



City of Alachua

Planning & Community Development Department Staff Report

Planning & Zoning Board Hearing Date: February 14, 2017
Quasi-Judicial Hearing

SUBJECT: A request for a Site Plan for the construction of a ±13,330 square foot building and a ±11,750 square foot building, with associated parking, stormwater, utilities, and supporting site improvements

APPLICANT/AGENT: Daniel Young, P.E., LEED A.P., Causseaux, Hewett, & Walpole, Inc.

PROPERTY OWNER: ADC Development & Investment Group, LLC

LOCATION: South of CR 2054 (a.k.a. Rachael Boulevard); East of NW 129th Way; North of Nano Court

PARCEL ID NUMBERS: A portion of 03230-002-000 and a portion of 03927-000-000

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial (ILW)

OVERLAY: N/A

ACREAGE: ±5.26 acres

PROJECT PLANNER: Justin Tabor, AICP

RECOMMENDATION: Staff recommends that the Planning & Zoning Board approve the Site Plan, subject to the four (4) conditions provided in Exhibit "A" of this Staff Report.

RECOMMENDED MOTION: *Based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the four (4) conditions provided in Exhibit "A" and located on page 19 of the February 14, 2017 Staff Report to the Planning & Zoning Board.*

SUMMARY

The proposed site plan is a request by Daniel Young, P.E., of Causseaux, Hewett, & Walpole, Inc., applicant and agent for ADC Development & Investment Group, LLC, property owner, for the construction of a ±13,330 square foot building and a ±11,750 square foot building, with associated parking, stormwater, utilities, and supporting site improvements. Future tenants of the proposed buildings are anticipated to be businesses operating in the research and development field. Such uses primarily consist of laboratory and office space.

The applicant has identified two (2) “pods” on the proposed Site Plan – Pod 1 and Pod 2. Development of the two pods is proposed to occur sequentially (i.e., Pod 1, followed by Pod 2). In accordance with Section 2.4.9(G)(1) of the City’s Land Development Regulations (LDRs), should the Planning & Zoning Board approve the Site Plan, a building permit must be approved for the building in Pod 1 within 12 months of the date of the Site Plan approval, unless a six (6) month extension is granted pursuant to Section 2.4.10(G)(2). Following approval of a building permit for Pod 1 within the allotted timeframe, a building permit must be approved for the building in Pod 2 within three (3) years of the date of the approval of the Site Plan.

The subject property is ±5.26 acres in area and is located south of CR 2054 (also known as Rachael Boulevard), east of NW 129th Way, and north of Nano Court. Access to the subject property will be provided by a connection to NW 129th Way.

The proposed development will convey the development’s stormwater runoff to an existing stormwater basin located south of the subject property and Nano Court. The stormwater basin has been previously permitted and was designed as a master system to serve the surrounding area, including the subject property.

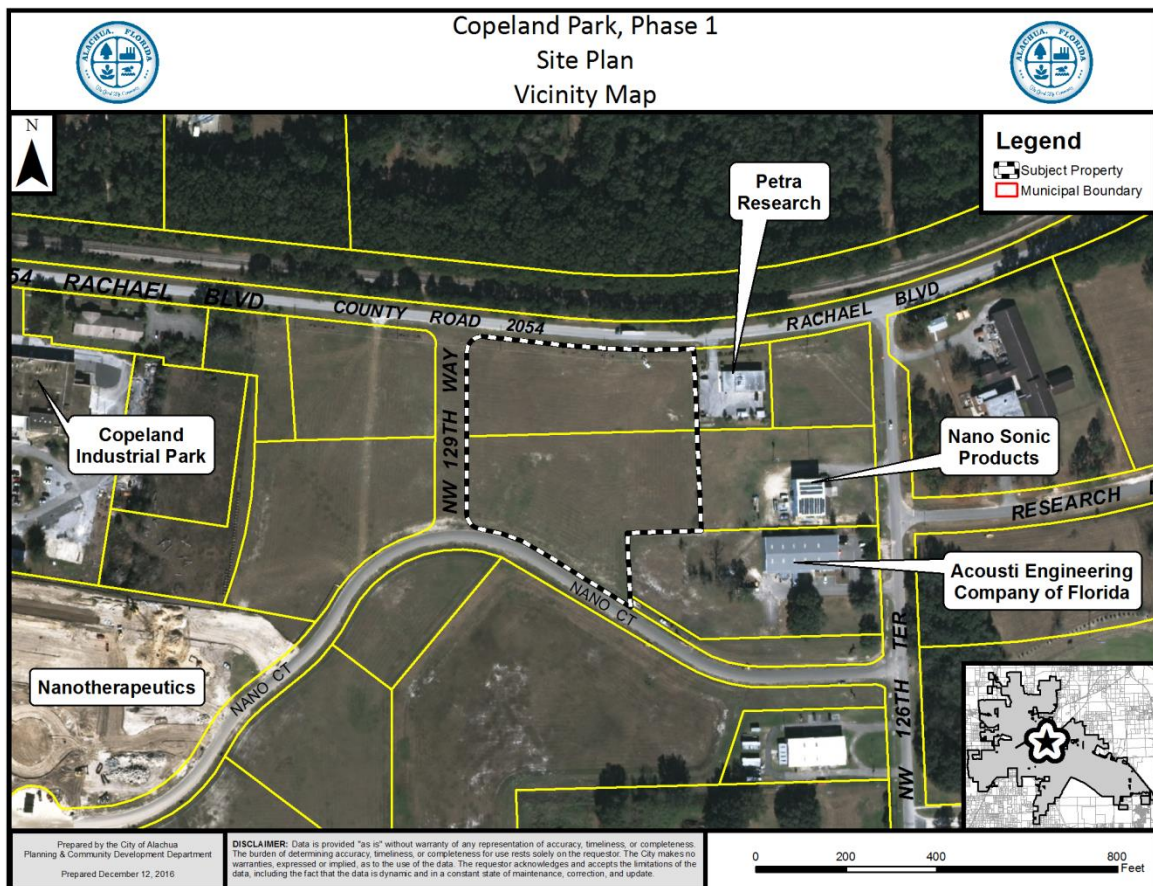
SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) Designations, and zoning districts of the surrounding area are identified in Table 1. Map 1 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. It is not intended to be all-inclusive, and may not identify all existing uses, FLUM Designations, and/or zoning districts surrounding the subject property.)

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	County Road 2054 (Rachael Blvd.); CSX Right of Way	N/A	N/A
South	Nano Court / Vacant Industrial Land / Master Stormwater Basin	Industrial	Light & Warehouse Industrial (ILW)
East	Petra Research; Nano Sonic Products / Alchem Laboratories; Acousti Engineering Company of Florida	Industrial	Light & Warehouse Industrial (ILW)
West	Vacant Industrial Land	Industrial	Light & Warehouse Industrial (ILW)

Map 1. Vicinity Map



NEIGHBORHOOD MEETING

The purpose of a Neighborhood Meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. As required by Section 2.2.4 of the LDRs, all property owners within 400 feet of the subject property were notified of the meeting and notice of the meeting was published in a newspaper of general circulation.

A Neighborhood Meeting was held on July 26, 2016, at the Santa Fe College Perry Center, located at 14180 NW 119th Terrace. The applicant's agent was present and available to answer questions. As evidenced by materials submitted by the applicant, the meeting was attended by two (2) members of the public. A summary of the discussion which occurred at the Neighborhood Meeting has been provided by the applicant and is included within the application materials.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The Goals, Objectives, and Policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

Vision Element

GOAL 1: Economic Development: The City of Alachua has a unique business climate. The City is home to corporations, technology incubators, local businesses, and start-up companies. The City will maintain its focus on a welcoming business environment and encourage business development in the downtown area and along the U.S. 441 corridor. Alachua desires to continue to be a home to innovative businesses and an employment center where jobs are provided at every level. The City will continue to encourage the growth and development of established industries, such as biotechnology, and encourage the diversification and expansion of commercial businesses which provide integral services to the City's residents.

Evaluation and Findings of Consistency with Goal 1: The proposed development would provide for the expansion and further growth of the City's established biotechnology industry.

Future Land Use Element

GOAL 1: Future Land Use Map 2025:

The City of Alachua shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens.

Objective 1.5: Industrial

The City of Alachua shall establish one industrial district: Industrial. This district shall provide a broad range of clean industry, warehousing, research, and technology industries, to provide a variety of job opportunities to the citizens of Alachua and the North Central Florida Region.

Policy 1.5.a: Industrial: Industrial uses are generally intense uses that require large land area and convenient access to transportation facilities, such as roads, highways, and rail lines. Industrial uses, such as warehousing and manufacturing, shall be located and designed in such a manner as to prevent unwanted impacts to adjacent properties.

3. The Industrial land use category may include flex facilities subject to the following standards:

Type of flex	Size of building	Manufacturing	Warehousing	Building Area Coverage
Research and Development	150,000 sq.ft. maximum	75% of total area maximum (may include labs and offices)	No Maximum	50% maximum

Evaluation and Findings of Consistency with Goal 1, Objective 1.5, and Policy 1.5.a: The subject property has an Industrial FLUM Designation, which permits research and development uses. The proposed buildings would be consistent with the provisions of Policy 1.5.a.3., which states that buildings used for research and development cannot exceed 150,000 square feet in area.

Objective 2.4: Landscaping and Tree Protection Standards: The City shall adopt landscaping and tree protection standards in order to achieve the aesthetic design values of the community and preserve tree canopies, as well as specimen protected, heritage and champion trees.

Policy 2.4.a: Landscaping: General – The City shall require landscaping plans to be submitted with each nonresidential and multiple family residential site plan. The minimum landscaped area shall be 30% of the development site. Landscaping designs shall incorporate principles of xeriscaping, where feasible. The City shall develop a list of preferred planting materials to assist in the landscape design. Landscape plans shall include perimeter and internal site landscaping.

Policy 2.4.b: Landscaping: Buffering – A buffer consists of horizontal space (land) and vertical elements (plants, berms, fences, walls) that physically separate and visually screen adjacent land uses. The City shall establish buffer yard requirements that are based on the compatibility of the adjacent uses and the desired result of the buffer.

Evaluation and Findings of Consistency with Objective 2.4 and Policies 2.4.a and 2.4.b: The site plan includes a landscaping plan which demonstrates that the proposed development would comply with all applicable landscaping and buffering standards required by the City's Comprehensive Plan and Land Development Regulations. Upon completion of the development, approximately 33.5% of the subject property would consist of landscaped areas, which exceeds the minimum 30% area required by Policy 2.4.a.

Objective 2.5: Open Space Standards: The City shall utilize open space requirements to preserve the rural character of Alachua, protect natural resources, and provide spaces for people to recreate and gather.

Policy 2.5.a: There shall be a minimum of 10% percent open space required. The City shall establish incentives for the provision of open space beyond minimum requirements.

Evaluation and Findings of Consistency with Objective 2.5 and Policy 2.5.a: The site plan indicates that following completion of the development, the subject property would include 3.94 acres of open space (74.9% of the site), exceeding the minimum 10% open space requirement.

Objective 5.1: Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Evaluation and Findings of Consistency with Objective 5.1: An environmental conditions and site suitability analysis has been provided in this report, and indicates that the development would not adversely affect natural features.

Objective 5.2: Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted level of service standards are maintained.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, public schools, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

Evaluation and Findings of Consistency with Objective 5.2 and Policy 5.2.a: An analysis of the development's impact to public facilities has been provided within this report. This analysis demonstrates that the development would not adversely affect the level of service (LOS) standard of any monitored public facilities.

Policy 9.1: Any new development within a Commercial or Industrial Future Land Use Map Designation within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Evaluation and Findings of Consistency with Policy 9.1: The proposed development is located within the City's utility service area and would connect to potable water and wastewater facilities.

Transportation Element

Objective 1.1: Level of Service

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

Evaluation and Findings of Consistency with Objective 1.1: An analysis of the development's impacts to transportation facilities is provided within this report. The development would not adversely affect the level of service for transportation facilities.

Policy 1.3.a: The City shall establish minimum and maximum parking standards in order to avoid excessive amounts of underutilized parking areas.

Policy 1.3.d: The City shall require landscaping within parking areas, with an emphasis on canopy trees. The City shall consider establishing incentives for landscaping in excess of minimum standards.

Policy 1.3.f: The City shall establish bicycle parking facility standards based on type of use within developments.

Policy 1.3.g: The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

Evaluation and Findings of Consistency with Objective 1.1 and Policies 1.3.a, 1.3.d, 1.3.f, and 1.3.g: The site plan complies with the applicable standards of Section 6.1, Off-street parking and loading standards, of the City's Land Development Regulations. Required landscaping materials and pedestrian crossings and connections would be provided within parking areas. The site plan also provides all required bicycle parking facilities and the minimum number of required accessible parking spaces.

Community Facilities & Natural Groundwater Aquifer Recharge Element

Policy 1.1.d:

The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service

- a. **Quality:** Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).
- b. **Quantity:** System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.

- c. System capacity: If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Policy 1.1.d: An analysis of the development's impacts to sanitary sewer facilities is provided within this report. The development would not adversely affect the level of service for sanitary sewer facilities.

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

3. A gravity wastewater system, wastewater pumping station, or force main exists within $\frac{1}{4}$ mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 1.2.a: The proposed development is located within the City's utility service area and would connect to the City's wastewater system.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:

<u>FACILITY TYPE</u>	<u>LEVEL OF SERVICE STANDARD</u>
Solid Waste Landfill	.73 tons per capita per year

Evaluation and Findings of Consistency with Objective 2.1.a: An analysis of the development's impacts to solid waste facilities is provided within this report. The development would not adversely affect the level of service for solid waste facilities.

Objective 3.1: Ensure provision of drainage and stormwater retention through level of service standards and design requirements to minimize flooding and to protect and improve water quality.

Policy 3.1.f: The City shall permit the use of off-site retention facilities, if they are part of previously approved master stormwater retention or detention facility.

Evaluation and Findings of Consistency with Objective 3.1 and Policy 3.1.f: The proposed development would convey the development's stormwater runoff to an existing stormwater basin south of the subject property and Nano Court. The stormwater basin was previously permitted and designed as a master system to serve the surrounding area, including the subject property.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

3. A water main exists within $\frac{1}{4}$ mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 4.1.b: The proposed development is located within the City's utility service area and would connect to the City's potable water system.

Policy 4.1.c: The City establishes the following level of service standards for potable water:

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
2. Quantity: System-wide potable water distribution and treatment will be sufficient to provide a minimum of 275 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Florida Administrative Code.
3. System Capacity: If the volume of existing use in addition to the volume of the committed use of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Objective 4.1.c: An analysis of the development's impacts to potable water facilities is provided within this report. The development would not adversely affect the level of service for potable water facilities.

Conservation & Open Space Element

Policy 1.2.a:

The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

Policy 1.3.e:

The City's land use designations shall offer the best possible protection to threatened and endangered species.

Evaluation and Findings of Consistency with Policy 1.2.a and 1.3.e: The development would have minimal impacts upon environmentally sensitive lands. Please reference the Environmental Conditions Analysis provided within this report for further review of specific features and environmental features.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to best available data, there are no wetlands located on the subject property. If any wetlands are identified on the subject property at a later time, these areas will be subject to the applicable protection standards of the City of Alachua Comprehensive Plan and the Land Development Regulations (LDRs.)

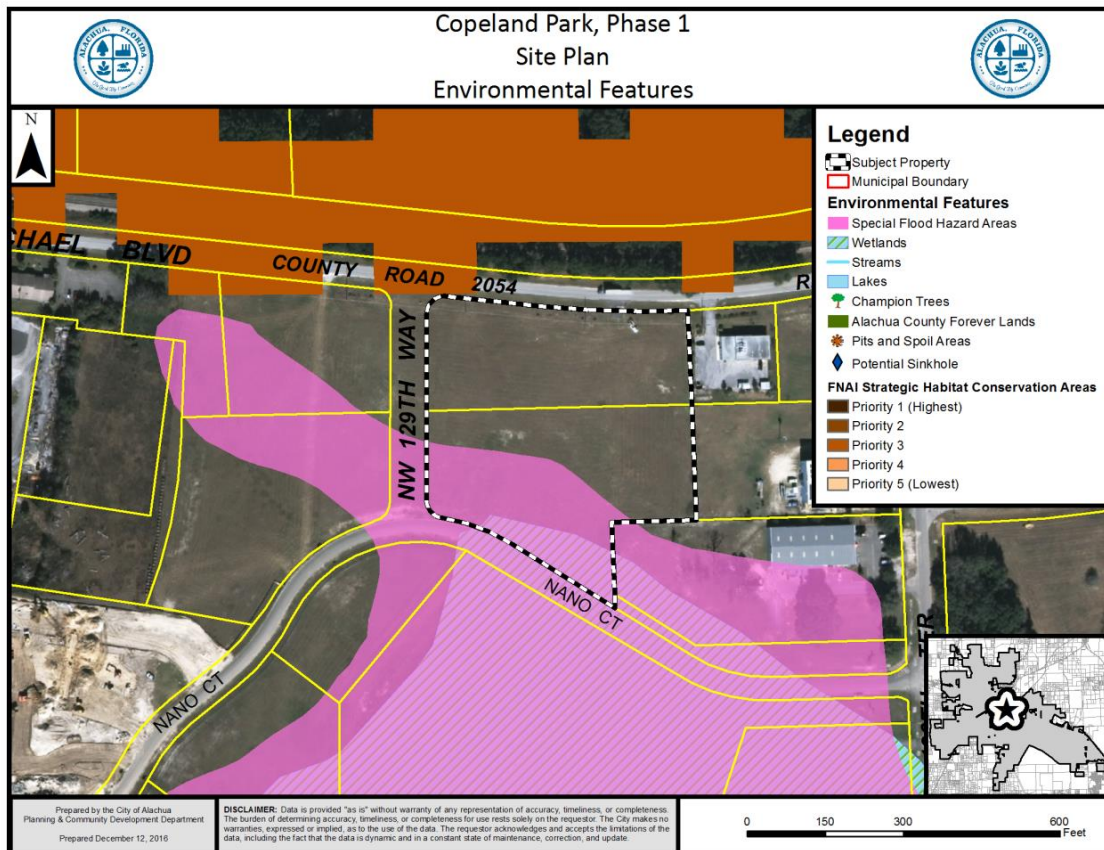
Evaluation: No wetlands have been identified on subject property, therefore, there are no issues related to wetland protection.

Strategic Ecosystems

Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County. The subject property is not located within or adjacent to a Strategic Ecosystem.

Evaluation: The subject property is not located within or adjacent to a Strategic Ecosystem, therefore, the development would not adversely impact any Strategic Ecosystem(s) identified within the ecological inventory report.

Map 2. Environmental Features



Regulated Plant & Animal Species

The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region. Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation: No species identified as endangered, threatened, or of special concern are known to exist on the subject property. A portion of the lands to the north of the subject property, and across CR 2054 (Rachael Boulevard) and the CSX railroad right-of-way are within an area identified as a Priority 3 area. The subject property does not contain any areas identified within the PNA data layer.

While the FNAI PNA data layer identifies lands proximate to the subject property that may feature habitat which could support species identified as endangered, threatened, or of special concern, this data is not intended for use in a regulatory decision making process. The data must be referenced only as a resource to indicate the potential of land to support wildlife.

If a regulated plant or animal species is identified during development, the applicant must adhere to the applicable standards in the City of Alachua Comprehensive Plan and the Land Development Regulations.

Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

There are three (3) soil types found on the subject property:

Arredondo Fine Sand (0% – 5% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and small commercial buildings.

Arredondo Fine Sand (5% – 8% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and local roads and moderate limitations for small commercial buildings.

Millhopper Fine Sand (0% – 5% slopes)

Hydrologic Soil Group: A

This soil type is moderately well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes, local roads, and small commercial buildings.

Evaluation: The soil types present on the subject property do not pose any significant limitations for development, therefore, there are no issues related to soil suitability.

Flood Potential

Panel 0140D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006, indicates that the subject property is in Flood Zone X (areas determined to be outside of the 500-year floodplain) and Flood Zone A (areas determined to be subject to flooding by the 1% annual chance flood [100-year flood], with no Base Flood Elevation [BFE] determined.)

The proposed buildings would be located within areas of the subject property located in Flood Zone X (areas determined to be outside of the 500-year floodplain).

Evaluation: Since the proposed buildings would be located within areas of the subject property located in Flood Zone X (areas determined to be outside of the 500-year floodplain), there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations. The subject property is located within an area where sinkholes may potentially allow hydrologic access to the Floridan Aquifer System, however, best available data indicates that no sinkholes or known indicators of sinkhole activity are located on the subject property.

Evaluation: There are no geologic features located on the subject property which indicate an increased potential for karst sensitivity.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500 foot radius area around each city-owned potable water well.

Evaluation: The subject property is not located within a City of Alachua wellhead protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City's Comprehensive Plan, therefore, there are no issues related to wellfield protection.

Historic Structures/Markers and Historic Features

The subject property does not contain any historic structures as determined by the State of Florida and the Alachua County Historic Resources Inventory. Additionally, the subject property is not located within the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

Evaluation: There are no issues related to historic structures or markers.

COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

SITE PLAN STANDARDS

Section 2.4.9(E) of the City's Land Development Regulations (LDRs) establishes the standards with which all site plans must be found to be compliant. The application has been reviewed for compliance with the standards of Section 2.4.9(E.) An evaluation and findings of the application's compliance with the standards of Section 2.4.9(E) is provided below.

(E) Site Plan Standards

A Site Plan shall be approved only upon a finding the applicant demonstrates all of the following standards are met:

(1) *Consistency with Comprehensive Plan*

The development and uses in the Site Plan comply with the Goals, Objectives and Policies of the Comprehensive Plan.

Evaluation & Findings: An analysis of the application's consistency with the Comprehensive Plan has been provided in this report.

(2) *Use Allowed in Zone District*

The use is allowed in the zone district in accordance with Article 4: *Use Regulations*.

Evaluation & Findings: The subject property is zoned Light & Warehouse Industrial (ILW). The site plan proposes the construction of a ±13,330 square foot building and a ±11,750 square foot building. Both buildings are intended to be utilized for research and development. Article 10 of the City's LDRs defines "Light Manufacturing" as follows: "the mechanical transformation of predominantly previously prepared materials into new products, including assembly of component parts and the creation of products for sale to the wholesale or retail markets or directly to consumers. Such uses are wholly confined within an enclosed building, do not include processing of hazardous gases and chemicals, and do not emit noxious noise, smoke, vapors, fumes, dust, glare, odor or vibration. Examples include, but are not limited to: ... **research, development**, testing facilities and **laboratories...**" (emphasis added). Table 4.1-1 of the City's LDRs establishes the allowable uses within each zoning district, and indicates that the ILW zoning district permits light manufacturing uses.

(3) *Zone District Use-Specific Standards*

The development and uses in the Site Plan comply with Section 4.3, *Use-Specific Standards*.

Evaluation & Findings: The use type proposed by the development is the “light manufacturing” use type. There are no Use-Specific Standards which apply to the “light manufacturing” use type.

(4) *Development and Design Standards*

The development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 6: *Development Standards*.

Evaluation & Findings: The application has been reviewed for and is found to be in compliance with all relevant provisions of Article 6, *Development Standards*, including but not limited to *Section 6.1*, Off Street Parking & Loading Standards, *Section 6.2*, Tree Protection/Landscape/Xeriscape Standards, *Section 6.3*, Fencing Standards, *Section 6.4*, Exterior Lighting Standards, *Section 6.7*, Open Space Standards, and *Section 6.9*, Environmental Protection Standards.

(5) *Subdivision Standards*

In cases where a subdivision has been approved or is pending, the development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 7: *Subdivision Standards*.

Evaluation & Findings: No subdivision of land is proposed, therefore, compliance with this standard is not applicable.

(6) *Complies with All Other Relevant Laws and Ordinances*

The proposed site plan development and use complies with all other relevant City laws and ordinances, state and federal laws, and regulations.

Evaluation & Findings: The application is consistent with all other relevant City ordinances and regulations.

PUBLIC FACILITIES IMPACT

Traffic Impact

Table 2. Affected Comprehensive Plan Roadway Segments¹

Segment Number ^{2, 3}	Segment Description	Lanes	Functional Classification	Area Type	LOS
N/A	CR 2054 (East Segment) (from SR 235 to US 441)	2/U	County Maintained Collector	Urban	D

¹ Source: City of Alachua Comprehensive Plan, Transportation Element.
² For developments generating less than 1,000 trips, affected roadway segments are identified as all those wholly or partially located within ½ mile of the development's ingress/egress, or to the nearest intersecting major street, whichever is greater [Section 2.4.14(H)(2)(a) of the LDRs].
³ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 3. Trip Generation¹

Land Use	AADT (Enter/Exit) ²	AM Peak Hour (Enter/Exit) ²	PM Peak Hour (Enter/Exit) ²
Research and Development Center (ITE Code 760)	203 (101/102)	31 (27/4)	27 (4/23)

¹ Source: ITE Trip Generation, 9th Edition.
² Formulas: AADT – 8.11 trips per 1,000 square feet x 25,050 square feet (50% entering/50% exiting); AM Peak Hour – 1.22 trips per 1,000 square feet x 25,050 square feet (87% entering/13% exiting); PM Peak Hour – 1.07 trips per 1,000 square feet x 25,050 square feet (15% entering/85% exiting.)

Table 4a. Projected Impact on Affected Comprehensive Plan Roadway Segments (AADT)

Traffic System Category	CR 2054 East ¹
Average Annual Daily Trips	
Maximum Service Volume ²	14,580
Existing Traffic ³	2,161
Reserved Trips ⁴	689
Available Capacity ⁴	11,730
Increase/Decrease in Daily Trips Generated by Development ⁵	203
Residual Capacity After Development's Impacts⁶	11,730

¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.
² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas.
³ Florida State Highway System Level of Service Report 2015, Florida Department of Transportation, District II, September 2016.
⁴ Source: City of Alachua January 2017 Development Monitoring Report.
⁵ Trip Distribution: CR 2054 East – 100%.
⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.

Table 4b. Projected Impact on Affected Comprehensive Plan Roadway Segments (Peak Hour)

Traffic System Category	CR 2054 East ¹
PM Peak Hour Trips	
Maximum Service Volume ²	1,314
Existing Traffic ³	205
Reserved Trips ⁴	66
Available Capacity ⁴	1,043
Increase/Decrease in PM Peak Hour Trips Generated by Development ⁵	34
Residual Capacity After Development's Impacts⁶	1,009

¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.
² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas.
³ Florida State Highway System Level of Service Report 2015, Florida Department of Transportation, District II, September 2016.
⁴ Source: City of Alachua January 2017 Development Monitoring Report.
⁵ Trip Distribution: CR 2054 East – 100%.
⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.

Evaluation: The impacts generated by the development would not adversely affect the Level of Service (LOS) of the roadway segment identified above. The impacts that would be generated by the development are acceptable.

Potable Water Impacts

Table 5. Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,190,000
Reserved Capacity ²	135,912
Available Capacity	974,912
Projected Potable Water Demand from Application ³	3,758
Residual Capacity	971,154
Percentage of Permitted Design Capacity Utilized	57.78%
<i>Sources:</i> ¹ City of Alachua Public Services Department, April 2016. ² City of Alachua January 2017 Development Monitoring Report. ³ Source: Chapter 64E-6, Florida Administrative Code; Formula: 15 gallons per day per 100 square feet x 25,050 square feet.	

Evaluation: The impacts to the potable water system that would be generated by the development would not adversely affect the Level of Service (LOS) for potable water facilities. The impacts that would be generated by the development are therefore acceptable.

Sanitary Sewer Impacts

Table 6. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity	1,500,000
Less Actual Treatment Plant Flows ¹	615,000
Reserved Capacity ²	96,322
Available Capacity	788,678
Projected Sanitary Sewer Demand from Application ³	3,758
Residual Capacity	784,920
Percentage of Permitted Design Capacity Utilized	47.67%
<i>Sources:</i> ¹ City of Alachua Public Services Department, April 2016. ² City of Alachua January 2017 Development Monitoring Report. ³ Source: Chapter 64E-6, Florida Administrative Code; 15 gallons per day per 100 square feet x 25,050 square feet.	

Evaluation: The impacts to the sanitary sewer system that would be generated by the development would not adversely affect the Level of Service (LOS) for sanitary sewer facilities. The impacts that would be generated by the development are therefore acceptable.

Solid Waste Impacts

Table 7. Solid Waste Impacts

System Category	Pounds Per Day	Tons Per Year
Demand from Existing Development ¹	39,568	7221.16
Reserved Capacity ²	6,371.21	1,162.75
Demand Generated by Application ³	300.60	54.86
New River Solid Waste Facility Capacity ⁴	50 years	
Sources:		
1 University of Florida, Bureau of Economic & Business Research, Estimates of Population by County and City in Florida, January 15, 2014; Policy 2.1.a, CFNGAR Element (Formula: 9,892 persons x 0.73 tons per person per year).		
2 City of Alachua January 2017 Development Monitoring Report.		
3 Sincero and Sincero; Environmental Engineering: A Design Approach. Prentice Hall, New Jersey, 1996		
4 New River Solid Waste Facility. March 2016.		

Evaluation: The impacts to the solid waste system that would be generated by the development would not adversely affect the Level of Service (LOS) for solid waste facilities. The impacts that would be generated by the development are therefore acceptable.

Recreation Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public school facilities.

EXHIBIT "A"
TO
COPELAND PARK – PHASE 1
SITE PLAN
STAFF REPORT

CONDITIONS:

1. The applicant agrees it shall provide Public Utilities Easements and Sidewalk Easements as depicted on the Site Plan. Public Utilities Easements and Sidewalk Easements as depicted on the Site Plan shall be approved by the City and recorded in the Public Records of Alachua County prior to applying for a building permit. The applicant shall incur all costs associated with the preparation and recordation of such Public Utilities Easements and Sidewalk Easements.
2. The applicant agrees it shall comply with all comments issued by the Public Services Department as provided in a memorandum from Rodolfo Valladares, P.E., Public Services Director, dated January 12, 2017.
3. The applicant agrees it shall obtain all other applicable local, state, and federal permits before the commencement of the development.
4. The applicant agrees that Conditions 1 – 3 as stated above do not inordinately burden the land and shall be binding upon the property owner, including any subsequent property owners, successors, or assigns, and that the development shall comply with Conditions 1 – 4 as stated herein.

**EXHIBIT “B”
TO
COPELAND PARK – PHASE 1
SITE PLAN
STAFF REPORT**

**SUPPORTING APPLICATION MATERIALS
SUBMITTED BY CITY STAFF TO THE
PLANNING AND ZONING BOARD**

RE: Copeland Park Ph 2 Site Plan

From : Daniel Young <Daniely@chw-inc.com>
Subject : RE: Copeland Park Ph 2 Site Plan
To : Justin Tabor <jtabor@cityofalachua.org>
Cc : Jessica Junkin <JessicaJ@chw-inc.com>

Mon, Jan 23, 2017 08:16 AM

Good morning Justin,

I received your email. Jessica will schedule installation of the signs and materials needed for the PZB. I will call and discuss Public Services comments with them later today.

Thank you,

DANIEL YOUNG, P.E., LEED A.P. | Senior Project Manager

t: (352) 519-5940 | c: (352) 538-6196

e: daniely@chw-inc.com

w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]
Sent: Monday, January 23, 2017 8:02 AM
To: Daniel Young <Daniely@chw-inc.com>
Cc: Jessica Junkin <JessicaJ@chw-inc.com>
Subject: Re: Copeland Park Ph 2 Site Plan

Good Morning, Daniel,

I wanted to ensure you received the email below, with some minor comments from Public Services concerning the 1/4/17 plans for Copeland Park Phase 2, and the dates to post notices on the project site/provide materials for the PZB Meeting.

Please let me know if you have any questions.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

City Hall Hours of Operation

Monday - Thursday, 7:30 AM - 6:00 PM

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: "Justin Tabor" <jtabor@cityofalachua.com>
To: "daniely" <daniely@chw-inc.com>
Cc: "Jessica Junkin" <jessicaj@chw-inc.com>

Sent: Wednesday, January 18, 2017 11:35:47 AM

Subject: Copeland Park Ph 2 Site Plan

Daniel,

Please see the attached comments from Public Services concerning the revised plans submitted on 1/4/17 for Copeland Park Phase 2.

Also, the plans refer to the area where the sidewalk is proposed along CR 2054 as a 'pedestrian easement', however, the legal description submitted for this easement refers to the area as a 'sidewalk easement'. Please revise the plans for consistency, referring to this easement as a 'sidewalk easement'.

Please ensure the plans submitted for the public hearing incorporate the necessary revisions to address the comments above.

Posted notices for the February 14 PZB Meeting will need to be posted on Monday, January 30. Copies of materials for the PZB Meeting must be provided by Tuesday, January 31.

If you have any questions, please feel free to contact me.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

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City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: January 12, 2017

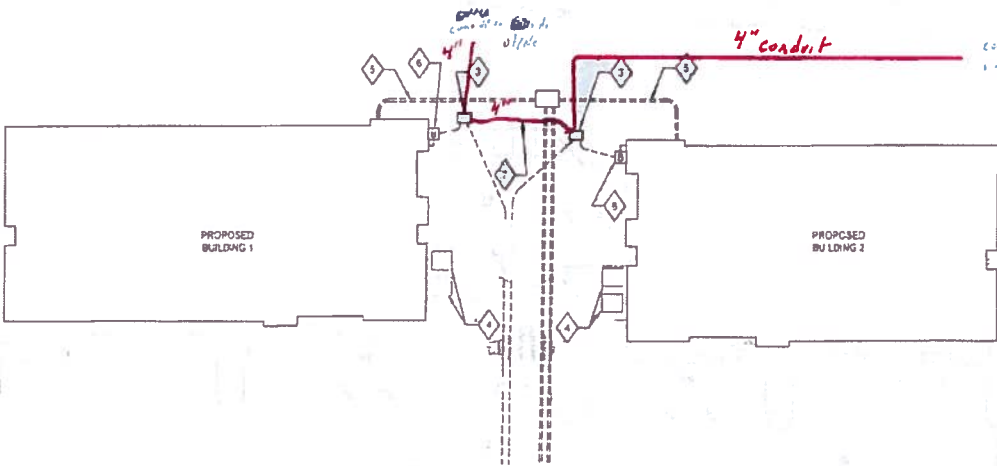
TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E.
Public Services Director *RSV*

RE: Copeland Park Phase 1 - Site Plan Resubmittal

Public Services have reviewed the Copeland Park Phase 1 site plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	<p><u>General Note</u></p> <p>Reference City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater.</p> <ul style="list-style-type: none">• Provide correct 4 inch tap detail.• Provide correct 5/8-inch meter detail• Provide correct water valve detail.• Provide correct sanitary manholes detail <p>[Approved as Noted]</p> <p>Response: The City of Alachua's details for the above have been added to the plans. Please see the revised Construction Details on sheet C2.30 and C2.31.</p> <p>Comment: [Approved]</p>
2.	<p><u>Fire Flow Requirements</u></p> <p>Per <i>Fire Flow Assessment Report Report Form</i>, submitted November 29th, an analysis confirms that the minimum fire flow capacity at this location exceeds the requested 1,000 gpm capacity for a duration of 2 hours</p> <p>[Y]; No Response Required]</p>
3.	<p><u>Wastewater: Sheet C3.10</u></p> <p>City maintenance ends at edge of P.U.E.</p> <p>[Approved as Noted]</p>

NO.	COMMENTS
4.	<p><u>Water</u>; Sheet C3.10</p> <p>City maintenance ends at meter tap to meter to be city's responsibility. The proposed meters is to not parallel existing main.</p> <p>[Revise and Resubmit]</p> <p>Response: per our discussion at the DRT meeting, the water main taps have to be at the northeast corner of the project site due to Alachua County's requirements for excavation adjacent to their road. The water service extension and water meters are within the existing 20' PUE.</p> <p>Comment: provide single master meter near tap within PUE. For City approval, provide drawing.</p> <p>[Approved as Noted]</p>
5.	<p><u>Pipe Fittings</u>; Sheet C3.10</p> <p>Cross fitting are not acceptable.</p> <p>[Revise and Resubmit]</p> <p>Response: the cross fittings have been removed and the callout has been revised to indicate two additional tees for each meter bank.</p> <p>Comment: [Approved]</p>
7.	<p><u>Electrical Site Plan</u>; Sheet E101</p> <p>Primary electric will serve transformers from existing overhead north of proposed building 1 and building 2.</p> <p>COUNTY ROAD 2054 / RACHAEL BLVD</p>  <p>[Revise and Resubmit]</p> <p>Response: the electrical design has been revised accordingly. Please see the revised Site Electrical Plan, sheet E101.</p> <p>Comment: Provide 4-inch conduit not shown on resubmittal from transformer B back to existing. Reference illustration above.</p> <p>[Approved as Noted]</p>

NO.	COMMENTS
8.	<p><u>Load Calculations</u></p> <p>Provide for review and approval load calculation. Transformers (1 or 2) will be decided after load is determined. [Revise and Resubmit]</p> <p>Response: The load calculations are now provided on the Site Electrical Plan, sheet E101.</p> <p>Comment: [Approved]</p>
9.	<p><u>Landscape Plan, Sheet LS-2</u></p> <p>Proposed landscaping on north side of building must maintain low growth species or maintain 15' from overhead electric facilities. [Provide Confirming Statement]</p> <p>Response: Proposed landscaping on the north side of the building has been relocated so that all non-low growth species maintain 15' from overhead electrical facilities.</p> <p>Comment: [Approved]</p>
10.	<p><u>General Note: Stormwater</u></p> <p>New storm collection system connects to an existing off-site storm system which discharges to an existing master stormwater management facility. Confirm coordination with stormwater pond owner. [Provide Confirming Statement]</p> <p>Response: the owner of the stormwater pond is also the owner of the existing master stormwater pond for the development area. Please find a copy of the SRWMD No Permit Required Letter and the Letter and Exhibit submitted to the SRWMD.</p> <p>Comment: [Approved]</p>
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Justin Tabor – AICP Planner
Harry Dillard – Lead Engineering Technician

RE: Resubmittal of Copeland Park Ph 1 SP

From : Brian Green <bgreen@AlachuaCounty.US>
Subject : RE: Resubmittal of Copeland Park Ph 1 SP
To : Justin Tabor <jtabor@cityofalachua.org>
Cc : Kathy Winburn <kwinburn@cityofalachua.com>, William P. Whitelock
<wwhitelock@cityofalachua.org>

Mon, Jan 09, 2017 01:09 PM

Justin,

I have reviewed the revised plan with the location of fire hydrant and find it acceptable.

The PIV indicated prior to the fire backflow will be removed. Only one indicating valve is required and the OS&Y valves on the backflow meet this requirement.

Brian Green

*Alachua County Fire Rescue
Life Safety / Internal Affairs Branch
352-384-3103 office
352-494-3140 cell
352-384-3157 fax
BGREEN@ALACHUACOUNTY.US*

From: Justin Tabor [mailto:jtabor@cityofalachua.org]
Sent: Thursday, January 05, 2017 9:27 AM
To: Brian Green
Cc: Kathy Winburn; William P. Whitelock
Subject: Resubmittal of Copeland Park Ph 1 SP

Brian,

CHW has resubmitted the Copeland Park Phase 1 Site Plan. **Please review the revised plans and respond by Thursday, January 12.** Your previous comments are below, along with CHW's response:

A fire hydrant shall be in within 500 foot of the remote corner of the building. None are shown on the plans.

CHW Response: An existing fire hydrant is located on the other side of NW 129th Way and is within 500 feet of the remote corner of the west building. A fire hydrant is now proposed within the northeast corner of the site and is within 500 feet of the remote corner of the east building. Please see the Detailed Utility Plan, Sheet C3.10.

The size and type of the fire line are to be dictated by the fire protection engineer. No numbers need be on these plans for this line. Size and type of pipe with be provided by the fire protection engineer at time of building review.

CHW Response: The size and type of the fire line have been removed from the plans as requested. A line is now shown for coordination purposes only and notes have been added for the fire line size and pipe material to be determined by a Fire Protection Engineer.

The revised plans and CHW's response letter is available at the following link: <http://cloud.cityofalachua.org/index.php/s/LIhzBWPI22ezDng>

Please feel free to contact me if you have any questions.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

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City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

INTER-OFFICE COMMUNICATION

Date: January 5, 2017
To: Rodolfo Valladares, P.E., Public Services Director
Brian Green, Fire Inspector, Alachua County Fire Rescue
From: Justin Tabor, AICP, Principal Planner
Re: Copeland Park, Phase 1
Site Plan

The Planning & Community Development Department has received an application resubmittal for the following project:

Copeland Park, Phase 1
Site Plan

Plans are accessible via the X: Drive at: X:\Planning and Community Development\
Planning Division\Development Applications\ Copeland Park SP\Submittals\2017_01_04

This resubmittal is intended to address comments provided to the applicant at a Development Review Team (DRT) Meeting held on:

December 15, 2016

ADDITIONAL DRT MEETINGS ARE NOT SCHEDULED FOR THIS PROJECT.
PLEASE PROVIDE WRITTEN COMMENTS CONCERNING ANY REMAINING APPLICATION DEFICIENCIES TO THE PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT NO LATER THAN:

Thursday, January 12, 2017

Your comments will be transmitted to the applicant by the Planning & Community Development Department. The applicant will be provided a date certain by which to respond to all comments:

Once a revised application has been received, it will be forwarded to you for verification that all application deficiencies have been sufficiently addressed.

Received by:


Please sign and print name


Date

On behalf of:



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

INTER-OFFICE COMMUNICATION

Date: January 5, 2017
To: Rodolfo Valladares, P.E., Public Services Director
Brian Green, Fire Inspector, Alachua County Fire Rescue
From: Justin Tabor, AICP, Principal Planner
Re: Copeland Park, Phase 1
Site Plan

The Planning & Community Development Department has received an application resubmittal for the following project:

Copeland Park, Phase 1
Site Plan

Plans are accessible via the X: Drive at: X:\Planning and Community Development\
Planning Division\Development Applications\ Copeland Park SP\Submittals\2017_01_04

This resubmittal is intended to address comments provided to the applicant at a Development Review Team (DRT) Meeting held on:

December 15, 2016


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PLEASE PROVIDE WRITTEN COMMENTS CONCERNING ANY REMAINING APPLICATION DEFICIENCIES TO THE PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT NO LATER THAN:

Thursday, January 12, 2017

Your comments will be transmitted to the applicant by the Planning & Community Development Department. The applicant will be provided a date certain by which to respond to all comments.

Once a revised application has been received, it will be forwarded to you for verification that all application deficiencies have been sufficiently addressed.

Received by:

 Justin Tabor - by email
Please sign and print name

1/5/17
Date

On behalf of:

Brian Green



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

December 15, 2016

Mr. Randall S. Olney, P.E.
Causseaux, Hewett, & Walpole, Inc.
132 NW 76th Drive
Gainesville, FL 32607

RE: Development Review Team (DRT) Summary for: Copeland Park, Phase 1 – Site Plan

Dear Mr. Olney:

The application referenced above was reviewed at our December 15, 2016, Development Review Team (DRT) Meeting. Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed by **4:00 PM on Wednesday, January 4, 2017**. A total of four (4) copies of the application package, plans, and a CD containing a PDF of all application materials and plans must be provided by this date.

Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved before the item may be scheduled for a public hearing before the Planning & Zoning Board (PZB). Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide *13 double-sided, three-hole punched sets* of each application package, 13 sets of plans, and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

As discussed at the DRT Meeting, please address the following insufficiencies:

1. *Vehicular/Pedestrian Circulation*

- a. A sidewalk shall be provided along the subject property's frontage of CR 2054. Reference supporting plans/reports adopted by the City Commission, including:
 - i. Comprehensive Plan: GOPs, including but not limited to: Vision Element: Goal 3; Future Land Use Element: Policy 1.3.d; Transportation Element: Objective 1.4; Policy 1.5.c; Conservation & Open Space Element: Policy 1.13.b;
 - ii. Alachua Market and Economic Impact Development Implementation Plan, dated July 16, 2016 (see page 46).

2. *Section 6.2.2, Landscaping Standards*

- a. Site landscaping requirements; number of understory trees required in front of buildings: 16 required, only 14 provided. Revise landscape plans accordingly.
- b. Perimeter buffer requirements: Sheet LS-1 states a Type "B" buffer is required, and "Option 1" was selected. Plans call for "Option 2". Revise accordingly.

- c. Site landscaping calculations, required building façade canopy trees: labels of east and west buildings appear to be reversed (the linear feet of building façade between the front building façade and the street should be greater for the west building than that of the east building). Revise accordingly.

3. Section 6.4. Exterior Lighting Standards

- a. Section 6.4.4(A) requires wall mounted lights to have fully shielded luminaires, such as shoebox or can-style fixtures to direct all light downward and to prevent the light source from being visible from a public street.
 - i. Provide cut sheets or other documentation for lighting fixture "W" that demonstrates the fixtures shall have fully shielded luminaires.
- b. Section 6.4.4(F)(3) requires light sources in canopy structures to not extend downward further than the lowest edge of the canopy ceiling (i.e., the light must be recessed). Section 6.4.5(A) also requires lighting fixtures, whether mounted on poles or walls or by or by other means to be no more than 15 feet in height.
 - i. Provide cut sheet or other documentation for lighting fixture "L" that demonstrates the fixture shall not extend below the lowest edge of the canopy ceiling.
 - ii. Identify the mounting height of lighting fixture "L".
- c. Section 6.4.4(F)(1) requires light fixtures in excess of 60 watts or 100 lumens to use full cut-off lenses or hoods.
 - i. Provide cut sheet or other documentation for lighting fixtures "S5" (Qty = 3), "S5" (Qty = 1), and "S3H" that demonstrates the lighting fixtures use full cut-off lenses or hoods.
- d. The lighting schedule calls for two (2) fixtures both labeled "S5", however, the different specifications are provided for each fixture. Verify correct fixture label and revise accordingly.
- e. A fixture is shown on the north end of the service area labeled as "S3", however, no "S3" is called for in the lighting schedule. Revise accordingly.

4. Section 6.5. Signage

- a. Please note that the location of signage is subject to review/approval of a sign permit application.
 - i. The freestanding sign depicted at the site ingress/egress appears to be within 5 feet of the property line [reference Section 6.5.4(D)(3)(a)].
 - ii. The freestanding sign depicted at the site ingress/egress may be within the vision triangle [reference Section 6.5.4(D)(3)(c)].

5. General Comments

- a. Provide legal description(s) and sketch (sketches) of all proposed Public Utilities Easements for infrastructure proposed to be City-maintained, including but not limited to water, wastewater, and electric facilities. Preparation of draft PUEs to be coordinated by the applicant with Compliance and Risk Management Department.

- b. Sheet C0.00; Note 3, Parking Calculations, building square footage: typographical error.

6. Concurrency Impact Analysis

- a. Segment 3/4 (US 441 from NW 126th Street to SR 235) is identified as an affected roadway segment. Per Section 2.4.14(H)(2), affected roadway segments include those within ½ mile of the development's ingress/egress. Segment 3/4 is not accessible within ½ mile of the development's ingress/egress, and is therefore not an affected roadway segment. Revise the Concurrency Impact Analysis accordingly.
- b. Page 3: Sentence below Tables 4 and 5 states, "As calculated in Table (sic) 4 and 5, approval of this application will not increase demands on the City potable water and sanitary sewer systems." The project would increase demands on City potable water and sanitary sewer systems, but would not degrade the level of service of such facilities. Revise statement accordingly.
- c. Table 6, Project Solid Waste Impact: Remove information pertaining to number of dwelling units. Project is non-residential in nature and therefore this row is not applicable to this project.

7. Comprehensive Plan Consistency Analysis

- a. Response to Policy 1.5.d.2, FLUE: Verify statements pertaining to PUE locations are accurate.
- b. Response to Objective 1.1., Transportation Element: revise affected roadway segments as needed as further described in comments concerning Concurrency Impact Analysis.

8. Completeness Review Comments

- a. The applicant must address the outstanding completeness review comments, as issued to the applicant in a letter dated November 7, 2016, to Randall S. Olney, P.E., of Causseaux, Hewett, & Walpole, Inc., and as follows:
 - i. Completeness Review Comment #11:
The project proposes the reconfiguration of two tax parcels. The proposed action requires the review of a Lot Split Application.
Action Needed to Address Deficiency: Submit an application for a Lot Split and required attachments for review. The lot split must result in a reconfiguration of the existing parcels that results in no more than two lots.

9. Public Services/Fire Rescue/Outside Engineering Review Comments

- a. The applicant must address the comments provided by Rodolfo Valladares, P.E., Public Services Director, in a memorandum dated December 14, 2016.
- b. The applicant must address the comments provided by Brian Green, Fire Inspector, Alachua County Fire Rescue, in an e-mail dated December 13, 2016.
- c. The applicant must address the comments provided by A.J. "Jay" Brown, Jr., P.E., of JBrown Professional Group, Inc., in a letter dated December 13, 2016.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

Attachments: Memorandum from Rodolfo Valladares, P.E., Public Services Director, dated December 14, 2016
E-mail from Brian Green, Alachua county Fire Rescue, dated December 13, 2016
Letter from A.J. "Jay" Brown, Jr., P.E., JBrown Professional Group, dated December 13, 2016

cc: Kathy Winburn, AICP, Planning & Community Development Director (without attachments)
Adam Hall, AICP, Planner (without attachments)
Project File



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: December 14th, 2016

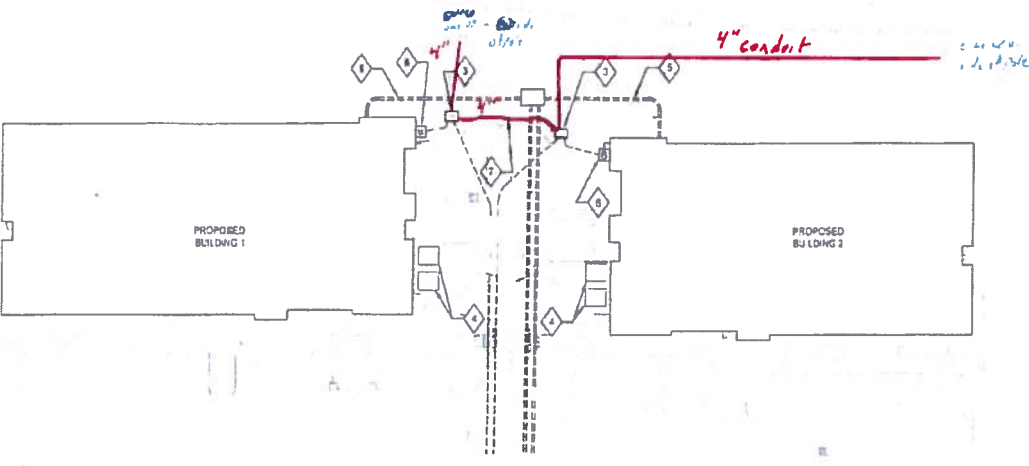
TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. *RSV*
Public Services Director

RE: Copeland Park Phase 1 - Site Plan

Public Services have reviewed the Copeland Park Phase 1 site plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	<u>General Note</u> Reference City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater. <ul style="list-style-type: none">• Provide correct 4-inch tap detail.• Provide correct 5/8-inch meter detail.• Provide correct water valve detail.• Provide correct sanitary manholes detail [Approved as Noted]
2.	<u>Fire Flow Requirements</u> Per <i>Fire Flow Assessment Report Request Form</i> , submitted November 29 th , an analysis confirms that the minimum fire flow capacity at this location exceeds the requested 1,000 gpm capacity for a duration of 2 hours. [FYI; No Response Required]
3.	<u>Wastewater; Sheet C3.10</u> City maintenance ends at edge of P.U.E. [Approved as Noted]
4.	<u>Water; Sheet C3.10</u> City maintenance ends at meter tap to meter to be city's'. Taps for meters should be on existing main close to proposed meters as to not parallel existing main. [Revise and Resubmit]

NO.	COMMENTS
5.	<u>Pipe Fittings; Sheet C3.10</u> Cross fitting are not acceptable. [Revise and Resubmit]
7.	<u>Electrical Site Plan; Sheet E101</u> Primary electric will serve transformers from existing overhead north of proposed buildings; as shown in RED . <div style="text-align: center;"> COUNTY ROAD 2054 / RACHAEL BLVD </div>  <p>[Revise and Resubmit]</p>
8.	<u>Load Calculations</u> Provide for review and approval load calculation. Transformers (1 or 2) will be decided after load is determined. [Revise and Resubmit]
9.	<u>Landscape Plan; Sheet LS 2</u> Proposed landscaping on north side of building must maintain low growth species or maintain 15' from overhead electric facilities. [Provide Confirming Statement]
10.	<u>General Note; Stormwater</u> New storm collection system connects to an existing off-site storm system which discharges to an existing master stormwater management facility. Confirm coordination with stormwater pond owner. [Provide Confirming Statement]
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Justin Tabor – AICP Planner
 Harry Dillard – Lead Engineering Technician

Zimbra

ju_tabor@cityofalachua.org

RE: Plans For Review - Copeland Park Ph. 1 Site Plan

From : Brian Green <bgreen@AlachuaCounty.US>

Tue, Dec 13, 2016 04:25 PM

Subject : RE: Plans For Review - Copeland Park Ph. 1 Site Plan

To : Justin Tabor <jtabor@cityofalachua.org>

Cc : kwinburn <kwinburn@cityofalachua.com>, William P. Whitelock
<wwhitelock@cityofalachua.org>

Justin,

A fire hydrant shall be in within 500 foot of the remote corner of the building. None are shown on the plans.

The size and type of the fire line are to be dictated by the fire protection engineer. No numbers need be on these plans for this line. Size and type of pipe with be provided by the fire protection engineer at time of building review.

Brian Green

Alachua County Fire Rescue

Life Safety / Internal Affairs Branch

352-384-3103 office

352-494-3140 cell

352-384-3157 fax

BGREEN@ALACHUACQUNTY.US



JBrown Professional Group

CIVIL ENGINEERING • LAND SURVEYING • PLANNING

3530 NW 43rd Street • Gainesville, FL 32606 • 352.375.8999 • JBProGroup.com

December 13, 2016

Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
Planning & Community Development
P.O. Box 9
Alachua, FL 32616-0009

Re: Copeland Park – Phase 1
Civil Engineering Review

Dear Mr. Tabor:

As you requested I have reviewed the design drawings for the above referenced project, prepared by CHW, Inc., and dated 11/29/16. I have reviewed the design from an engineering standpoint to provide the City of Alachua an independent civil engineering review. My review comments of the design are provided below.

General

1. The design drawings are very complete. Most of my comments are minor in nature and can easily be addressed.
2. It is recommended that the Post-Development Master Drainage Plan documenting conformance with the Copeland Park Master Drainage System be included in this set of plans. It is an important drawing that should show the overall drainage area, the amount of impervious area previously permitted, and the amount of impervious area included with this development plan, thereby documenting conformance to the originally approved Master Stormwater Permit conditions.
3. Suggest Labeling Building "1" & Building "2" on all applicable sheets.

Sht. C1.00

1. Question the location of several parking lot lights along the main parking lot. There are several light poles that are located right behind or very close to landscape islands and proposed trees. Having the lights spaced better between the landscape islands prevents conflict between grown trees and lights thereby resulting in a better lit parking lot. This should be examined closer by the electrical lighting designer.

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Sht. C2.10

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9. Recommend providing additional spot elevations on the exterior of the two buildings to define the grade immediately exterior to the buildings.

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1. The callouts for the irrigation valves do not point directly to the valve location. Is this normal convention? If not, please correct and point to the valves.

2. The meter and backflow preventer connection location does not match where the connection is shown on Sht. C3.10 and should be relocated to match.
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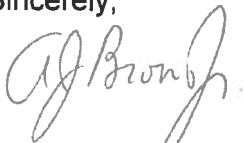
Sht. E-1

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I am happy to be available to City staff or the CHW project manager to discuss these comments if there are any questions. Please let me know if I can provide any other services related to this project.

Sincerely,



A. J. "Jay" Brown, Jr., PE
President, JBrown Professional Group Inc.

City of Alachua

Development Review Team (DRT) Meeting

Project Name: Copeland Park Phase 1 Site Plan

Meeting Date: December 15, 2016 (Applicant Meeting)

PLEASE PRINT CLEARLY

[illegible]

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Copeland Park, Phase 1

APPLICATION TYPE: Site Plan

APPLICANT/AGENT: Randall S. Olney, PE, Causseaux, Hewett, & Walpole, Inc.

PROPERTY OWNERS: ADC Development & Investment Group, LLC

DRT MEETING DATE: December 15, 2016

DRT MEETING TYPE: Applicant

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial (ILW)

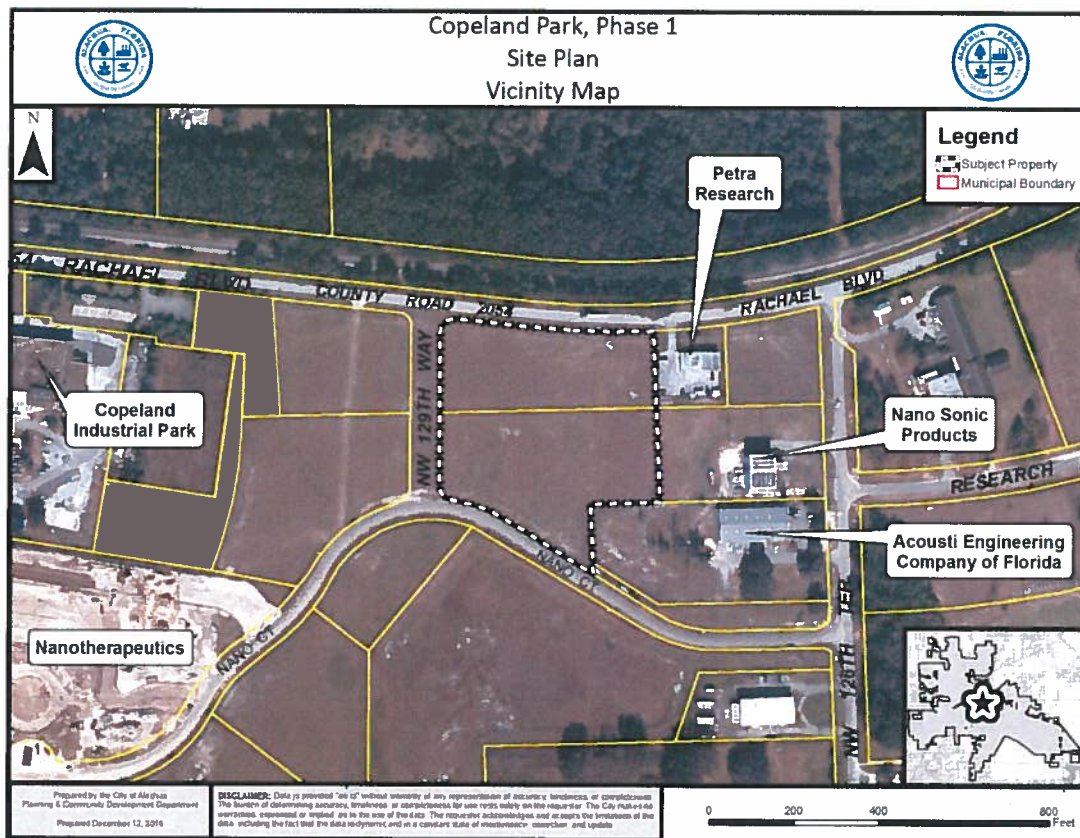
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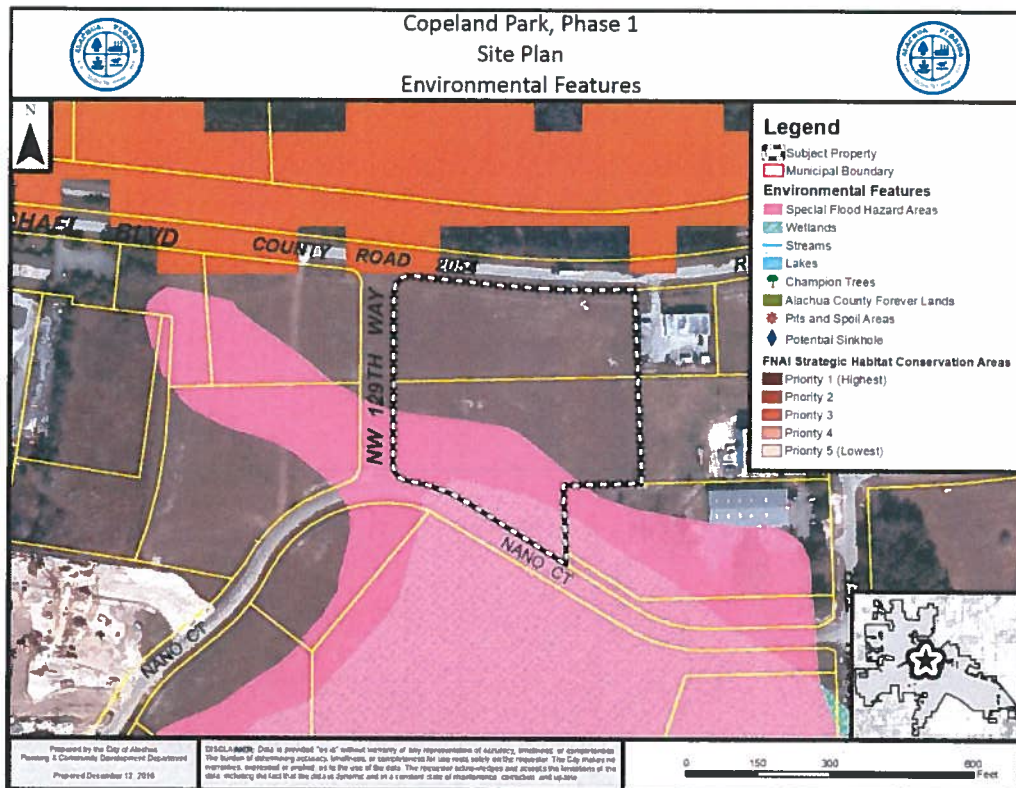
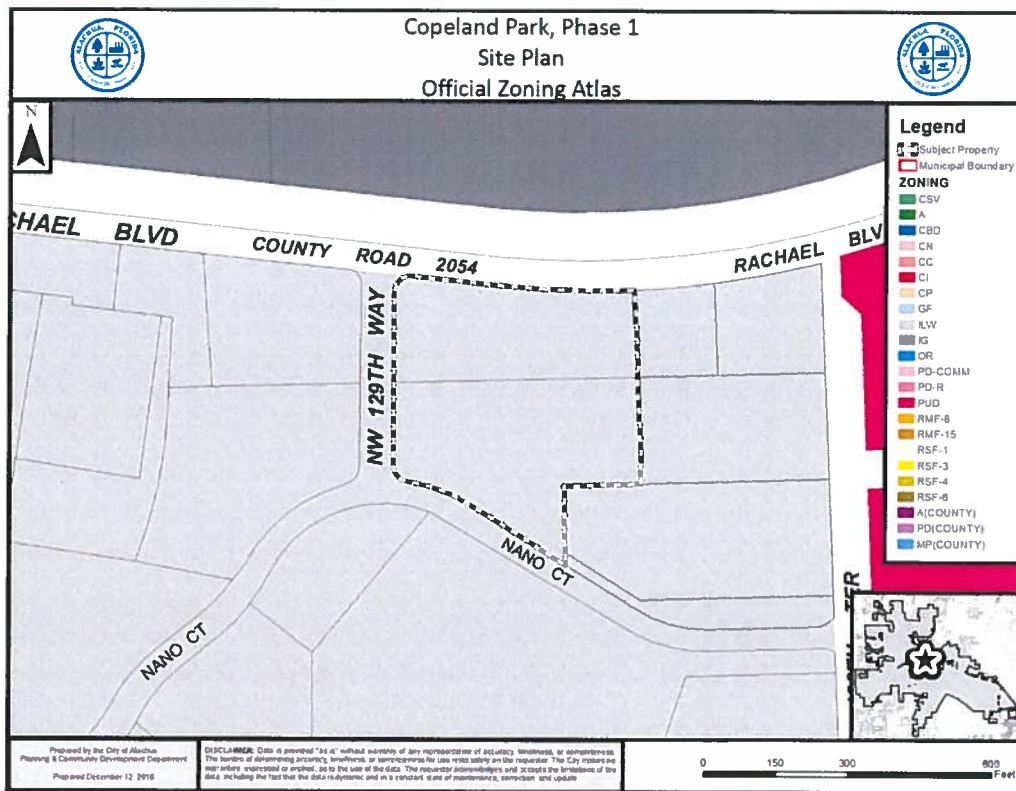
ACREAGE: ±5.26 acres

PARCELS: A portion of 03230-002-000 and a portion of 03927-000-000

PROJECT SUMMARY: A request a Site Plan for the construction of a ±13,330 square foot building and a ±11,750 square foot building, with associated parking, stormwater, utilities, and supporting site improvements

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before **4:00 PM on Wednesday, January 4, 2017.**





Deficiencies to be Addressed

1. Vehicular/Pedestrian Circulation

- a. A sidewalk shall be provided along the subject property's frontage of CR 2054. Reference supporting plans/reports adopted by the City Commission, including:
 - i. Comprehensive Plan: GOPs, including but not limited to: Vision Element: Goal 3; Future Land Use Element: Policy 1.3.d; Transportation Element: Objective 1.4; Policy 1.5.c; Conservation & Open Space Element: Policy 1.13.b;
 - ii. Alachua Market and Economic Impact Development Implementation Plan, dated July 16, 2016 (see page 46).

2. Section 6.2.2, Landscaping Standards

- a. Site landscaping requirements; number of understory trees required in front of buildings: 16 required, only 14 provided. Revise landscape plans accordingly.
- b. Perimeter buffer requirements: Sheet LS-1 states a Type "B" buffer is required, and "Option 1" was selected. Plans call for "Option 2". Revise accordingly.
- c. Site landscaping calculations, required building façade canopy trees: labels of east and west buildings appear to be reversed (the linear feet of building façade between the front building façade and the street should be greater for the west building than that of the east building). Revise accordingly.

3. Section 6.4, Exterior Lighting Standards

- a. Section 6.4.4(A) requires wall mounted lights to have fully shielded luminaires, such as shoebox or can-style fixtures to direct all light downward and to prevent the light source from being visible from a public street.
 - i. Provide cut sheets or other documentation for lighting fixture "W" that demonstrates the fixtures shall have fully shielded luminaires.
- b. Section 6.4.4(F)(3) requires light sources in canopy structures to not extend downward further than the lowest edge of the canopy ceiling (i.e., the light must be recessed). Section 6.4.5(A) also requires lighting fixtures, whether mounted on poles or walls or by or by other means to be no more than 15 feet in height.
 - i. Provide cut sheet or other documentation for lighting fixture "L" that demonstrates the fixture shall not extend below the lowest edge of the canopy ceiling.
 - ii. Identify the mounting height of lighting fixture "L".
- c. Section 6.4.4(F)(1) requires light fixtures in excess of 60 watts or 100 lumens to use full cut-off lenses or hoods.
 - i. Provide cut sheet or other documentation for lighting fixtures "S5" (Qty = 3), "S5" (Qty = 1), and "S3H" that demonstrates the lighting fixtures use full cut-off lenses or hoods.
- d. The lighting schedule calls for two (2) fixtures both labeled "S5", however, the different specifications are provided for each fixture. Verify correct fixture label and revise accordingly.

- e. A fixture is shown on the north end of the service area labeled as "S3", however, no "S3" is called for in the lighting schedule. Revise accordingly.

4. Section 6.5, Signage

- a. Please note that the location of signage is subject to review/approval of a sign permit application.
 - i. The freestanding sign depicted at the site ingress/egress appears to be within 5 feet of the property line [reference Section 6.5.4(D)(3)(a)].
 - ii. The freestanding sign depicted at the site ingress/egress may be within the vision triangle [reference Section 6.5.4(D)(3)(c)].

5. General Comments

- a. Provide legal description(s) and sketch (sketches) of all proposed Public Utilities Easements for infrastructure proposed to be City-maintained, including but not limited to water, wastewater, and electric facilities. Preparation of draft PUEs to be coordinated by the applicant with Compliance and Risk Management Department.
- b. Sheet C0.00; Note 3, Parking Calculations, building square footage: typographical error.

6. Concurrency Impact Analysis

- a. Segment 3/4 (US 441 from NW 126th Street to SR 235) is identified as an affected roadway segment. Per Section 2.4.14(H)(2), affected roadway segments include those within ½ mile of the development's ingress/egress. Segment 3/4 is not accessible within ½ mile of the development's ingress/egress, and is therefore not an affected roadway segment. Revise the Concurrency Impact Analysis accordingly.
- b. Page 3: Sentence below Tables 4 and 5 states, "As calculated in Table (sic) 4 and 5, approval of this application will not increase demands on the City potable water and sanitary sewer systems." The project would increase demands on City potable water and sanitary sewer systems, but would not degrade the level of service of such facilities. Revise statement accordingly.
- c. Table 6, Project Solid Waste Impact: Remove information pertaining to number of dwelling units. Project is non-residential in nature and therefore this row is not applicable to this project.

7. Comprehensive Plan Consistency Analysis

- a. Response to Policy 1.5.d.2, FLUE: Verify statements pertaining to PUE locations are accurate.
- b. Response to Objective 1.1., Transportation Element: revise affected roadway segments as needed as further described in comments concerning Concurrency Impact Analysis.

8. Completeness Review Comments

- a. The applicant must address the outstanding completeness review comments, as issued to the applicant in a letter dated November 7, 2016, to Randall S. Olney, P.E., of Causseaux, Hewett, & Walpole, Inc., and as follows:
 - i. Completeness Review Comment #11:
The project proposes the reconfiguration of two tax parcels. The proposed action requires the review of a Lot Split Application.
Action Needed to Address Deficiency: Submit an application for a Lot Split and required attachments for review. The lot split must result in a reconfiguration of the existing parcels that results in no more than two lots.

9. Public Services/Fire Rescue/Outside Engineering Review Comments

- a. The applicant must address the comments provided by Rodolfo Valladares, P.E., Public Services Director, in a memorandum dated December 14, 2016.
- b. The applicant must address the comments provided by Brian Green, Fire Inspector, Alachua County Fire Rescue, in an e-mail dated December 13, 2016.
- c. The applicant must address the comments provided by A.J. "Jay" Brown, Jr., P.E., of JBrown Professional Group, Inc., in a letter dated December 13, 2016.

**ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE
COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 4:00 PM
ON THE RESUBMISSION DATE OF JANUARY 4, 2017.**



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: December 14th, 2016

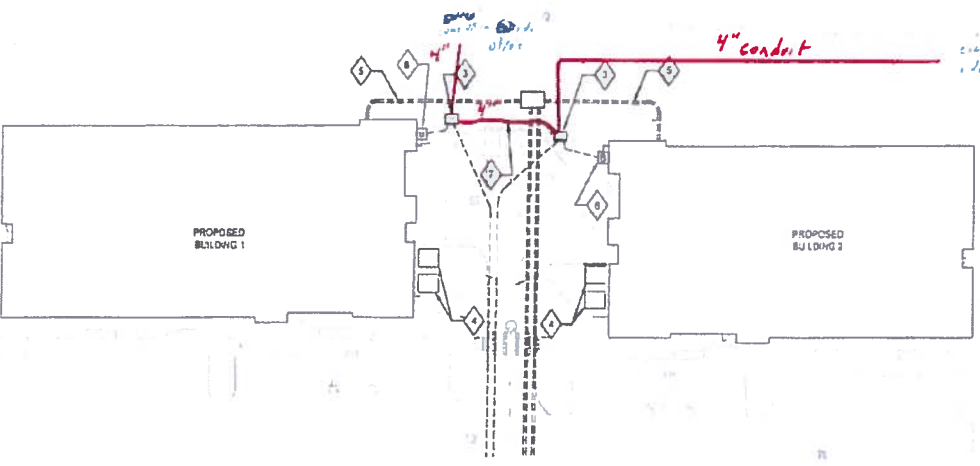
TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. *RSV*
Public Services Director

RE: Copeland Park Phase 1 - Site Plan

Public Services have reviewed the Copeland Park Phase 1 site plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	<u>General Note</u> Reference City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater. <ul style="list-style-type: none">• Provide correct 4-inch tap detail.• Provide correct 5/8-inch meter detail.• Provide correct water valve detail.• Provide correct sanitary manholes detail [Approved as Noted]
2.	<u>Fire Flow Requirements</u> Per <i>Fire Flow Assessment Report Request Form</i> , submitted November 29 th , an analysis confirms that the minimum fire flow capacity at this location exceeds the requested 1,000 gpm capacity for a duration of 2 hours. [FYI; No Response Required]
3.	<u>Wastewater; Sheet C3.10</u> City maintenance ends at edge of P.U.E. [Approved as Noted]
4.	<u>Water; Sheet C3.10</u> City maintenance ends at meter tap to meter to be city's'. Taps for meters should be on existing main close to proposed meters as to not parallel existing main. [Revise and Resubmit]

NO.	COMMENTS
5.	<p><u>Pipe Fittings</u>; Sheet C3.10</p> <p>Cross fitting are not acceptable.</p> <p>[Revise and Resubmit]</p>
	<p><u>Electrical Site Plan</u>; Sheet E101</p> <p>Primary electric will serve transformers from existing overhead north of proposed buildings; as shown in RED.</p> <p>COUNTY ROAD 2054 / RACHAEL BLVD</p>  <p>[Revise and Resubmit]</p>
8.	<p><u>Load Calculations</u></p> <p>Provide for review and approval load calculation.</p> <p>Transformers (1 or 2) will be decided after load is determined.</p> <p>[Revise and Resubmit]</p>
9.	<p><u>Landscape Plan</u>; Sheet LS 2</p> <p>Proposed landscaping on north side of building must maintain low growth species or maintain 15' from overhead electric facilities.</p> <p>[Provide Confirming Statement]</p>
10.	<p><u>General Note</u>; Stormwater</p> <p>New storm collection system connects to an existing off-site storm system which discharges to an existing master stormwater management facility.</p> <p>Confirm coordination with stormwater pond owner.</p> <p>[Provide Confirming Statement]</p>
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Justin Tabor – AICP Planner
Harry Dillard – Lead Engineering Technician

Zimbra

ju_tabor@cityofalachua.org

RE: Plans For Review - Copeland Park Ph. 1 Site Plan

From : Brian Green <bgreen@AlachuaCounty.US>

Tue, Dec 13, 2016 04:25 PM

Subject : RE: Plans For Review - Copeland Park Ph. 1 Site Plan

To : Justin Tabor <jtabor@cityofalachua.org>

Cc : kwinburn <kwinburn@cityofalachua.com>, William P. Whitelock
<wwhitelock@cityofalachua.org>

Justin,

A fire hydrant shall be in within 500 foot of the remote corner of the building. None are shown on the plans.

The size and type of the fire line are to be dictated by the fire protection engineer. No numbers need be on these plans for this line. Size and type of pipe with be provided by the fire protection engineer at time of building review.

Brian Green

*Alachua County Fire Rescue
Life Safety / Internal Affairs Branch
352-384-3103 office
352-494-3140 cell
352-384-3157 fax
BGREEN@ALACHUACQUNTY.US*



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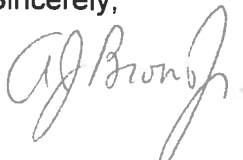
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A. J. "Jay" Brown, Jr., PE
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City of Alachua

Development Review Team (DRT) Meeting

Project Name: Copeland Park, Phase 1, Site Plan

Meeting Date: December 14, 2016 (Staff Meeting)

PLEASE PRINT CLEARLY

[illegible]

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Copeland Park, Phase 1

APPLICATION TYPE: Site Plan

APPLICANT/AGENT: Randall S. Olney, PE, Causseaux, Hewett, & Walpole, Inc.

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DRT MEETING DATE: December 14, 2016

DRT MEETING TYPE: Staff

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ZONING: Light & Warehouse Industrial (ILW)

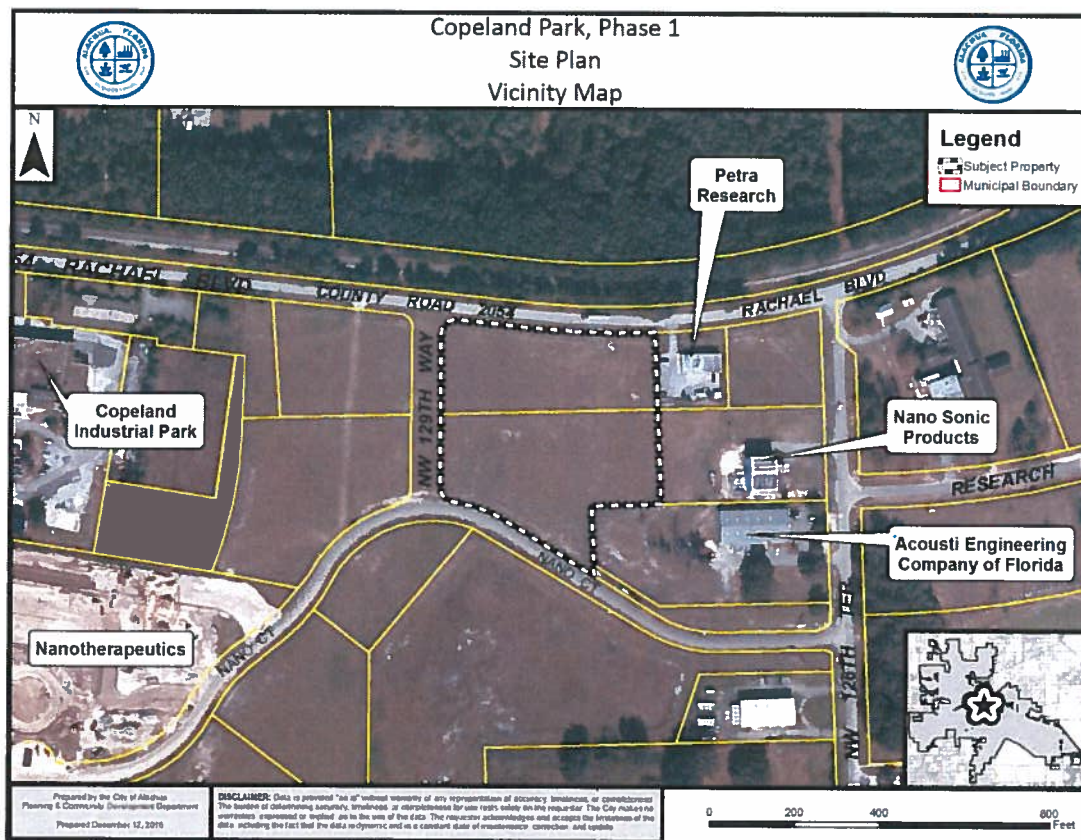
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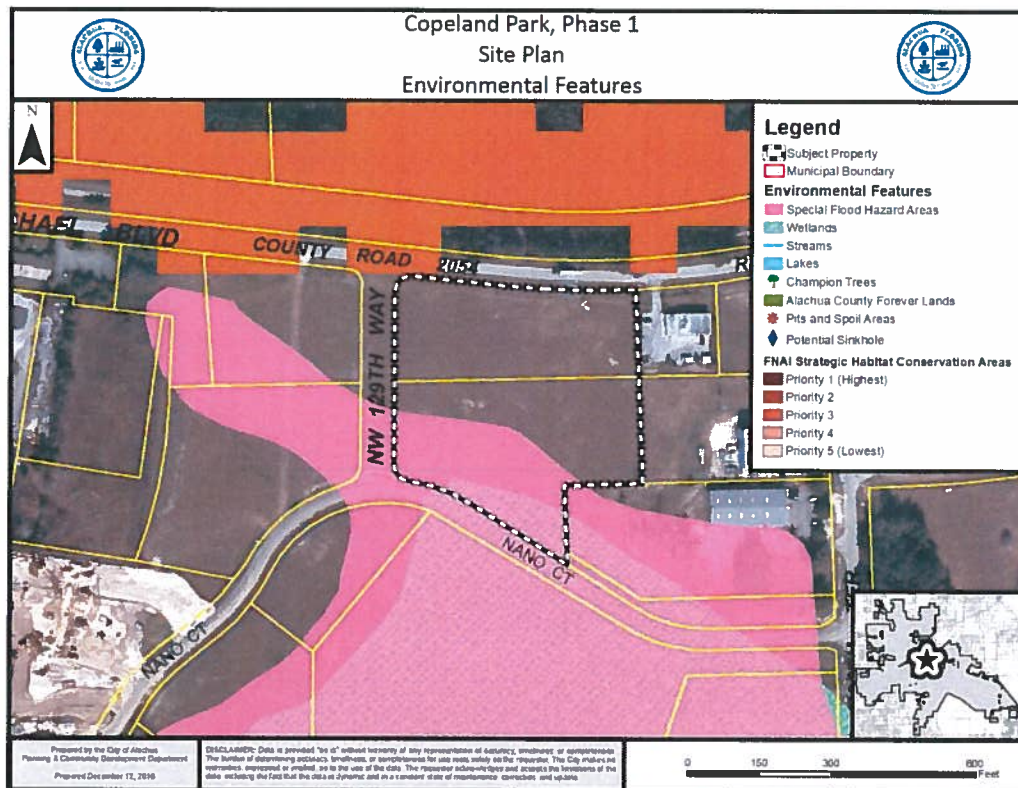
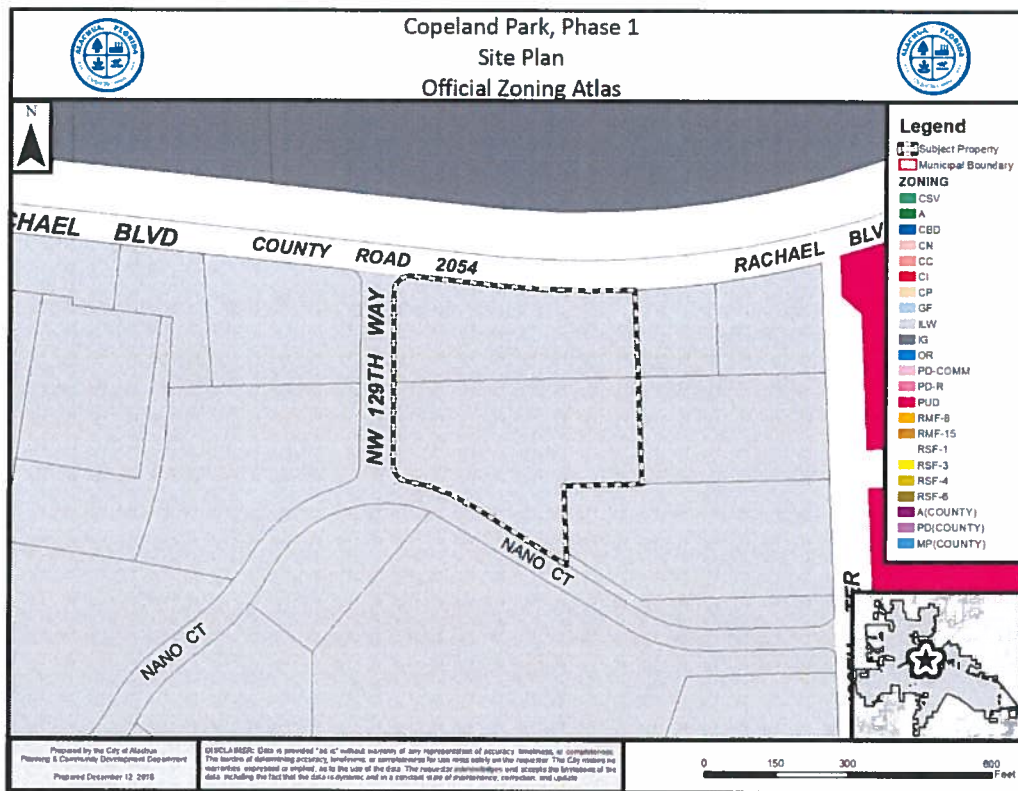
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6. Concurrency Impact Analysis

- a. Segment 3/4 (US 441 from NW 126th Street to SR 235) is identified as an affected roadway segment. Per Section 2.4.14(H)(2), affected roadway segments include those within ½ mile of the development's ingress/egress. Segment 3/4 is not accessible within ½ mile of the development's ingress/egress, and is therefore not an affected roadway segment. Revise the Concurrency Impact Analysis accordingly.
- b. Page 3: Sentence below Tables 4 and 5 states, "As calculated in Table (sic) 4 and 5, approval of this application will not increase demands on the City potable water and sanitary sewer systems." The project would increase demands on City potable water and sanitary sewer systems, but would not degrade the level of service of such facilities. Revise statement accordingly.
- c. Table 6, Project Solid Waste Impact: Remove information pertaining to number of dwelling units. Project is non-residential in nature and therefore this row is not applicable to this project.

7. Comprehensive Plan Consistency Analysis

- a. Response to Policy 1.5.d.2, FLUE: Verify statements pertaining to PUE locations are accurate.
- b. Response to Objective 1.1., Transportation Element: revise affected roadway segments as needed as further described in comments concerning Concurrency Impact Analysis.

8. Completeness Review Comments

- a. The applicant must address the outstanding completeness review comments, as issued to the applicant in a letter dated November 7, 2016, to Randall S. Olney, P.E., of Causseaux, Hewett, & Walpole, Inc., and as follows:

- i. Completeness Review Comment #11:

- The project proposes the reconfiguration of two tax parcels. The proposed action requires the review of a Lot Split Application.

- Action Needed to Address Deficiency:** Submit an application for a Lot Split and required attachments for review. The lot split must result in a reconfiguration of the existing parcels that results in no more than two lots.

9. Public Services/Fire Rescue/Outside Engineering Review Comments

- a. The applicant must address the comments provided by Rodolfo Valladares, P.E., Public Services Director.
- b. The applicant must address the comments provided by Brian Green, Fire Inspector, Alachua County Fire Rescue, in an e-mail dated December 13, 2016.
- c. The applicant must address the comments provided by A.J. "Jay" Brown, Jr., P.E., of JBrown Professional Group, Inc., in a letter dated December 13, 2016.

**ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE
COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 4:00 PM
ON THE RESUBMISSION DATE OF JANUARY 4, 2017.**

Zimbra

ju_tabor@cityofalachua.org

RE: Plans For Review - Copeland Park Ph. 1 Site Plan

From : Brian Green <bgreen@AlachuaCounty.US>

Tue, Dec 13, 2016 04:25 PM

Subject : RE: Plans For Review - Copeland Park Ph. 1 Site Plan

To : Justin Tabor <jtabor@cityofalachua.org>

Cc : kwinburn <kwinburn@cityofalachua.com>, William P. Whitelock
<wwhitelock@cityofalachua.org>

Justin,

A fire hydrant shall be in within 500 foot of the remote corner of the building. None are shown on the plans.

The size and type of the fire line are to be dictated by the fire protection engineer. No numbers need be on these plans for this line. Size and type of pipe with be provided by the fire protection engineer at time of building review.

Brian Green

*Alachua County Fire Rescue
Life Safety / Internal Affairs Branch
352-384-3103 office
352-494-3140 cell
352-384-3157 fax
BGREEN@ALACHUACOUNTY.US*



JBrown Professional Group

CIVIL ENGINEERING • LAND SURVEYING • PLANNING

3530 NW 43rd Street • Gainesville, FL 32606 • 352.375.8999 • JBProGroup.com

December 13, 2016

Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
Planning & Community Development
P.O. Box 9
Alachua, FL 32616-0009

Re: Copeland Park – Phase 1
Civil Engineering Review

Dear Mr. Tabor:

As you requested I have reviewed the design drawings for the above referenced project, prepared by CHW, Inc., and dated 11/29/16. I have reviewed the design from an engineering standpoint to provide the City of Alachua an independent civil engineering review. My review comments of the design are provided below.

General

1. The design drawings are very complete. Most of my comments are minor in nature and can easily be addressed.
2. It is recommended that the Post-Development Master Drainage Plan documenting conformance with the Copeland Park Master Drainage System be included in this set of plans. It is an important drawing that should show the overall drainage area, the amount of impervious area previously permitted, and the amount of impervious area included with this development plan, thereby documenting conformance to the originally approved Master Stormwater Permit conditions.
3. Suggest Labeling Building "1" & Building "2" on all applicable sheets.

Sht. C1.00

1. Question the location of several parking lot lights along the main parking lot. There are several light poles that are located right behind or very close to landscape islands and proposed trees. Having the lights spaced better between the landscape islands prevents conflict between grown trees and lights thereby resulting in a better lit parking lot. This should be examined closer by the electrical lighting designer.

Sht. C1.20

1. Handrails should be added for the stairs along the sidewalk near the Accessible switchback ramp.
2. The spot grades in the sidewalk directly south of the entrance to Building 1 (West Bldg.) appear to be off, most likely a typo. Correct either the 78.50 or the 78.27.

3. A spot grade in the sidewalk directly south of the middle of Building 2 appears to be a typo. Correct the 78.25 to 78.75.

Sht. C2.10

1. Suggest strongly eliminating the valley gutter along NW 129th Way @ the driveway connection. The slope along the driveway is over 2.0%, which is enough grade to make spillout curb transitions work on each side. Where feasible it is desired to eliminate the valley gutter as a long term maintenance issue.
2. Can not read spot elev. in SW corner parking space due to wheel stops. Not sure if it is a typo or not. Please clarify.
3. The 77 & 78 contours at the west building entrance on Building 1 do not tie into the sidewalk properly.
4. The spot grades in the sidewalk directly south of the entrance to Building 1 (West Bldg.) appear to be off, most likely a typo. Correct either the 78.50 or the 78.27.
5. A spot grade in the sidewalk directly south of the middle of Building 2 appears to be a typo. Correct the 78.25 to 78.75.
6. Suggest labeling the slope on the slopes tying to natural grade south of the parking lot and north of the buildings. The slopes appear to be designed at 4:1, which is very appropriate.
7. Consideration should be given to adding a back of sidewalk storm inlet at the northwest corner of the site behind the existing curb inlet, where the northern swale that runs east to west discharges. This swale discharges to NW 129th Way via overland flow over the sidewalk and is more concentrated than in post-development conditions. There are no downspouts or roofdrain connections shown, but if all of the building roofdrain water is planned to discharge into the northern 8" HDP stormdrain lines then this may not be necessary.
8. The northern east-west swale runs right through the location of the monument sign. Either move the monument sign or relocate the swale alignment to avoid it.
9. Recommend providing additional spot elevations on the exterior of the two buildings to define the grade immediately exterior to the buildings.

Sht. C3.10

1. Identify the size of the existing city water main being tied into.
2. I find it very rare that a 4" fire services is used. Especially with this being used for fire protection for 2 buildings. Consider a 6" connection for the fire line & sprinkler system, if it is not designed yet. This should be verified with a fire line design company.
3. Denote 2" PVC WM for the water meter bank header pipe.
4. The water fitting callouts for the meter banks may be missing the callouts for the outer bends and meter connections.

Sht. IR-2

1. The callouts for the irrigation valves do not point directly to the valve location. Is this normal convention? If not, please correct and point to the valves.

2. The meter and backflow preventer connection location does not match where the connection is shown on Sht. C3.10 and should be relocated to match.
3. The size of the main line is shown in the Irrigation legend, yet it would be nice to see the main pipe size shown on the Irrigation Plans also.

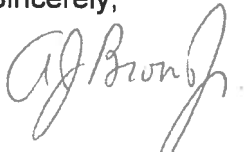
Sht. E-1

4. Question the location of several parking lot lights along the main parking lot. There are several light poles that are located right behind or very close to landscape islands and proposed trees. Having the lights spaced better between the landscape islands prevents conflict between grown trees and lights thereby resulting in a better lit parking lot. This should be examined closer by the electrical lighting designer.

I would also point out that I confined my review to only the drawings I was provided. I did not receive a stormwater report or any stormwater management design drawings. Therefore, I could not review the stormwater design aspects of the project. I am sure the project will go through review with SRWMD and that should satisfy the City of Alachua stormwater concerns. However, if you would also like us to review the stormwater design on the City's behalf we would need to be provided with the stormwater design report and drawings.

I am happy to be available to City staff or the CHW project manager to discuss these comments if there are any questions. Please let me know if I can provide any other services related to this project.

Sincerely,



A. J. "Jay" Brown, Jr., PE
President, JBrown Professional Group Inc.



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: December 14th, 2016

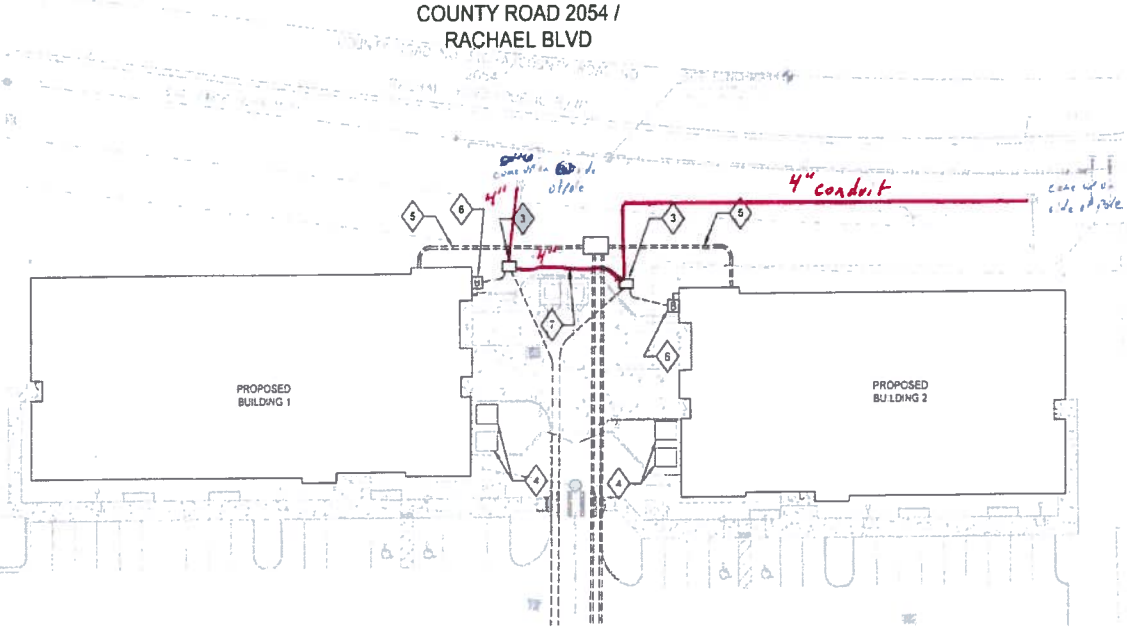
TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. *RSV*
Public Services Director

RE: Copeland Park Phase 1 - Site Plan

Public Services have reviewed the Copeland Park Phase 1 site plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	<u>General Note</u> Reference City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater. <ul style="list-style-type: none">• Provide correct 4-inch tap detail.• Provide correct 5/8-inch meter detail.• Provide correct water valve detail.• Provide correct sanitary manholes detail [Approved as Noted]
2.	<u>Fire Flow Requirements</u> Per <i>Fire Flow Assessment Report Request Form</i> , submitted November 29 th , an analysis confirms that the minimum fire flow capacity at this location exceeds the requested 1,000 gpm capacity for a duration of 2 hours. [FYI; No Response Required]
3.	<u>Wastewater</u> ; Sheet C3.10 City maintenance ends at edge of P.U.E. [Approved as Noted]
4.	<u>Water</u> ; Sheet C3.10 City maintenance ends at meter tap to meter to be city's'. Taps for meters should be on existing main close to proposed meters as to not parallel existing main. [Revise and Resubmit]

NO.	COMMENTS
5.	<u>Pipe Fittings</u> ; Sheet C3.10 Cross fitting are not acceptable. [Revise and Resubmit]
7.	<u>Electrical Site Plan</u> ; Sheet E101 Primary electric will serve transformers from existing overhead north of proposed buildings; as shown in RED .  [Revise and Resubmit]
8.	<u>Load Calculations</u> Provide for review and approval load calculation. Transformers (1 or 2) will be decided after load is determined. [Revise and Resubmit]
9.	<u>Landscape Plan</u> ; Sheet LS-2 Proposed landscaping on north side of building must maintain low growth species or maintain 15' from overhead electric facilities. [Provide Confirming Statement]
10.	<u>General Note</u> ; Stormwater New storm collection system connects to an existing off-site storm system which discharges to an existing master stormwater management facility. Confirm coordination with stormwater pond owner. [Provide Confirming Statement]
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Justin Tabor – AICP Planner
 Harry Dillard – Lead Engineering Technician



JBrown Professional Group

CIVIL ENGINEERING • LAND SURVEYING • PLANNING

3530 NW 43rd Street • Gainesville, FL 32606 • 352.375.8999 • JBProGroup.com

December 13, 2016

Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
Planning & Community Development
P.O. Box 9
Alachua, FL 32616-0009

IVED
DEC 13 2016
Per JE

Re: Copeland Park – Phase 1
Civil Engineering Review

Dear Mr. Tabor:

As you requested I have reviewed the design drawings for the above referenced project, prepared by CHW, Inc., and dated 11/29/16. I have reviewed the design from an engineering standpoint to provide the City of Alachua an independent civil engineering review. My review comments of the design are provided below.

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2. It is recommended that the Post-Development Master Drainage Plan documenting conformance with the Copeland Park Master Drainage System be included in this set of plans. It is an important drawing that should show the overall drainage area, the amount of impervious area previously permitted, and the amount of impervious area included with this development plan, thereby documenting conformance to the originally approved Master Stormwater Permit conditions.
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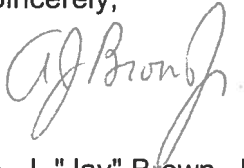
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I am happy to be available to City staff or the CHW project manager to discuss these comments if there are any questions. Please let me know if I can provide any other services related to this project.

Sincerely,

A handwritten signature in cursive script, appearing to read "A. J. Brown Jr.", written in dark ink.

A. J. "Jay" Brown, Jr., PE
President, JBrown Professional Group Inc.



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

December 5, 2016

VIA HAND DELIVERY

Mr. A.J. "Jay" Brown, Jr., P.E.
President
3530 NW 43rd Street
Gainesville, FL 32606

RE: Review of Copeland Park, Phase 1 – Site Plan

Dear Mr. Brown:

The City of Alachua Planning & Community Development Department requests your firm conduct an **engineering review** of the referenced Site Plan.

Please provide comments by **12:00 PM on Tuesday, December 13, 2016**, so that your comments may be incorporated into the City's review of this application.

If you have any questions regarding this application, please contact me at 386-418-6100 x 107.

Sincerely,

Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director
Project File



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

INTER-OFFICE COMMUNICATION

Date: December 5, 2016
To: Development Review Team (DRT) Members
From: Justin Tabor, AICP, Principal Planner
Re: Copeland Park, Phase 1: Site Plan

Development Review Team (DRT) Meetings are scheduled to discuss the following project:

Copeland Park, Phase 1
SITE PLAN

Plans are accessible via the X: Drive at: X:\Planning and Community
Development\Planning Division\Development Applications\Site Plans\Copeland Park
SP\Submittals\2016_11_29

Please provide written comments concerning the application no later than:

TUESDAY, DECEMBER 13, 2016

STAFF DRT MEETING:

WEDNESDAY, DECEMBER 14, 2016, @ 11:00 AM in the Planning Conference Room.

APPLICANT DRT MEETING:

THURSDAY, DECEMBER 15, 2016, @ 10:00 AM in the Planning Conference Room.

Received by:

Please sign and print name

Date

On behalf of:

Re: Completeness Review - Copeland Park Phase I Site Plan

From : Justin Tabor <jtabor@cityofalachua.com>

Mon, Dec 05, 2016 09:12 AM

Subject : Re: Completeness Review - Copeland Park Phase I Site Plan**To :** randyo <randyo@chw-inc.com>

Randy,

On November 29, the City received your revised application submittal of the Copeland Park Phase I Site Plan. It appears that the revised application addresses most of the completeness review comments, as issued in a letter dated November 7, 2016. However, we did not receive the application for a Lot Split (reference comment 11 of the 11/7/16 letter). Your response letter states that the Lot Split Application will be provided under separate cover, but it has not yet been submitted to the City.

Could you please advise of when you plan to submit the Lot Split Application? The Lot Split Application must be received in order for the the Site Plan application to be considered complete, and for review of the Site Plan application to begin.

Please let me know if you have any questions.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

City Hall Hours of Operation

Monday - Thursday, 7:30 AM - 6:00 PM

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: "Justin Tabor" <jtabor@cityofalachua.com>**To:** "randyo" <randyo@chw-inc.com>**Sent:** Tuesday, November 15, 2016 4:14:12 PM**Subject:** Re: Completeness Review - Copeland Park Phase I Site Plan

Randy,

Please see the attached application for a Lot Split. The fee for a lot split is \$200 and can be reviewed concurrently with your Site Plan Application. Lot splits are approved administratively.

Please let me know if you have any questions.

Sincerely,

Justin Tabor, AICP

Principal Planner
City of Alachua
15100 NW 142nd Terrace | PO Box 9
Alachua, Florida 32616
386.418.6100 x 107 | fax: 386.418.6130
jtabor@cityofalachua.com

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From: "Justin Tabor" <jtabor@cityofalachua.com>
To: "randyo" <randyo@chw-inc.com>
Sent: Monday, November 7, 2016 12:40:44 PM
Subject: Completeness Review - Copeland Park Phase I Site Plan

Randy,

Please see the attached letter concerning the completeness review of the Site Plan Application for Copeland Park Phase I submitted on 10/31/16.

Some of the needed revisions will require corrections to the plans/application materials. If you would like for the plans to be returned to you to reduce work/cost associated with reprinting, let me know. We will retain 1 copy of the plans, and return the other 8 copies.

Sincerely,

Justin Tabor, AICP

Principal Planner
City of Alachua
15100 NW 142nd Terrace | PO Box 9
Alachua, Florida 32616
386.418.6100 x 107 | fax: 386.418.6130
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City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

November 7, 2016

Mr. Randall S. Olney, P.E.
Causseaux, Hewett, & Walpole, Inc.
132 NW 76th Drive
Gainesville, FL 32607

RE: Completeness Review of Copeland Park Phase I – Site Plan

Dear Mr. Olney:

On October 31, 2016, the City of Alachua received your application for a Site Plan for Copeland Park Phase I, which proposes the construction of two (2) buildings, a ±13,300 square foot building and a ±11,750 square foot building, with associated paving, grading, drainage and utility infrastructure improvements on a ±5.26 acre subject property, located south of County Road 2054 (also known as Rachael Boulevard), east of NW 129th Way, and north of Nano Court, consisting of a portion of Tax Parcel Number 03230-002-0000 and a portion of Tax Parcel Number 3927-000-000.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. **The time frame and cycle for review shall be based upon the date the application is determined to be complete.** If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the application shall be considered withdrawn.

The comments below are based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will be performed, and the findings of the in-depth review will be discussed at a Development Review Team (DRT) Meeting, which will be scheduled after the application is determined to be complete.

In order to provide a complete application, you must address the following:

1. **Site Plan Application, Section A.1., Project Name:** There are numerous references throughout the application materials to the project as "Copeland Park" and "Copeland Park Phase I".

Action Needed to Address Deficiency: Inconsistencies throughout the plans and the application materials must be resolved. Also note an existing development exists to the west of the project site along Rachel Boulevard, and is commonly referred to as "Copeland

Industrial Park". The applicant should distinguish the name of this project from the existing development.

2. **Site Plan Application, Section A.3., Parcel ID Numbers:** The project consists of a portion of Tax Parcel Number 03230-002-000 and a portion of Tax Parcel Number 03927-000-000. The Site Plan Application indicates the Parcel ID Numbers are "Portion of 03230-002-000 & 03927-000-000".

Action Needed to Address Deficiency: Revise application to clarify the project consists of a portion of Tax Parcel Number 03230-002-000 and a portion of Tax Parcel Number 03927-000-000. Ensure any other references within application materials are clarified as needed.

3. **Required Attachment #1.a.:** Name, location, **owner**, and designer of proposed development.

Action Needed to Address Deficiency: The property owner is not identified on Sheet C0.00. Identify the property owner on Sheet C0.00.

4. **Required Attachment #1.c:** Vicinity map – indicating the general location of the site and **all abutting streets** and properties.

Action Needed to Address Deficiency: NW 126th Way and Nano Court are not identified on the location map. Identify the location of NW 126th Way and Nano Court.

5. **Required Attachment #1.j.:** Access and points of connection to utilities (**electric**, potable water, sanitary sewer, gas, etc.)

Action Needed to Address Deficiency: Electric plans not provided. Provide electric system plans which show the existing electric system, points of connection to existing electric system, and proposed electric infrastructure.

6. **Required Attachment #1.l.:** Location, size, and design of proposed landscaped areas (including existing trees and required landscape buffer areas) with detail illustrating compliance with Section 6.2.2 of the Land Development Regulations.

Action Needed to Address Deficiency: (1) Landscape Plans define a "project boundary" this is not inclusive of the entire subject property. Required landscaping, and associated calculations, must be inclusive of the entire project site (i.e., subject property). Revise landscape calculations and plans accordingly. (2) No perimeter buffers are provided for the south and west property lines. Provide calculations of required perimeter buffers on the south and west perimeters.

7. **Required Attachment #1.o.:** Location of waste receptacles and **detail of waste receptacle screening**.

Action Needed to Address Deficiency: Detail of waste receptacle screening depicts only the front of screen wall. Provide detail of side wall screening waste receptacle to demonstrate compliance with Section 6.2.3(B.)

8. **Required Attachment #3:** Fire Department Access and Water Supply:

Action Needed to Address Deficiency: (1) Fire flow calculations submitted were not signed and sealed. Provide signed and sealed calculations. (2) Hydrant Flow Test Report references two hydrants: Nano Court Hydrant; and NW 126th Terrace Hydrant. Exact location of hydrants is not apparent. Clarify the location of each hydrant in the report and/or provide a drawing that depicts the location of each hydrant relative to the subject property. (3) Provide documentation from the local water purveyor (City of Alachua Public Services) verifying the hydrant flow test report is an acceptable method to determine existing flow.

9. **Required Attachment #7:** Neighborhood Meeting Materials

Action Needed to Address Deficiency: The copy of the written notice of the Neighborhood Meeting does not include the mailing labels or a list of those who received the notice. Attach to the written notice a copy of mailing labels or a list of those who received the notice of the Neighborhood Meeting (in addition to the set of mailing labels provided for public hearing notice requirements).

10. **Required Attachment #11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

Action Needed to Address Deficiency: Provide ERP, Letter of Exemption, Self-Certification, or proof that an application for one or more of these has been applied for to the SRWMD.

Additional Comments

11. The project proposes the reconfiguration of two tax parcels. The proposed action requires the review of a Lot Split Application.

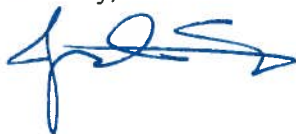
Action Needed to Address Deficiency: Submit an application for a Lot Split and required attachments for review. The lot split must result in a reconfiguration of the existing parcels that results in no more than two lots.

12. (1) Architectural Plans do not identify all proposed building materials. (2) Clarification is needed concerning certain building materials identified on the plans

Action Needed to Address Deficiency: (1) Label all proposed building materials. (2) Clearly identify all glazing (windows and glass doors, if applicable). (3) Clarify if "CMU wall with textured finish" refers to a "split face" product or if "textured finish" refers to a stucco-type finish to be applied to the wall. (4) Provide and depict detail of north/south screen wall elevations.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director
Adam Hall, AICP, Planner
Project File