



# City of Alachua

TRACI L. GRESHAM  
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR KATHY WINBURN, AICP

February 21, 2017

Also sent by electronic mail to [chrisg@gmuereng.com](mailto:chrisg@gmuereng.com)

Christopher Gmuer, PE  
Gmuer Engineering, Inc.  
2603 NW 13<sup>th</sup> Street  
Box 314  
Gainesville, FL 32609

RE: Development Review Team (DRT) Summary for:  
Farm Bureau Insurance (Site Plan)

Dear Mr Gmuer:

On February 7, 2017 the City of Alachua received your revised application for the approval of a Site Plan for the development located on NW 167<sup>th</sup> Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a ±1.66 acre subject property. A meeting was held on January 24, 2017 to discuss these items.

The application has been reviewed for compliance with the applicable review standards, including the City's Comprehensive Plan and Land Development Regulations (LDRs) and comments provided at the January 24, 2017 Development Review Team (DRT) meeting. Based upon Staff's review, the application may be scheduled for a public hearing before the Planning and Zoning Board, however, revisions must be made to the application to address outstanding DRT comments. Failure to adequately address these comments may delay your application to a future Planning and Zoning Board date and require additional costs for re-advertising the public hearing. Please address all insufficiencies outlined below in writing and provide 13 *double-sided, three-hole punched sets* of each application package and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*. Deadline for submission of revised application materials is **4:00 p.m., Monday, February 27, 2017**.

Please address the following comments:

***Previous DRT Comments:***

Unless otherwise noted, references to code Sections refer to City of Alachua Land Development Regulations.

**B. Land Rights Issues**

2. If wastewater line is relocated to eastern property boundary, a 30 foot public utility easement along his boundary will be required.

D. Development Standards

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District
  - d. To demonstrate compliance with 3.7.2 (C) (5) (vi), please identify, on the architectural elevations, the accent materials referenced in application materials. Articulated cornice lines must be along entire top of building in order to be considered for a contributing architectural element. Please provide breakdown of cladding materials with per-cent totals on architectural elevation plans showing façade is at least 30% brick in order to claim for a contributing architectural element.
6. Section 6.8- Design Standards for Business Uses
  - d. Location and screening method (with detail or narrative) for mechanical equipment must be shown on site plan.

***New Comments:***

The comments below are based on the revisions submitted with the updated application.

1. Sheet C-000 Legal Description does not match legal description shown on attached Survey.
2. The eastern boundary of the proposed paved parking area is required to have a shrub buffer or other acceptable buffer per Section 6.2.2 (D) (2) (b).
3. Current Site Plan Sheet does not reflect any changes from previous submission.
4. Floor to Area ratio and impervious/ lot coverage ratios must be recalculated based on new lot size.
5. Apply new property boundary to all sheets.
6. Generally, some sheets have issues with overlapping labels and lines with similar style and weight in close proximity to each other.
7. Site Plan application sheet should be updated to reflect new property line.
8. An easement will be required along the property's western boundary (along NW 167<sup>th</sup> Boulevard), if this easement is not granted by the current property owner before transfer of property. The sketch and legal description of this easement has been attached to this letter.
9. Please see electric connection design comments from Public Services attached to this letter.

Please address all insufficiencies outlined above in writing and provide 13 *double-sided, three-hole punched sets* of each application package and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*. Deadline for submission of revised application materials is **4:00 p.m., Monday, February 27, 2017**.

Please note that if the submitted revised application does not adequately address all outstanding comments, the application may be delayed to a future Planning and Zoning Board meeting, and the applicant shall be responsible for all costs associated with re-advertising the public hearing.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 108 or via e-mail at [ahall@cityofalachua.com](mailto:ahall@cityofalachua.com). We look forward to receiving your revised application.

Sincerely,



Adam Hall, AICP  
Planner

cc: Kathy Winburn, AICP, Planning & Community Development Director  
Justin Tabor, AICP, Principal Planner  
Project File



## City of Alachua

TRACI L. GRESHAM  
CITY MANAGER

RODOLFO VALLADARES, P.E.  
PUBLIC SERVICES DIRECTOR

### INTER-OFFICE COMMUNICATION

**DATE:** February 16<sup>th</sup>, 2017

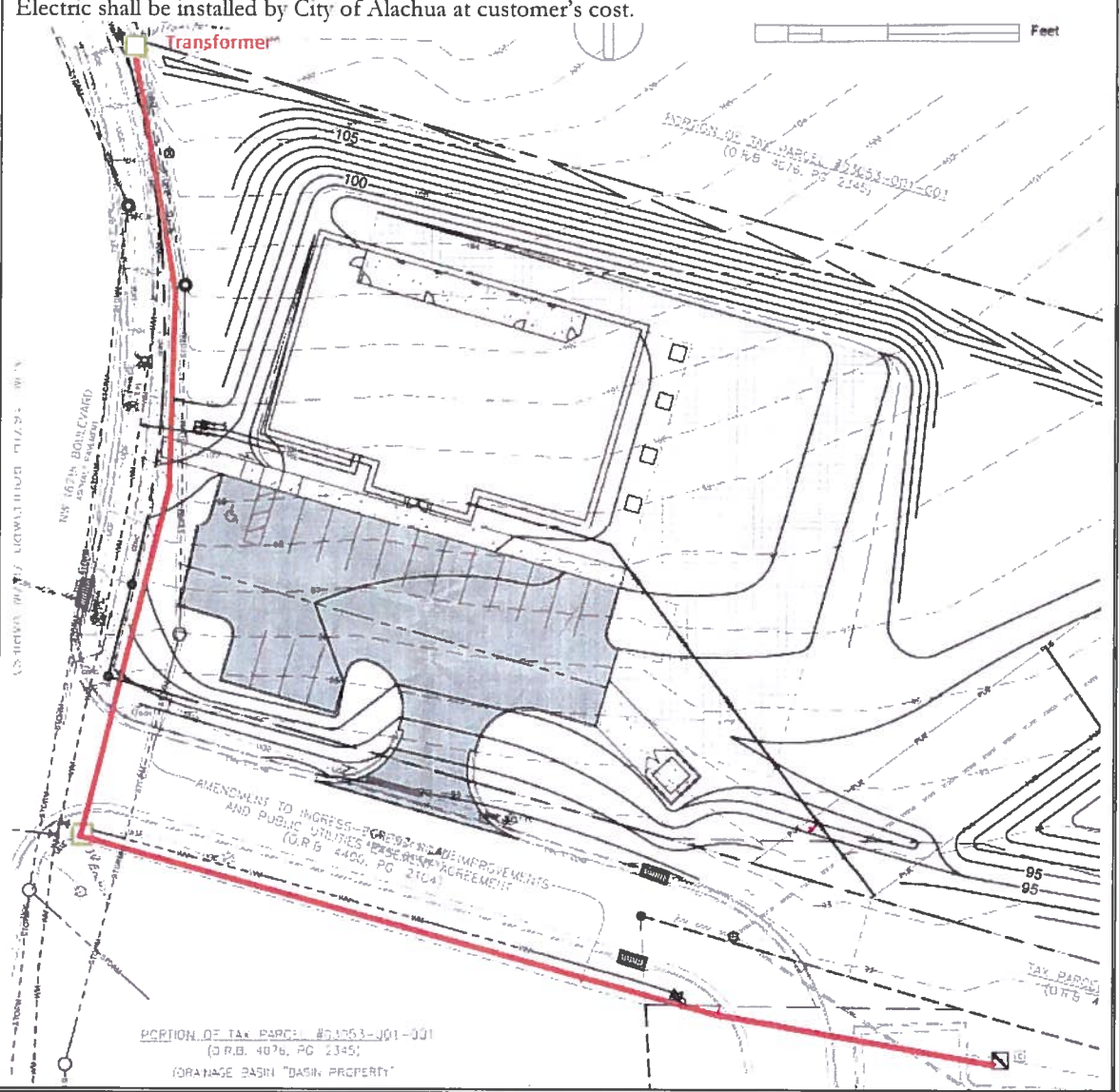
**TO:** Kathy Winburn, AICP  
Planning & Community Development Director

**FROM:** Rodolfo Valladares, P.E.   
Public Services Director

**RE:** Farm Bureau Insurance Site Plans

Public Services have reviewed the Farm Bureau Insurance Site Plans and offer the following comments. Review was specific to the Public Services Utilities.

| NO. | COMMENTS  |
|-----|---|
| 1.  | <u>General Note.</u><br>Reference <i>City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater</i> . Requirements and details may be found on City website.<br>Water Meter Assembly shall be in accordance with City standard details.<br>Waste Water Service Lateral shall be in accordance with City standard details.<br>[Approved as Noted]<br><br>[No Response Required.]<br>Drawing annotates brass packing. As per City Standards, no brass pack joint coupling will be acceptable. |
| 2.  | <u>Wastewater</u> ; sheet C-200.<br>Cleanout and collar shall be installed at the edge of P.U.E.<br>[Approved as Noted]<br><br>[No Response Required.]  |
| 3.  | <u>Wastewater</u> ; sheet C-200.<br>Provide dog house manhole connection when connecting to City gravity main.<br>[Approved as Noted]<br><br>[No Response Required.]<br>Comment to be disregarded.  |
| 4.  | <u>Water</u> ; sheet C-200.<br>8" x 4" tap by City approved contractor.<br>[Approved as Noted]<br><br>[No Response Required.]   |

| NO.             | COMMENTS   |
|-----------------|--|
| 5.              | <p>Water: sheet C-200.<br/> Water meter shall be located within P.U.E. for water meter main area.<br/> [Approved as Noted]</p> <p>[No Response Required.]</p>  |
| 6.              | <p><u>Electric:</u><br/> Electric to be installed as shown below with source from existing transformer behind Hungry Howie's to new transformer located in northwest corner.<br/> Provide PUEs as required.<br/> Electric shall be installed by City of Alachua at customer's cost.</p>  |
| END OF COMMENTS |  |

Please advise if you have any questions or require additional information.

cc: Adam Hall – AICP Planner  
Harry Dillard – Lead Engineering Technician



engineers • surveyors • planners, inc.

November 7, 2016

#### Legal Description

#### Utility Easement No. 2 – Alachua Gateway

A portion of Section 9, Township 8 South, Range 18 East, Alachua County, Florida; being more particularly described as follows:

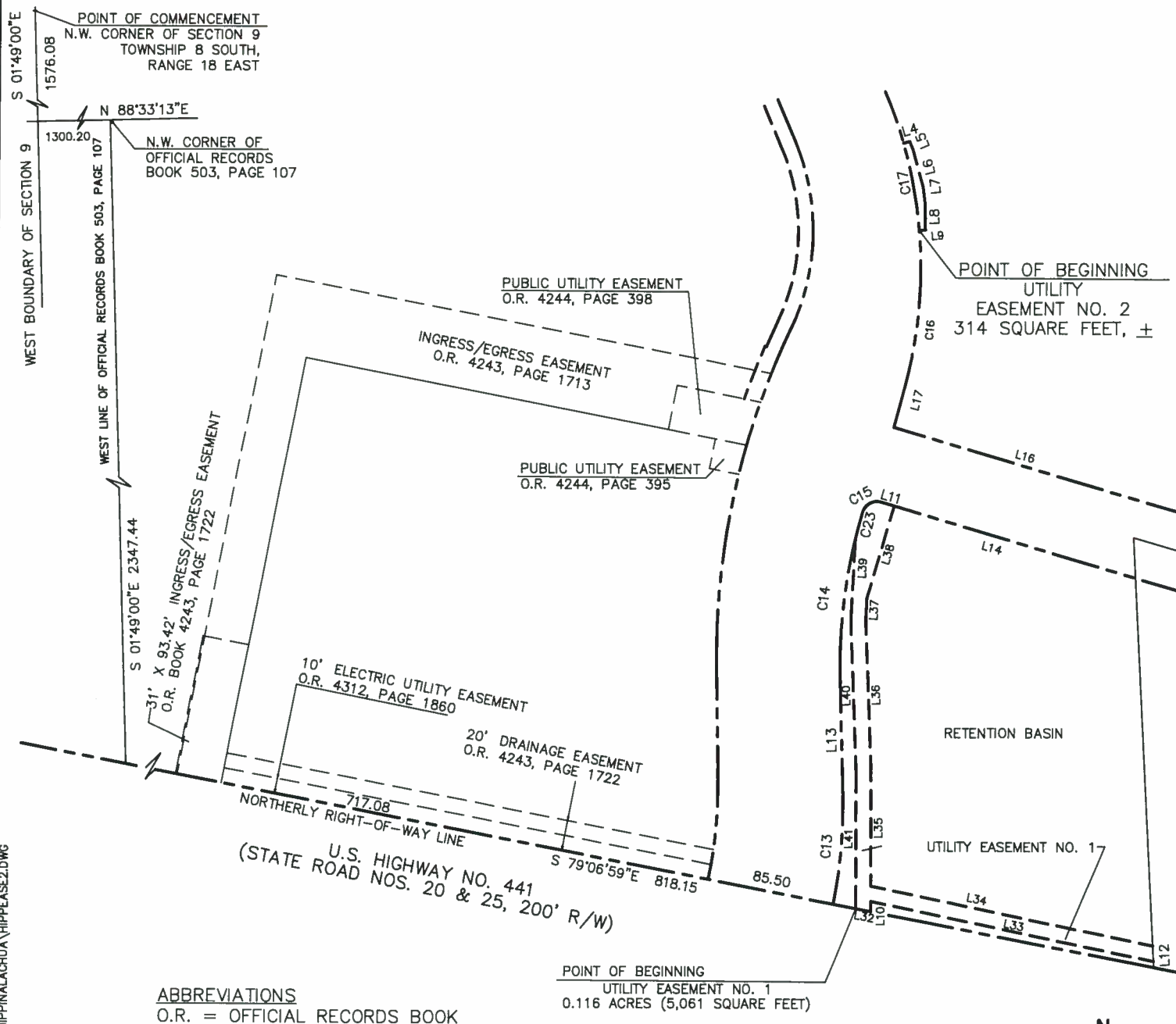
Commence at the northwest corner of Section 9, Township 8 South, Range 18 East, Alachua County, Florida, and run thence South  $01^{\circ}49'00''$  East, along the west boundary of said Section, 1576.08 feet; thence North  $88^{\circ}33'13''$  East, 1300.20 feet to the northwest corner of that certain tract of land as described in Official Records Book 503, page 107 of the Public Records of Alachua County, Florida; thence South  $01^{\circ}49'00''$  East, along the west line of said certain tract of land, 2347.44 feet to a point on the northerly right of way line of U.S. Highway No. 441 (State Road Nos. 20 & 25, 200' R/W); thence South  $79^{\circ}06'59''$  East, along said right of way line, 802.58 feet to a point lying on the arc of a curve, concave westerly, having a radius of 337.01 feet; thence northerly, along the arc of said curve, through a central angle of  $12^{\circ}47'39''$ , an arc distance of 75.25 feet to the end of said curve, said arc being subtended by a chord having a bearing and distance of North  $04^{\circ}34'53''$  East, 75.10 feet; thence North  $01^{\circ}49'02''$  West, 74.48 feet to the beginning of a curve, concave easterly, having a radius of 352.50 feet; thence northerly, along the arc of said curve, through a central angle of  $18^{\circ}19'21''$ , an arc distance of 112.73 feet, said arc being subtended by a chord having a bearing and distance of North  $07^{\circ}20'38''$  East, 112.25 feet to the end of said curve and the beginning of a curve concave southeasterly having a radius of 10.00 feet; thence northeasterly, along the arc of said, curve, through a central angle of  $89^{\circ}43'19''$ , an arc distance of 15.66 feet to the end of said curve, said arc being subtended by a chord having a bearing and distance of North  $61^{\circ}21'58''$  East, 14.11 feet; thence South  $73^{\circ}46'22''$  East, 176.75 feet; thence North  $16^{\circ}13'38''$  East, 50.00 feet; thence North  $73^{\circ}46'22''$  West, 182.80 feet; thence North  $14^{\circ}44'53''$  East, 28.60 feet to the beginning of a curve, concave westerly, having a radius of 301.00 feet; thence northerly, along the arc of said curve, through a central angle of  $19^{\circ}48'09''$ , an arc distance of 104.03 feet to the Point of Beginning, said arc being subtended by a chord having a bearing and distance of North  $04^{\circ}50'49''$  East, 103.51 feet; thence continue northerly, along the arc of said curve, through a central angle of  $11^{\circ}14'23''$ , an arc distance of 59.05 feet, said arc being subtended by a chord, having a bearing and distance of North  $10^{\circ}40'27''$  West, 58.95 feet; thence North  $73^{\circ}42'22''$  East, 4.14 feet; thence South  $23^{\circ}30'37''$  East, 5.97 feet; thence South  $15^{\circ}30'02''$  East, 26.07

8

feet; thence South  $07^{\circ}48'16''$  East, 10.48 feet; thence South  $00^{\circ}53'19''$  East, 17.75 feet; thence South  $84^{\circ}56'44''$  West, 4.12 feet to the Point of Beginning.

Containing 314 square feet, more or less.





**THIS IS NOT A BOUNDARY SURVEY**

| DRN. B.G. | CHKD. B.G. | SURVEY DATE | DWG COMP | PROJ. NO. | FIELD BK. | PAGE NO. |
|-----------|------------|-------------|----------|-----------|-----------|----------|
|           |            | 11/7/16     |          | 13-105    |           |          |

**LEGAL DESCRIPTION SKETCH OF**

A PORTION OF SECTION 9  
TOWNSHIP 8 SOUTH, RANGE 18 EAST  
ALACHUA COUNTY, FLORIDA.

UTILITY EASEMENTS NOS. 1 AND 2

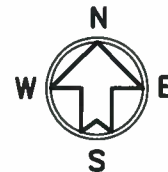
**FOR:** HIPP INVESTMENTS, LLC

THIS SKETCH OF LEGAL DESCRIPTION MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2016), FLORIDA STATUTES.

BY: ROBERT W. GRAVER P.S.M. 4239

Corporate Authorization  
No. LB 2389

NOT VALID WITHOUT THE SIGNATURE AND  
THE ORIGINAL RAISED SEAL OF A FLORIDA  
LICENSED SURVEYOR AND MAPPER.



SCALE: 1" = 100'

**eda** 40 years

eda engineers-surveyors-planners, inc.

LB 2389  
2404 N.W. 43rd ST, GAINESVILLE, FLORIDA 32606-6602  
TEL. (352) 373-3541 FAX. (352) 373-7249  
E-MAIL: mail@edafl.com



**Zimbra****ad\_hall@cityofalachua.org**

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**RE: Revised Farm Bureau Site Plan**

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**From :** Robert Walpole <Walpole@chw-inc.com> Wed, Feb 15, 2017 07:46 AM  
📌 Florida Farm Bureau Office

**Subject :** RE: Revised Farm Bureau Site Plan

**To :** Adam Hall <ad\_hall@cityofalachua.org>, Monique Heathcock <MoniqueH@chw-inc.com>

Adam

I have reviewed these and my prior comments have been adequately addressed.

**ROBERT J. WALPOLE, PE** | President

t: (352) 519-5906 | c: (352) 339-2859

e: [walpole@chw-inc.com](mailto:walpole@chw-inc.com)

w: [www.chw-inc.com](http://www.chw-inc.com)

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**From:** Adam Hall [mailto:ad\_hall@cityofalachua.org]

**Sent:** Tuesday, February 14, 2017 3:14 PM

**To:** Monique Heathcock <MoniqueH@chw-inc.com>

**Cc:** Robert Walpole <Walpole@chw-inc.com>

**Subject:** Revised Farm Bureau Site Plan

Monique: Please see the attached request regarding the revised set of Farm Bureau plans. The parking lot and DRA have been reconfigured to address Mr Walpole's and th

e City's comments.

If you have any questions or need anything else, please feel free to contact me.

Thank you,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | [ahall@cityofalachua.com](mailto:ahall@cityofalachua.com) | Phone: 386.418.6121 | Direct: 386.418.6125

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# City of Alachua

TRACI L. GRESHAM  
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR KATHY WINBURN, AICP

January 24, 2017

Also sent by electronic mail to [chrisg@gmuereng.com](mailto:chrisg@gmuereng.com)

Christopher Gmuer, PE  
Gmuer Engineering, Inc.  
2603 NW 13<sup>th</sup> Street  
Box 314  
Gainesville, FL 32609

RE: Development Review Team (DRT) Summary for:  
Farm Bureau Insurance (Site Plan)

Dear Mr Gmuer:

On December 21, 2016 the City of Alachua received your revised application for the approval of a Site Plan for the development located on NW 167<sup>th</sup> Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a 1.176 acre subject property and your application for an associated lot split. A meeting was held on January 24, 2017 to discuss these items.

The application has been reviewed for compliance with the applicable review standards, including the City's Comprehensive Plan and Land Development Regulations (LDRs). Based upon Staff's review, revisions must be made to the application before it may be scheduled for a public hearing before the City's Planning & Zoning Board (PZB). Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed by **5:00 PM on Tuesday, February 7, 2017**. A total of four (4) copies of the **complete** application package (i.e., all application materials and attachments) and a CD containing a PDF of **all** application materials must be provided by this date. Submission of an incomplete package may delay your tentative hearing at the Planning and Zoning Board. Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved, if any, before the item may be scheduled for a public hearing before the PZB.

Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide 13 *double-sided, three-hole punched sets* of each application package and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

Please address the following insufficiencies:

## ***Deficiencies to be Addressed***

Unless otherwise noted, references to code Sections refer to City of Alachua Land Development Regulations.

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A. Comprehensive Plan Consistency

1. Future Land Use Element Policy 1.3.d analysis located on Page 2 of submitted consistency report indicates that access way provided on site plan is for access to parcel located to the west. The access way is for public access to the east of the subject property. Also, please see note below regarding access. Proposed access must be through deeded right-of-way.

B. Land Rights Issues

1. The proposed access easement must be in a form acceptable to the City. This access must be by deeded right-of-way.
2. If wastewater line is relocated to eastern property boundary, a 30 foot public utility easement along his boundary will be required.

C. Concurrency Impact Analysis

1. Concurrency Impact analysis includes I-75 NB (Comprehensive Plan Segment 1) for analysis. This segment is located greater than ½ mile away from subject property (as measured through actual travel distance) and should therefore be removed from analysis.
2. Traffic concurrency table should include residual capacities for each impacted segment.
3. Water and wastewater demand formulas or data sources must be provided.

D. Development Standards

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District
  - a. Per Section 3.7.2 (C)(5)(iv), accessory structures such as dumpster enclosures must be of comparable design and materials as primary structure.
  - b. Property is substantially visible from US Highway 441. Glazing requirements as found in 3.7.2 (C)(5)(vi) are applicable to the proposed front elevation. A minimum of 35 % glazing of the first floor area façade is required.
  - c. To demonstrate compliance with 3.7.2 (C)(5)ii and 3.7.2 (C)(5)(vi), a description of each façade material and color is required. See comment D.6.a below.
  - d. To demonstrate compliance with 3.7.2 (C)(5)(vi), please identify, on the architectural elevations, the accent materials referenced in application materials. Articulated cornice lines must be along entire top of building in order to be considered for a contributing architectural element. Please provide breakdown of cladding materials with per-cent totals on architectural elevation plans showing façade is at least 30% brick in order to claim for a contributing architectural element.
  - e. Per Section 3.7.2 (C)(5)(d)(ii), the minimum landscape street buffer is 15'. Parking lot appears to encroach into landscape buffer from southern property line.
  - f. Per Section 3.7.2 (C)(5)(d)(iii), the street buffer landscaping must include Live Oaks as required canopy tree, other materials must come from list provided in this code section.
2. Article 5 – Density, Intensity, and Dimensional Standards

- a. Section 5.2.2 (A)(7) states that the front yard setback of a corner lot shall be required on road frontage side of the lot that the primary building faces. The proposed primary building faces NW 163<sup>rd</sup> Lane, therefore the required 20 foot setback would apply to the southern lot line. The proposed waste receptacle enclosure would encroach on the required 20 foot setback. Please address.
3. Section 6.2- Tree protection/landscape/xeriscape standards
  - a. Generally, the plans do not indicate how the tree preservation credits will be used. Tree preservation credits can be used towards site landscaping requirements, perimeter buffering, and interior and perimeter landscaping for parking areas. The credits cannot be used towards tree mitigation. The landscaping plans should show the required number of trees for each landscaped area and how many tree preservation credits will be applied to that required area. Landscaping plan should indicate which trees are being counted towards meeting the required mitigation amounts. A tree survey showing the location, size, and species of trees proposed to be removed and those proposed to remain must be provided.
  - b. Proposed landscape plan must provide differentiation between canopy and understory trees.
  - c. Façade length calculated at 440 linear feet which would require a total of 33 canopy trees for site landscaping requirements (9 located in front of the front façade, and 8 located in sides and rear) [LDR Section 6.2.2(D)(1)(c)].
  - d. Must provide at least 2 ½ feet clearance between planting materials and edge of curb on southernmost row of parking spaces [LDR Section 6.2.2 (D)(2)(a)(ii)].
  - e. Proposed access area to parcel located to east need to be shown on landscape plan. Proposed trees and shrubs must not be located in proposed access areas.
  - f. The row of parking located immediately in front of entrance requires an additional tree island [LDR Section 6.2.2 (D)(2)(a)(iii)c)].
  - g. Unpaved parking area also must be screened [LDR Section 6.2.2 (D)(2)(b)(iv)c)].
  - h. An irrigation system plan must be provided that shows that the requirements found in Section 6.2.2(D)(6) have been met.
  - i. Waste Receptacle screening does not meet requirements of Section 3.7.2 (C)(5)(iv). Must be of comparable design and building materials to the principal structure.
  - j. Please provide slope of berm proposed. Per Section 6.2.2 (D)(2)(a)(vii), berms in landscaped areas cannot exceed a 2:1 slope.
4. Section 6.4- Exterior lighting Standards
  - a. Additional photometric data needed showing maximum and minimum lighting levels, uniformity ratio, and cutsheet/ specification information for lighting fixtures, including height of poles.
  - b. Full cutoff lenses or hoods are required [LDR Section 6.4.4 (F)].
5. Section 6.6.3 – Residential Protection Standards
  - a. GIS analysis indicates that the subject property is located within 500' of a residential zoning district (Heritage Oaks). Please submit an analysis that addresses the 12 conditions identified in Section 6.6.3(A).

6. Section 6.8- Design Standards for Business Uses

- a. Plans should show percentage calculations of each building material on each façade. Note that exposed split face block is limited to less than 60% on any façade. Additionally, east and west elevation labels appear to have been inverted.
- b. West elevation does not appear to meet glazing requirement of 20% [Section 6.8.2 (A)(2)(a)a].
- c. In order to determine compliance with Section 6.8.2(A)(2)(b)(ii), fully dimensioned, color architectural elevations must be submitted. Additionally, see Comment C.6.a of this memo.
- d. Location and screening method (with detail or narrative) for mechanical equipment must be shown on site plan.

E. Fire Marshal/Public Services/Outside Engineering Review Comments

1. No comments (email attached to this memo).
2. The applicant must address the comments provided by Robert J. Walpole, PE of CHW, Inc in a letter received by the City on January 4, 2017 (attached to this memo).
3. The applicant must comply with all comments provided by the Public Services Department in a memo dated January 18, 2017 (attached to this memo).

F. Miscellaneous

1. Identify structure(s) located to east of primary structure

G. Completeness Review Comments:

1. The applicant must address all completeness review deficiencies as provided in correspondence dated January 2, 2017 and noted below (items which have been addressed or discussed elsewhere in this memo have been removed from this list):
5. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing public right-of-way, must be in sufficient detail to demonstrate compliance with façade massing requirements and must be in color.  
**Action Needed to Address Deficiency:** Amend architectural plans to provide glazing calculations for all facades facing public rights-of-way. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.
10. **Required Attachment 7.ii:** Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice.  
**Action Needed to Address Deficiency:** The mailing labels or list provided in application appear to only include property owner located within 400' of the proposed project, but not those persons/organizations registered to receive notice. Please confirm if those persons/organizations received notice of the neighborhood meeting.
11. **Required Attachment 10:** Proof of payment of taxes  
**Action Needed to Address Deficiency:** Proof of payment of all property taxes and assessments must be submitted with application.

12. **Required Attachment 11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

**Action Needed to Address Deficiency:** Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 108 or via e-mail at [ahall@cityofalachua.com](mailto:ahall@cityofalachua.com). We look forward to receiving your revised application.

Sincerely,



Adam Hall, AICP  
Planner

cc: Kathy Winburn, AICP, Planning & Community Development Director  
Justin Tabor, AICP, Principal Planner  
Project File



**RESUBMISSION DUE DATE:** All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before **5:00 PM on Tuesday, February 7, 2017.**



## ***Deficiencies to be Addressed***

Unless otherwise noted, references to code Sections refer to City of Alachua Land Development Regulations.

### ***A. Comprehensive Plan Consistency***

1. Future Land Use Element Policy 1.3.d analysis located on Page 2 of submitted consistency report indicates that access way provided on site plan is for access to parcel located to the west. The access way is for public access to the east of the subject property. Also, please see note below regarding access. Proposed access must be through deeded right-of-way.

### ***B. Land Rights Issues***

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2. If wastewater line is relocated to eastern property boundary, a 30 foot public utility easement along his boundary will be required.

### ***C. Concurrency Impact Analysis***

1. Concurrency Impact analysis includes I-75 NB (Comprehensive Plan Segment 1) for analysis. This segment is located greater than ½ mile away from subject property (as measured through actual travel distance) and should therefore be removed from analysis.
2. Traffic concurrency table should include residual capacities for each impacted segment.
3. Water and wastewater demand formulas or data sources must be provided.

### ***D. Development Standards***

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District
  - a. Per Section 3.7.2 (C)(5)(iv), accessory structures such as dumpster enclosures must be of comparable design and materials as primary structure.
  - b. Property is substantially visible from US Highway 441. Glazing requirements as found in 3.7.2 (C)(5)(vi) are applicable to the proposed front elevation. A minimum of 35 % glazing of the first floor area façade is required.
  - c. To demonstrate compliance with 3.7.2 (C)(5)ii and 3.7.2 (C)(5)(vi), a description of each façade material and color is required. See comment D.6.a below.
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- f. Per Section 3.7.2 (C)(5)(d)(iii), the street buffer landscaping must include Live Oaks as required canopy tree, other materials must come from list provided in this code section.
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  - b. Proposed landscape plan must provide differentiation between canopy and understory trees.
  - c. Façade length calculated at 440 linear feet which would require a total of 33 canopy trees for site landscaping requirements (9 located in front of the front façade, and 8 located in sides and rear) [LDR Section 6.2.2(D)(1)(c)].
  - d. Must provide at least 2 ½ feet clearance between planting materials and edge of curb on southernmost row of parking spaces [LDR Section 6.2.2 (D)(2)(a)(ii)].
  - e. Proposed access area to parcel located to east need to be shown on landscape plan. Proposed trees and shrubs must not be located in proposed access areas.
  - f. The row of parking located immediately in front of entrance requires an additional tree island [LDR Section 6.2.2 (D)(2)(a)(iii)c)].
  - g. Unpaved parking area also must be screened [LDR Section 6.2.2 (D)(2)(b)(iv)c].
  - h. An irrigation system plan must be provided that shows that the requirements found in Section 6.2.2(D)(6) have been met.
  - i. Waste Receptacle screening does not meet requirements of Section 3.7.2 (C)(5)(iv). Must be of comparable design and building materials to the principal structure.
  - j. Please provide slope of berm proposed. Per Section 6.2.2 (D)(2)(a)(vii), berms in landscaped areas cannot exceed a 2:1 slope.
4. Section 6.4- Exterior lighting Standards
  - a. Additional photometric data needed showing maximum and minimum lighting levels, uniformity ratio, and cutsheet/ specification information for lighting fixtures, including height of poles.
  - b. Full cutoff lenses or hoods are required [LDR Section 6.4.4 (F)].
5. Section 6.6.3 – Residential Protection Standards

- a. GIS analysis indicates that the subject property is located within 500' of a residential zoning district (Heritage Oaks). Please submit an analysis that addresses the 12 conditions identified in Section 6.6.3(A).
6. Section 6.8- Design Standards for Business Uses
  - a. Plans should show percentage calculations of each building material on each façade. Note that exposed split face block is limited to less than 60% on any façade. Additionally, east and west elevation labels appear to have been inverted.
  - b. West elevation does not appear to meet glazing requirement of 20% [Section 6.8.2 (A)(2)(a)a].
  - c. In order to determine compliance with Section 6.8.2(A)(2)(b)(ii), fully dimensioned, color architectural elevations must be submitted. Additionally, see Comment C.6.a of this memo.
  - d. Location and screening method (with detail or narrative) for mechanical equipment must be shown on site plan.

E. Fire Marshal/Public Services/Outside Engineering Review Comments

1. No comments (email attached to this memo). *John M. J.*
2. The applicant must address the comments provided by Robert J. Walpole, PE of CHW, Inc in a letter received by the City on January 4, 2017 (attached to this memo).
3. The applicant must comply with all comments provided by the Public Services Department in a memo dated January 18, 2017 (attached to this memo).

F. Miscellaneous

1. Identify structure(s) located to east of primary structure

G. Completeness Review Comments:

1. The applicant must address all completeness review deficiencies as provided in correspondence dated January 2, 2017 and noted below (items which have been addressed or discussed elsewhere in this memo have been removed from this list):
5. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing public right-of-way, must be in sufficient detail to demonstrate compliance with façade massing requirements and must be in color.  
**Action Needed to Address Deficiency:** Amend architectural plans to provide glazing calculations for all facades facing public rights-of-way. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.
10. **Required Attachment 7.ii:** Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice.  
**Action Needed to Address Deficiency:** The mailing labels or list provided in application appear to only include property owner located within 400' of the proposed project, but not those persons/organizations registered to receive notice. Please confirm if those persons/organizations received notice of the neighborhood meeting.
11. **Required Attachment 10:** Proof of payment of taxes

***Action Needed to Address Deficiency:*** Proof of payment of all property taxes and assessments must be submitted with application.

12. **Required Attachment 11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

***Action Needed to Address Deficiency:*** Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

**ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 5:00 PM ON THE RESUBMISSION DATE OF FEBRUARY 7, 2017.**

Zimbra

ad\_hall@cityofalachua.org

**RE: Application for Farm Bureau Insurance Site Plan**

**From :** Brian Green

Mon, Jan 09, 2017 01:17 PM

<bgreen@AlachuaCounty.US>

**Subject :** RE: Application for Farm Bureau  
Insurance Site Plan

**To :** Adam Hall

<ad\_hall@cityofalachua.org> ,

William P. Whitelock

<wi\_whitelock@cityofalachua.org>

Adam,

I have reviewed this plan and have no comments

*Brian Green*

*Alachua County Fire Rescue*

*Life Safety / Internal Affairs Branch*

*352-384-3103 office*

*352-494-3140 cell*

*352-384-3157 fax*

BGREEN@ALACHUACOUNTY.US

**From:** Adam Hall [mailto:ad\_hall@cityofalachua.org]

**Sent:** Monday, January 02, 2017 3:22 PM

**To:** William P. Whitelock; Brian Green

**Subject:** Application for Farm Bureau Insurance Site Plan

**Importance:** High

Brian and Bill,

Please find a link to an electronic version of plans for the Farm Bureau Insurance office site plan application here: <http://cloud.cityofalachua.org/index.php/s/kfaMHsgOU0UdQqz>.

Please submit any comments by Wednesday, January 18, 2017 at 5 PM. The Staff DRT is scheduled for Thursday, January 19, 2017 at 4 PM. The applicant DRT is scheduled for Tuesday, January 24, 2017 at

2 PM.

Bill, the application can also be found on our shared drive at: X: Planning and Community Development Planning Division Development Applications Site Plans Farm Bureau Insurance Submittals December 21, 2016

If you have any questions or need more information, please let me know.

Thank you.

--

Adam Hall, AICP | Planner | Office of Planning and Community Development  
City of Alachua | [ahall@cityofalachua.com](mailto:ahall@cityofalachua.com) | Phone: 386.418.6121 | Direct: 386.418.6125

**From :** Adam Hall

Mon, Jan 02, 2017 03:21 PM

<[ad\\_hall@cityofalachua.org](mailto:ad_hall@cityofalachua.org)>

**Subject :** Application for Farm Bureau  
Insurance Site Plan

**To :** William P. Whitelock

<[wi\\_whitelock@cityofalachua.org](mailto:wi_whitelock@cityofalachua.org)> ,

Brian Green

<[bgreen@alachuacounty.us](mailto:bgreen@alachuacounty.us)>

Brian and Bill,

Please find a link to an electronic version of plans for the Farm Bureau Insurance office site plan application here: <http://cloud.cityofalachua.org/index.php/s/kfaMHsgOU0UdQqz>.

Please submit any comments by **Wednesday, January 18, 2017** at 5 PM. The Staff DRT is scheduled for **Thursday, January 19, 2017** at 4 PM. The applicant DRT is scheduled for **Tuesday, January 24, 2017** at 2 PM.

Bill, the application can also be found on our shared drive at: X: Planning and Community Development Planning Division Development Applications Site Plans Farm Bureau Insurance Submittals December 21, 2016

If you have any questions or need more information, please let me know.





January 4, 2017

City Of Alachua  
Planning & Community Development  
Adam Hall, AICP  
PO Box 9  
Alachua FL, 32616

RE: Farm Bureau Insurance Site Plan  
Alachua, FL

Dear Adam:

We have completed our review pursuant to your request for engineering review for the referenced project. Our review was based on an application package supplied by your office on January 2, 2017 and certified by Chris Gmuer, PE.

Our review is based on the City Comprehensive Plan, Land Development Regulations, applicable engineering standards and best practices.

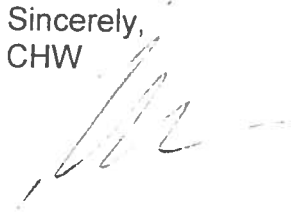
1. The City does not perform Wet Taps. Please revise note to indicate by a properly licensed contractor, witnessed by the City.
2. The sanitary lateral exceeds the plumbing code maximum of 100 ft without a clean out. Please revise.
3. Transformer and electric service needs to be shown and coordinated on the site plan.
4. It's recommended, but not required for the applicant to add the new City standard utility notes and details as applicable to the plan.
5. Grading within the I/E easement on the project side should not exceed 2% from back of curb to the extent of the 50 ft. easement line to allow placement of a future sidewalk. Similarly the driveway slope should be adjusted now to accommodate a 2% cross slope in the easement area to accommodate a cross walk.
6. The SMF back slope and maintenance path may remain in the easement as the future access road will become the maintenance path, however the SMF volume should be contained outside the easement limits. Slight adjustment is required.

7. Grading from the parking lot to the stormwater management area is problematic and will cause long term maintenance issues especially to the City's existing PUE. Running water across a grassed area after being concentrated on asphalt is not advisable and will cause erosion and maintenance issues. In addition contours can't split as shown. The split of the 95 contour creates a flat spot of nearly 100 ft. across the PUE where water will stand. This can be corrected by completely removing the split 95 and allowing a slope from 96 to the top of the SMF at 95. Finally the eastern grass swale points due south instead of into the SMF. The grading should be revised to direct the water to the SMF and not south where it will likely continue south due to the lack of positive drainage.

From an Engineering perspective the project is approvable with these comments addressed and would make a recommendation for approval of the plans subject to these minor items being corrected.

We appreciate the opportunity to complete this review and please do not hesitate to contact us with questions or if we can be of further assistance.

Sincerely,  
CHW



Robert J. Walpole, PE  
President



## City of Alachua

TRACI L. GRESHAM  
CITY MANAGER

RODOLFO VALLADARES, P.E.  
PUBLIC SERVICES DIRECTOR

### INTER-OFFICE COMMUNICATION

**DATE:** January 18<sup>th</sup>, 2017

**TO:** Kathy Winburn, AICP  
Planning & Community Development Director

**FROM:** Rodolfo Valladares, P.E. *RTV*  
Public Services Director

**RE:** Farm Bureau Insurance Site Plans

Public Services have reviewed the Farm Bureau Insurance Site Plans and offer the following comments. Review was specific to the Public Services Utilities.

| NO.             | COMMENTS   |
|-----------------|--|
| 1               | <u>General Note.</u><br>Reference <i>City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater</i> . Requirements and details may be found on City website.<br>Water Meter Assembly shall be in accordance with City standard details.<br>Waste Water Service Lateral shall be in accordance with City standard details.<br>[Approved as Noted] |
| 2.              | <u>Wastewater</u> ; sheet C 200.<br>Cleanout and collar shall be installed at the edge of P.U.E.<br>[Approved as Noted]  |
| 3.              | <u>Wastewater</u> ; sheet C 200.<br>Provide dog house manhole connection when connecting to City gravity main.<br>[Approved as Noted]  |
| 4.              | <u>Water</u> ; sheet C 200.<br>8" x 4" tap by City approved contractor.<br>[Approved as Noted]   |
| 5.              | <u>Water</u> ; sheet C 200.<br>Water meter shall be located within P.U.E. for water meter main area<br>[Approved as Noted]   |
| END OF COMMENTS |  |

Please advise if you have any questions or require additional information.

cc: Adam Hall – AICP Planner  
Harry Dillard – Lead Engineering Technician

Development Review Team (DRT) Meeting  
Project Name: Farm Bureau Insurance  
Meeting Date: January 24, 2017 1:30 PM (Applicant)

[illegible]



# City of Alachua

TRACI L. GRESHAM  
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR KATHY WINBURN, AICP

January 2, 2017

Christopher Gmuer  
Gmuer Engineering, Inc.  
2603 NW 13<sup>th</sup> Street  
Box 314  
Gainesville, FL 32609

*Also submitted electronically to chrisg@gmuereng.com*

**RE: Completeness Review for Farm Bureau Insurance Site Plan Application**

Dear Mr. Gmuer:

On December 21, 2016 the City of Alachua received your application for the approval of a Site Plan for the development located on NW 167<sup>th</sup> Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a 1.176 acre subject property and your application for an associated lot split.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the application is complete. Detailed comments will be provided at the Development Review Team (DRT), which will be scheduled separately.

It should be noted, the contents of the applications have not been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any issues with content will be addressed at DRT. The following comments originally found in the Completeness Review will be included with the DRT comments.

3. **Required Attachment D.1.n:** Structures and dimensions of major features including setbacks, distances between structures, width of driveways, parking spaces, property or lot lines, and floor area ratio.  
**Action Needed to Address Deficiency:** Front setback is determined based on the street frontage that the primary structure's façade is facing. Proposed site plan displays front setback from NW 167<sup>th</sup> Boulevard even though the primary structure is facing the right-of-way on the southern property line. Front setback line should be displayed from property/ right-of-way line that the structure is facing.
5. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing public right-of-way, must be in sufficient detail to demonstrate compliance with façade massing requirements and must be in color.

**Action Needed to Address Deficiency:** Amend architectural plans to provide glazing calculations for all facades facing public rights-of-way. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.

10. **Required Attachment 7.ii:** Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice.

**Action Needed to Address Deficiency:** The mailing labels or list provided in application appear to only include property owner located within 400' of the proposed project, but not those persons/organizations registered to receive notice. Please confirm if those persons/organizations received notice of the neighborhood meeting.

11. **Required Attachment 10:** Proof of payment of taxes

**Action Needed to Address Deficiency:** Proof of payment of all property taxes and assessments must be submitted with application.

12. **Required Attachment 11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

**Action Needed to Address Deficiency:** Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

13. **Additional Comments:** Please address the following issues:

- b. Property is located with the US Highway 441/ Interstate 75 Gateway Overlay District. Please review plans for compliance with Section 3.7 (C), including building design and orientation standards.

**Action Needed to Address Deficiency:** Update site plan that addresses these comments.

Please note, the contents of the applications **have not** been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any further issues with content will be provided to you at the Development Review Team meeting, which will be scheduled separately from this letter.

Should you have any questions, please feel free to contact me at (386) 418-6100, ext. 108 or via email at [ahall@cityofalachua.com](mailto:ahall@cityofalachua.com).

Sincerely,



Adam Hall, AICP  
Planner

c: Kathy Winburn, AICP, Planning Director  
Justin Tabor, AICP, Principal Planner  
File



# City of Alachua

TRACI L. GRESHAM  
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT  
DIRECTOR KATHY WINBURN, AICP

November 7, 2016

Christopher Gmuer  
Gmuer Engineering, Inc.  
2603 NW 13<sup>th</sup> Street  
Box 314  
Gainesville, FL 32609

*Also submitted electronically to chrisg@gmuereng.com*

**RE: Completeness Review for Farm Bureau Insurance Site Plan and Lot Split Applications**

Dear Mr. Gmuer:

On November 1, 2016 the City of Alachua received your application for the approval of a Site Plan for the development located on NW 167<sup>th</sup> Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a 1.176 acre subject property and your application for an associated lot split.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

**The comments below are based solely on a preliminary review of your applications for completeness.** Detailed comments will be provided at the Development Review Team (DRT) Meeting. A DRT Meeting will be scheduled upon satisfaction of the application's completeness review deficiencies, as indicated below.

Please address the following for the site plan application:

1. **Required Attachment C.1:** Application does not indicate if there exists a contract for sale of, or option to purchase, the subject property.  
**Action Needed to Address Deficiency:** Respond to Section C.1. of the Site Plan Application.



2. **Required Attachment D.1.i:** Location, size, and design of proposed landscaped areas with detail illustrating compliance with Section 6.2.2 of the Land Development Regulations.  
**Action Needed to Address Deficiency:** Landscape plan must show the following: buffer types and selected option to address each perimeter, parking perimeter and interior parking area calculations, building façade trees, required tree mitigation calculations and trees that will be used to satisfy tree mitigation requirements, trees to be left on site, and trees to be removed.
3. **Required Attachment D.1.n:** Structures and dimensions of major features including setbacks, distances between structures, width of driveways, parking spaces, property or lot lines, and floor area ratio.  
**Action Needed to Address Deficiency:** Front setback is determined based on the street frontage that the primary structure's façade is facing. Proposed site plan displays front setback from NW 167<sup>th</sup> Boulevard even though the primary structure is facing the right-of-way on the southern property line. Front setback line should be displayed from property/ right-of-way line that the structure is facing.
4. **Required Attachment D.1.o:** Location of waste receptacles and waste receptacle screening  
**Action Needed to Address Deficiency:** Detail of waste receptacle screening must be provided.
5. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing public right-of-way, must be in sufficient detail to demonstrate compliance with façade massing requirements and must be in color.  
**Action Needed to Address Deficiency:** Amend architectural plans to provide glazing calculations for all facades facing public rights-of-way. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.
6. **Required Attachment 3:** Fire Department Access and Water Supply Plan.  
**Action Needed to Address Deficiency:** Please provide documentation from the local water purveyor (City of Alachua Public Services) verifying required flow can be provided at proposed development site.
7. **Required Attachment 4:** Concurrency Impact Analysis showing the impact on public facilities.  
**Action Needed to Address Deficiency:** Please provide a Concurrency Impact Analysis showing the impact on the public facilities. This Analysis should be based on current development data provided by the City and should demonstrate that the minimum Level of Service for any public facility will not be negatively impacted by the proposed development.
8. **Required Attachment 5:** Analysis of Consistency with the City of Alachua Comprehensive Plan  
**Action Needed to Address Deficiency:** The application must include an analysis of consistency with the City of Alachua Comprehensive Plan that identifies specific goals, objectives, and policies that support the proposed project.

Additionally, the application must specifically address Policy 1.3.d, of the City of Alachua Comprehensive Plan.

9. **Required Attachment 6:** One (1) set of mailing labels for all property owners within 400 feet *and* all persons/organizations registered to receive notice of development applications.

**Action Needed to Address Deficiency:** The application must include One (1) set of mailing labels for all property owners within 400 feet *and* all persons/organizations registered to receive notice of development applications. Mailing labels appear to only include property owners located within 400 feet of proposed development.

10. **Required Attachment 7.ii:** Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice.

**Action Needed to Address Deficiency:** The mailing labels or list provided in application appear to only include property owner located within 400' of the proposed project, but not those persons/organizations registered to receive notice. Please confirm if those persons/organizations received notice of the neighborhood meeting.

11. **Required Attachment 10:** Proof of payment of taxes

**Action Needed to Address Deficiency:** Proof of payment of all property taxes and assessments must be submitted with application.

12. **Required Attachment 11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

**Action Needed to Address Deficiency:** Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

13. **Additional Comments:** Please address the following issues:

- a. Submitted plans do not indicate location or arrangement of all mechanical equipment. If located at the ground level, please provide screening location and detail. If located on roof of proposed structure, please provide a detailed roof plan demonstrating compliance with the screening requirements set forth in Section 6.8.2 (A) (3).
- b. Property is located with the US Highway 441/ Interstate 75 Gateway Overlay District. Please review plans for compliance with Section 3.7 (C), including building design and orientation standards.
- c. Site Photometric Plan: Photometric plan should identify fc levels at property boundaries.
- d. Landscaping plan: please provide design detail for the following: all fencing and retaining walls, and the dumpster enclosure.
- e. Please note that the proposed development appears to be located within 500 feet of a residential district and subject to the residential protection standards set forth in Section 6.6.3. Additional conditions may be imposed to minimize

adverse impacts to the residential areas if located within the 500 feet of a residential district.

**Action Needed to Address Deficiency:** Update site plan that addresses these comments.

Please address the following for the lot split application:

1. **Required Attachment D.1:** Materials to support that the proposed action is consistent with the City of Alachua Comprehensive Plan and Land Development Regulations.  
**Action Needed to Address Deficiency:** Provide materials to support that the proposed action is consistent with the City of Alachua Comprehensive Plan and Land Development Regulations. These materials may include comprehensive plan consistency analysis and land development regulations consistency analysis.
2. **Required Attachment D.2:** Aerial map indicating location of proposed lots  
**Action Needed to Address Deficiency:** Submitted aerial map does not indicate location of proposed lots
3. **Required Attachment D.3:** Legal description with tax parcel number  
**Action Needed to Address Deficiency:** Legal description with tax parcel number required (in addition to the one submitted for the site plan application).
4. **Required Attachment D.4:** Land Description of Lots to be created with a survey or scaled drawing showing all recorded easements, area of each lot, and dimensions of each lot to be created.  
**Action Needed to Address Deficiency:** Provide a Land Description of Lots to be created with a survey or scaled drawing showing all recorded easements, area of each lot, and dimensions of each lot to be created.
5. **Required Attachment D.5:** Legal Description of each Lot to be created  
**Action Needed to Address Deficiency:** Provide a legal description for each lot to be created by this lot split.
6. **Required Attachment D.6 and D.7:** Proof of ownership and copy of warranty deed.  
**Action Needed to Address Deficiency:** Provide proof of ownership and copy of warranty deed (in addition to any proof of ownership and deed provided for site plan application).
7. **Required Attachment D.8:** Proof of payment of taxes  
**Action Needed to Address Deficiency:** Proof of payment of all property taxes and assessments must be submitted with application.

It should be noted, the contents of the applications **have not** been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any issues with content will be addressed at DRT.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. The time frame and cycle for review shall be based upon the date the application is determined to be complete. If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the applications shall be considered withdrawn.

Should you have any questions, please feel free to contact me at (386) 418-6100, ext. 108 or via email at [ahall@cityofalachua.com](mailto:ahall@cityofalachua.com).

Sincerely,



Adam Hall, AICP  
Planner

c: Kathy Winburn, AICP, Planning Director  
Justin Tabor, AICP, Principal Planner  
File