to 20 people on Monday, the 21st, from about 1:30 PM to 3:30 PM ? We might have a



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City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct:
386.418.6125

RE: ERP permit application for Holiday Inn

From : Sergio Reyes <sreyes@edafl.com> Wed, Nov 02, 2016 07:44 PM
Subject : RE: ERP permit application for Holiday Inn  Holiday Inn Alachua
 2 attachments
To : Adam Hall
<ad_hall@cityofalachua.org>,
Stephanie Sutton
<ssutton@edafl.com>
Cc : Meagan Dickey
<mdickey@edafl.com>

Adam:

No design changes at this time

Sergio Reyes, P.E.

President

SReyes@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com



From: Adam Hall [mailto:ad_hall@cityofalachua.org]
Sent: Wednesday, November 2, 2016 2:48 PM
To: Stephanie Sutton <ssutton@edafl.com>
Cc: Sergio Reyes <sreyes@edafl.com>; Meagan Dickey
<mdickey@edafl.com>
Subject: Re: ERP permit application for Holiday Inn

Unless, the proposed design is going to change then we can wait until resubmittal.

Thank you,

Adam Hall
City of Alachua

From: "Stephanie Sutton" <ssutton@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>
Cc: "Sergio Reyes" <sreyes@edafl.com>, "Meagan Dickey" <mdickey@edafl.com>
Sent: Wednesday, November 2, 2016 8:20:26 AM
Subject: ERP permit application for Holiday Inn

Good morning Adam,

We had initially submitted a 10-2 application for the Holiday Inn, but the WMD asked us to complete a full application for the site since it was part of an existing permit. Please see attached.

Would you like us to bring you hard copies for the application package now or wait until the next resubmittal?

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

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Gainesville, FL 32606

(352) 373-3541

www.edafl.com



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From : Adam Hall

<ad_hall@cityofalachua.org>

Wed, Nov 02, 2016 02:47 PM

📌 Holiday Inn Alachua

Subject : Re: ERP permit application for
Holiday Inn

📎 1 attachment

To : Stephanie Sutton

<ssutton@edafl.com>

Cc : Sergio Reyes <sreyes@edafl.com> ,

Meagan Dickey

<mdickey@edafl.com>

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To: "Adam Hall" <ad_hall@cityofalachua.org>
Cc: "Sergio Reyes" <sreyes@edafl.com>, "Meagan Dickey" <mdickey@edafl.com>
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Subject: ERP permit application for Holiday Inn

Good morning Adam,

We had initially submitted a 10-2 application for the Holiday Inn, but the WMD asked us to complete a full application for the site since it was part of an existing permit. Please see attached.

Would you like us to bring you hard copies for the application package now or wait until the next resubmittal?

Stephanie

Stephanie Sutton
Project Manager

SSutton@edafl.com

eda engineers-surveyors-planners, inc.

2404 NW 43rd Street

Gainesville, FL 32606

(352) 373-3541

www.edafl.com





image003.jpg

7 KB

From : Stephanie Sutton
<ssutton@edafl.com>

Wed, Nov 02, 2016 08:20 AM

📎 Holiday Inn Alachua

Subject : ERP permit application for Holiday Inn

📎 2 attachments

To : Adam Hall
<ad_hall@cityofalachua.org>

Cc : Sergio Reyes <sreyes@edafl.com>,
Meagan Dickey
<mdickey@edafl.com>

Good morning Adam,

We had initially submitted a 10-2 application for the Holiday Inn, but the WMD asked us to complete a full application for the site since it was part of an existing permit. Please see attached.

Would you like us to bring you hard copies for the application package now or wait until the next resubmittal?

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7 KB



SRWMD_ERPApplication_HolidayInnAlachua.pdf

453 KB

Holiday Inn - Letter request to address insufficiency

From : Stephanie Sutton
<ssutton@edafl.com>

Wed, Oct 26, 2016 08:25 AM

Holiday Inn Alachua

Subject : Holiday Inn - Letter request to
address insufficiency

2 attachments

To : Scott Roane
<sroane@cityofalachua.org>

Cc : Harry Dillard
<hdillard@cityofalachua.org>,
Adam Hall
<ad_hall@cityofalachua.org>,
Sergio Reyes <sreyes@edafl.com>

Good morning Scott,

I would like to request a letter from you to respond to insufficiency comment #6 for the Holiday Inn project. The developer, Randy Gibbons of MPH Hotels, has spoken with the city about getting a letter indicating the time that water is projected to be available from the new water main extension to avoid having to install a tank.

I have attached our water meter calculations.

6. **Required Attachment 3:** Fire Department Access and Water Supply Plan.

Action Needed to Address Deficiency: Please provide documentation from the local water purveyor (City of Alachua Public Services) verifying required flow can be provided at proposed development site.

Please let me know if you have any questions.

Stephanie

Stephanie Sutton

Project Manager

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image003.jpg

9 KB



Holiday Inn Water Calculations.pdf

1 MB

Accept: Planning Items - Completeness Review Comments Meeting

From : Justin Tabor

<jtabor@cityofalachua.org>

Thu, Oct 20, 2016 04:39 PM

Holiday Inn Alachua

Subject : Accept: Planning Items -
Completeness Review Comments
Meeting

1 attachment

To : ad hall <ad_hall@cityofalachua.org>

Subject: Planning Items - Completeness Review Comments Meeting

Organizer: ad_hall@cityofalachua.org

Location: City Manager's Conference Room

Time: Thursday, October 27, 2016, 10:00:00 AM - 11:30:00 AM
GMT -05:00 US/Canada Eastern

Invitees: ad_boukari@cityofalachua.org; ju_tabor@cityofalachua.org;
ka_winburn@cityofalachua.org;
wi_whitelock@cityofalachua.org

* ~ * ~ * ~ * ~ * ~ * ~ * ~ * ~ *

Yes, I will attend.

 **meeting.ics**
2 KB

From : Adam Boukari
<aboukari@cityofalachua.org>

Thu, Oct 20, 2016 03:58 PM

 Holiday Inn Alachua

Subject : Accept: Planning Items -
Completeness Review Comments
Meeting

 1 attachment

To : ad hall <ad_hall@cityofalachua.org>

Subject: Planning Items - Completeness Review Comments Meeting

Organizer: ad_hall@cityofalachua.org

Location: City Manager's Conference Room

Time: Thursday, October 27, 2016, 10:00:00 AM - 11:30:00 AM
GMT -05:00 US/Canada Eastern

Invitees: ad_boukari@cityofalachua.org; ju_tabor@cityofalachua.org;
ka_winburn@cityofalachua.org;
wi_whitelock@cityofalachua.org

* ~ * ~ * ~ * ~ * ~ * ~ * ~ * ~ *

Yes, I will attend.

 **meeting.ics**
2 KB

From : Adam Hall

<ad_hall@cityofalachua.org>

Thu, Oct 20, 2016 03:56 PM

 Holiday Inn Alachua

Subject : Planning Items - Completeness
Review Comments Meeting

 1 attachment

To : Adam Boukari

<ad_boukari@cityofalachua.org> ,

Justin Tabor

<ju_tabor@cityofalachua.org> ,

Kathy Winburn

<ka_winburn@cityofalachua.org> ,

William P. Whitelock

<wi_whitelock@cityofalachua.org>

The following meeting has been modified:

Subject: Planning Items - Completeness Review Comments
Meeting



Organizer: "Adam Hall" <ad_hall@cityofalachua.org>

Location: City Manager's Conference Room

From : Adam Hall
<ad_hall@cityofalachua.org>

Wed, Oct 19, 2016 02:42 PM

Subject : Holiday Inn Completeness Review
Comments Meeting

 Holiday Inn Alachua
 1 attachment

To : Adam Boukari
<ad_boukari@cityofalachua.org>,
Justin Tabor
<ju_tabor@cityofalachua.org>,
Kathy Winburn
<ka_winburn@cityofalachua.org>

The following is a new meeting request:

Subject: Holiday Inn Completeness Review Comments
Meeting


Organizer: "Adam Hall" <ad_hall@cityofalachua.org>

Location: City Manager's Conference Room

Time: Thursday, October 27, 2016, 11:00:00 AM -
12:30:00 PM GMT -05:00 US/Canada Eastern

Invitees: ad_boukari@cityofalachua.org;
ju_tabor@cityofalachua.org;
ka_winburn@cityofalachua.org

~~*~*~*~*~*~*~*~*

 **meeting.ics**
2 KB

**RE: Completeness Review for Holiday Inn Alachua Site Plan
Application**

From : Stephanie Sutton
<ssutton@edafl.com>
Subject : RE: Completeness Review for
Holiday Inn Alachua Site Plan
Application
To : Adam Hall
<ad_hall@cityofalachua.org>

Wed, Oct 19, 2016 10:26 AM

📎 Holiday Inn Alachua
📎 2 attachments

That is good for us. Thank you for setting this up!

Stephanie Sutton
Project Manager

SSutton@edafl.com

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, October 18, 2016 3:46 PM

To: Stephanie Sutton <ssutton@edafl.com>

Subject: Re: Completeness Review for Holiday Inn Alachua Site Plan Application

Stephanie,

Next Thursday (the 27th) at 11 AM , Adam Boukari is available.

Adam H

From: "Adam Hall" <ad_hall@cityofalachua.org>

To: "Stephanie Sutton" <ssutton@edafl.com>

Sent: Tuesday, October 18, 2016 3:36:01 PM

Subject: Re: Completeness Review for Holiday Inn Alachua Site Plan Application

Stephanie, I will go look into this now.

Adam

From: "Stephanie Sutton" <ssutton@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>
Sent: Tuesday, October 18, 2016 2:02:35 PM
Subject: RE: Completeness Review for Holiday Inn Alachua Site Plan Application

Adam,

Unfortunately our client won't be able to make it at that time...can you look at next Wednesday and Thursday?

Stephanie

Stephanie Sutton
Project Manager

[SSutton@edafl.com](mailto:ssutton@edafl.com)

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From: Adam Hall [mailto:ad_hall@cityofalachua.org]
Sent: Tuesday, October 18, 2016 12:21 PM
To: Stephanie Sutton <ssutton@edafl.com>
Subject: Re: Completeness Review for Holiday Inn Alachua Site Plan Application

Stephanie,

Would this Thursday at 3 PM work for you and your client?

Adam H

From: "Adam Hall" <ad_hall@cityofalachua.org>
To: "Stephanie Sutton" <ssutton@edafl.com>
Cc: "Sergio Reyes" <sreyes@edafl.com>
Sent: Tuesday, October 18, 2016 7:34:33 AM
Subject: Re: Completeness Review for Holiday Inn Alachua Site Plan Application

Stephanie,

I will coordinate with Adam Boukari's office today and see if he is available to meet later this week.

Thank you,

Adam Hall

From: "Stephanie Sutton" <ssutton@edafl.com>
To: "Adam Hall" <ad_hall@cityofalachua.org>
Cc: "Sergio Reyes" <sreyes@edafl.com>
Sent: Monday, October 17, 2016 8:45:02 AM
Subject: RE: Completeness Review for Holiday Inn Alachua Site Plan Application

Hi Adam,

Following up on my phone message, we would like to schedule a meeting with you to discuss our resubmittal for this project. The owner has discussed some of the items with Adam Boukari and we want to be sure everyone is on the same page. Please let me know when you are available this week.

Stephanie

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Project Manager
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From: Adam Hall [mailto:ad_hall@cityofalachua.org]
Sent: Thursday, October 6, 2016 3:19 PM
To: Stephanie Sutton <ssutton@edafl.com>
Cc: Sergio Reyes <sreyes@edafl.com>
Subject: Completeness Review for Holiday Inn Alachua Site Plan Application

Stephanie,

Please see the attached letter regarding the completeness review of the application for Holiday Inn Alachua Site Plan.

If you have any questions, or need any clarification on any item please do not hesitate to contact me.
Thank you,

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Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



image002.jpg

7 KB

From : Stephanie Sutton
<ssutton@edafl.com>

Tue, Oct 18, 2016 02:02 PM

📎 Holiday Inn Alachua
📎 1 attachment

Subject : RE: Completeness Review for
Holiday Inn Alachua Site Plan
Application

To : Adam Hall
<ad_hall@cityofalachua.org>

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