



City of Alachua

Planning & Community Development Department Staff Report

Planning & Zoning Board Hearing Date: Quasi-Judicial Hearing

March 14, 2017

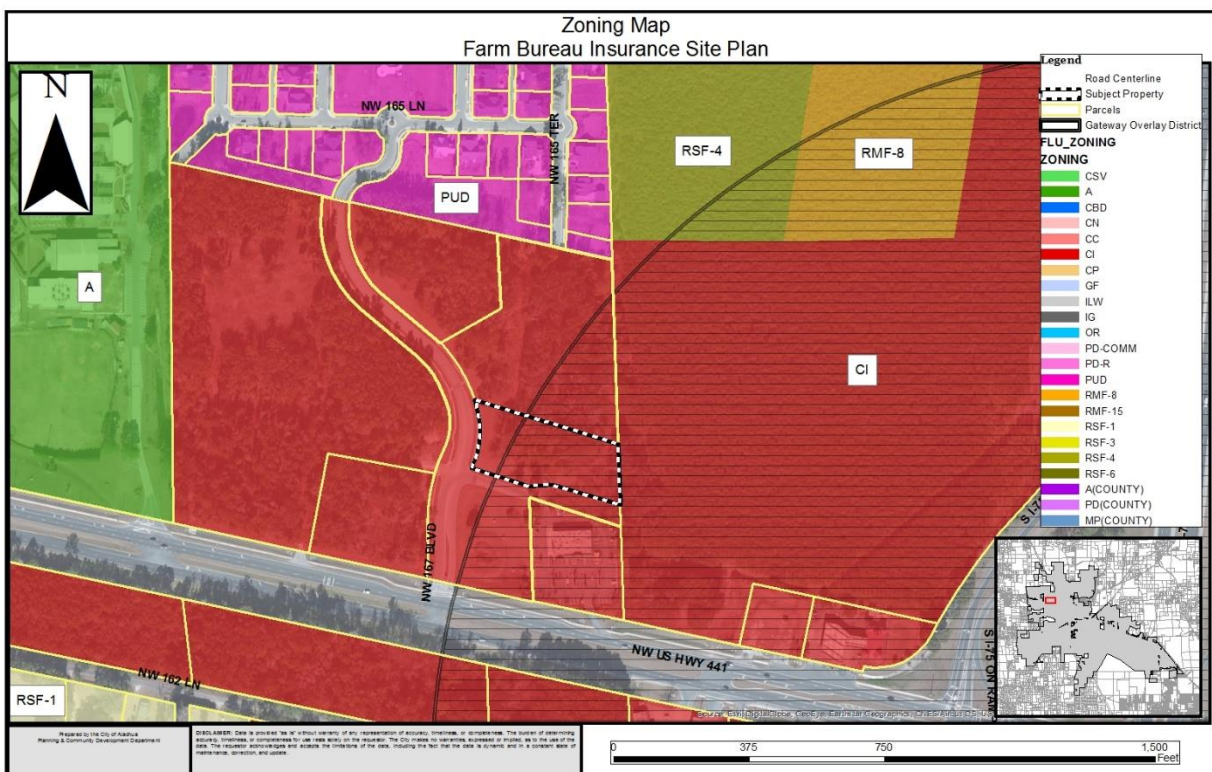
SUBJECT:	A request for a Site Plan for the construction of a ±5,560 square foot office with employee and visitor parking, storm water management facility improvements, paving, grading, and associated utility infrastructure
APPLICANT/AGENT:	Chris Gmuer, P. E., Gmuer Engineering, LLC.
PROPERTY OWNER:	Hipp Investments, LLC
LOCATION:	NW 167 th Boulevard ; north of NW US Highway 441, south of the Heritage Oaks Subdivision, east of the Alachua Market Place Plaza
PARCEL ID NUMBER:	03053-001-001
FLUM DESIGNATION:	Commercial
ZONING:	Commercial Intensive ("CI")
OVERLAY:	I-75/ 441 Overlay District
ACREAGE:	±1.66 acres
PROJECT PLANNER:	Adam Hall, AICP
RECOMMENDATION:	Staff recommends that the Planning & Zoning Board approve the Site Plan, subject to the five (5) conditions provided in Exhibit "A" of this Staff Report.
RECOMMENDED MOTION:	<i>Based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the five (5) conditions provided in Exhibit "A" and on page 23 of the March 14, 2017 Staff Report to the Planning & Zoning Board.</i>

SUMMARY

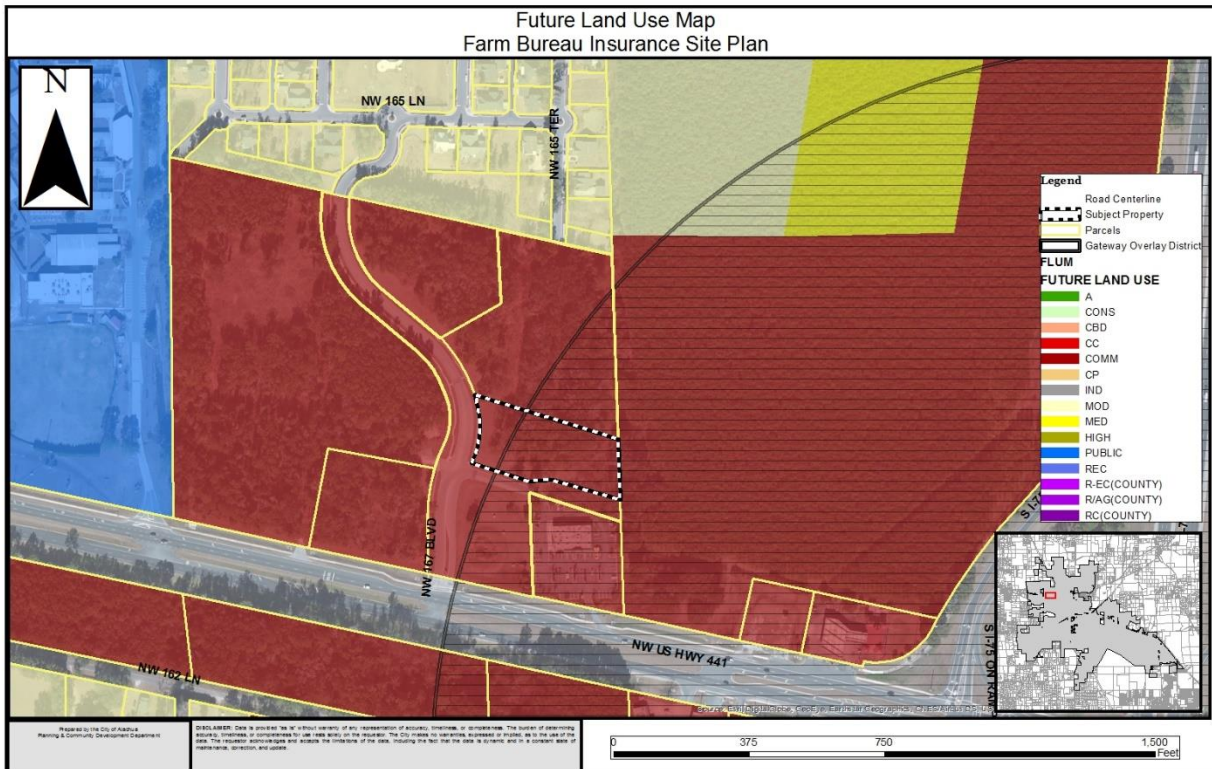
The proposed site plan is a request by Chris Gmuer, P.E., of Gmuer Engineering, LLC., applicant and agent for Hipp Investments, LLC, property owner, for the construction of a ±5,560 office with employee and visitor parking, storm water management facility improvements, paving, grading, and associated utility infrastructure.

The subject property is ±1.66 acres in area and is located adjacent to NW 167th Boulevard; north of NW US Highway 441, south of the Heritage Oaks Subdivision, and east of the Alachua Market Place Plaza. Access to the subject property would be provided primarily by one (1) ingress/egress drive connecting to NW 163rd Lane.

Map 1. Subject Property with Zoning



Map 2. Subject Property with Future Land Use



The proposed development will convey the development's stormwater runoff to one (1) proposed stormwater basin located to the east of the structure and parking lot on the subject property. The applicant has indicated that, if the application is approved, an application for self-certification of environmental resource permit will be submitted to the Suwannee River Water Management District.

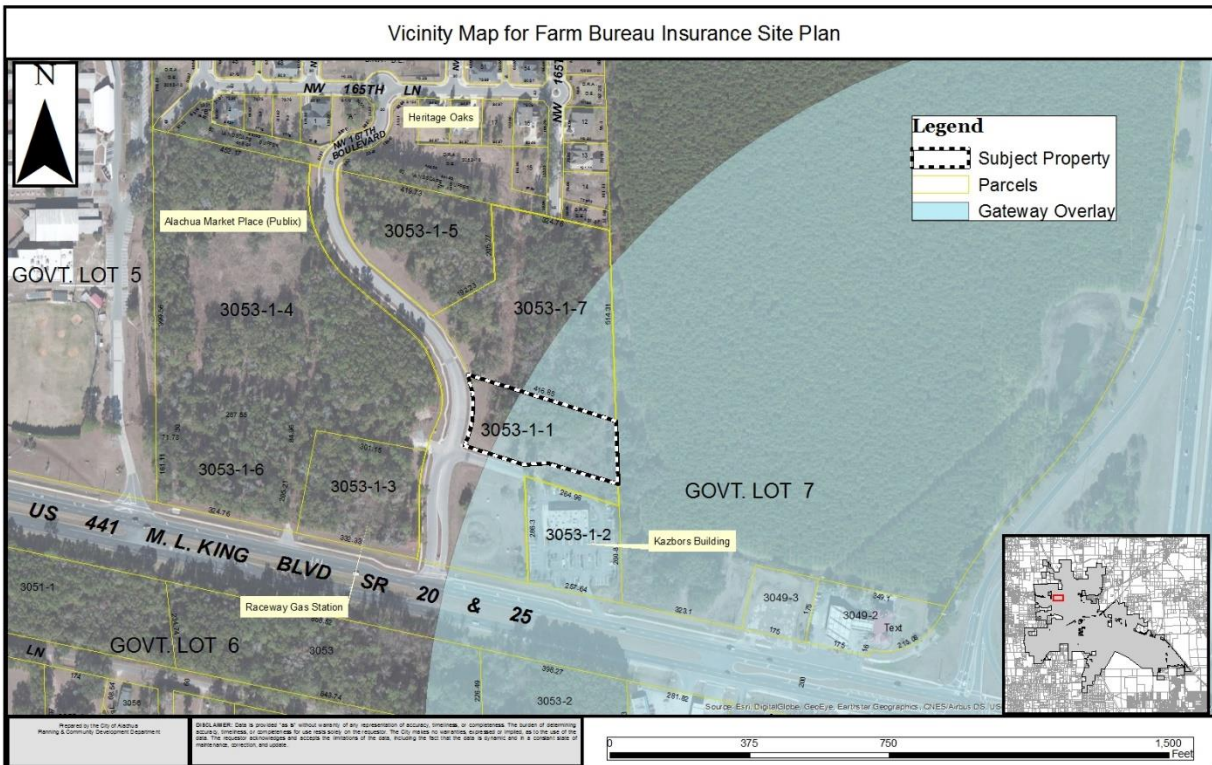
SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) Designations, and zoning districts of the surrounding area are identified in Table 1. Map 3 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. It is not intended to be all-inclusive, and may not identify all existing uses, FLUM Designations, and/or zoning districts surrounding the subject property.)

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Vacant (Holiday Inn Approved Site Plan)	Commercial	CI
South	Commercial	Commercial	CI
East	Vacant	Commercial	CI
West	Commercial (Alachua Market Place Plaza and Raceway Gas Station)	Commercial	CI

Map 3. Vicinity Map



NEIGHBORHOOD MEETING

The purpose of a Neighborhood Meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. As required by Section 2.2.4 of the LDRs, all property owners within 400 feet of the subject property were notified of the meeting and notice of the meeting was published in a newspaper of general circulation.

A Neighborhood Meeting was held on October 27, 2016 at 14435 NW US HWY 441 #40. The applicant's agent was present and available to answer questions. As evidenced by materials submitted by the applicant, the meeting was attended by seven (7) individuals. A

summary of the discussion which occurred at the Neighborhood Meeting has been provided by the applicant and is included within the application materials.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The Goals, Objectives, and Policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

Future Land Use Element

GOAL 1: Future Land Use Map 2025:

The City of Alachua shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens.

Objective 1.3: Commercial

The City of Alachua shall establish three commercial districts: Community Commercial, Commercial and Central Business District. These districts shall provide a broad range of retail sales and services, as well as office uses, in order to provide for the availability of goods and services, both to the citizens of Alachua and to the citizens of the North Central Florida region.

Evaluation and Findings of Consistency with Objective 1.3: The proposed use (office/business) complies with the intent of the Commercial Future Land Use designation by providing a service/office use to the citizens of Alachua and to the citizens of the North Central Florida region.

Policy 1.3.b: Commercial: The Commercial land use category is established to provide for general commercial uses, as well as more intense commercial and highway commercial uses. This is the land use category in which large-scale, regional commercial uses may locate. The following uses are allowed within the Commercial land use category:

1. Retail sales and services;
2. Personal services;
3. Financial Institutions;
4. Outdoor recreation and entertainment;
5. Tourist-related uses;
6. Hotels, motels;
7. Commercial shopping centers;
8. Auto-oriented uses;
9. Traditional Mixed-use Neighborhood Planned Developments;

10. Employment Center Planned Developments;
11. Commercial recreation centers;
12. Office/business parks;
13. Limited industrial services;
14. Eating Establishments

Evaluation and Findings of Consistency with Policy 1.3.b: The subject property has a Commercial FLUM designation, which allows office/ business uses.

Policy 1.3.d: Design and performance standards: The following criteria shall apply when evaluating commercial development proposals:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;
2. Buffering from adjacent existing/potential uses;
3. Open space provisions and balance of proportion between gross floor area and site size;
4. Adequacy of pervious surface area in terms of drainage requirements;
5. Placement of signage;
6. Adequacy of site lighting and potential impacts of lighting upon the surrounding area. Lighting should be designed to minimize impacts and preserve the ambiance and quality of the nighttime sky by reducing light trespass and light pollution on adjacent properties by utilizing lighting at an appropriate intensity, direction and times to ensure light is not overused or impacting areas where it is not intended;
7. Safety of on-site circulation patterns (patron, employee and delivery vehicles), including parking layout and drive aisles, and points of conflict;
8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;
9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and
10. Performance based zoning requirements, which may serve as a substitute for or accompany land development regulations in attaining acceptable site design.
11. Commercial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres but 5 acres or greater, a .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio to parcels 1 acre or less.

Evaluation and Findings of Consistency with Policy 1.3.d: The applicant has demonstrated through their submitted site plan application and supporting documentation that each of these sub-policies has been addressed.

Policy 1.3.e: The creation/promotion of strip pattern commercial development shall be discouraged. Infill within established commercial areas is preferred over

extension of a strip commercial pattern. Extension of a commercial land use designation may be considered in circumstances where the proposed commercial parcel is located within a block in which at least fifty percent (50%) of the block face (in linear feet) is either currently developed with commercial land uses or is designated for commercial use. In either case, the proposed commercial land use extension shall not encroach into a residential area. Judging the suitability of a location for an extension of commercial land uses shall be based upon the following minimum criteria:

1. Impacts upon traffic circulation should be anticipated and mitigated through the reservation of right-of-way for road widening and marginal access streets. Access points for commercial complexes shall seek to minimize points of conflict by utilizing frontage roads, providing cross access between parcels or installing shared use curb cuts for access driveways to the maximum extent feasible
2. Setbacks and landscaped or other appropriate buffers shall be established to mitigate the visual impacts of commercial development.
3. A sidewalk or bicycle path shall be required where appropriate, to provide convenient access to surrounding residents and to reduce traffic volumes on the roadways.

Evaluation and Findings of Consistency with Policy 1.3.e: The subject property has a Commercial FLUM designation; no new commercial FLUM designations would be created through consideration of this site plan application.

Objective 5.1: Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Policy 5.1.a: Topography: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

Policy 5.1.b: Soils: The City shall ensure soil protection and intervention measures are included in the development review process.

Policy 5.1.c: Flood prone areas: The City shall require as part of the development review process the identification of FEMA flood zone areas. Where necessary, base flood elevations and minimum finished floor elevations shall be established. The City shall also require finished

floor elevations on subdivision plats, site plans and building permit plans when necessary to determine compliance with flood prone area regulations. The City shall establish standards for a limitation on filling in flood prone areas.

Policy 5.1.d: Wetlands: The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.

Policy 5.1.e: Habitat: The City shall require as part of the development review process, an inventory of listed species for all new developments in areas identified as known habitat for listed species if listed species are known to exist in close proximity to the development. The survey shall include detailed information regarding type, quantity, location, and habitat requirements for any listed species identified. A de minimus threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Evaluation and Findings of Consistency with Objective 5.1: According to the analysis of the subject property, based on the best available data, the site does not contain any environmental features, such as those considered by Objective 5.1 that would render the property inappropriate for the proposed development. Please see the Environmental Conditions Analysis section of this Report.

Objective 5.2: Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted level of service standards are maintained.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, public schools, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

Evaluation and Findings of Consistency with Objective 5.2 and Policy 5.2.a: An analysis of the development's impact to public facilities has been provided within this report. This analysis demonstrates that the development will not adversely affect the level of service (LOS) standard of any monitored public facilities.

Policy 9.1: Any new development within a Commercial or Industrial Future Land Use Map Designation within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Evaluation and Findings of Consistency with Policy 9.1: The proposed development will connect to potable water and wastewater facilities.

Transportation Element

Objective 1.1: Level of Service

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

Evaluation and Findings of Consistency with Objective 1.1: An analysis of the development's impacts to transportation facilities has been provided within this report. The development will not adversely affect the level of service for transportation facilities.

Policy 1.3.a: The City shall establish minimum and maximum parking standards in order to avoid excessive amounts of underutilized parking areas.

Policy 1.3.d: The City shall require landscaping within parking areas, with an emphasis on canopy trees. The City shall consider establishing incentives for landscaping in excess of minimum standards.

Policy 1.3.e: The City shall establish standards for parking facility design that adequately separates pedestrians from vehicular traffic and delineates pedestrian crossing zones.

Policy 1.3.f: The City shall establish bicycle parking facility standards based on type of use within developments.

Policy 1.3.g: The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

Evaluation and Findings of Consistency with Objective 1.1 and Policies 1.3.a, 1.3.d – 1.3.g: The site plan complies with Section 6.1, Off-street parking and loading standards, of the City's Land Development Regulations.

Community Facilities & Natural Groundwater Aquifer Recharge Element

Policy 1.1.d:

The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service

- a. **Quality:** Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).

- b. Quantity: System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.
- c. System capacity: If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Policy 1.1.d: An analysis of the development's impacts to sanitary sewer facilities has been provided within this report. The development will not adversely affect the level of service for sanitary sewer facilities.

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

- 3. A gravity wastewater system, wastewater pumping station, or force main exists within ¼ mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 1.2.a: The proposed development is located within the City's utility service area and will connect to the City's wastewater system.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:

<u>FACILITY TYPE</u>	<u>LEVEL OF SERVICE STANDARD</u>
Solid Waste Landfill	.73 tons per capita per year

Evaluation and Findings of Consistency with Objective 2.1.a: An analysis of the development's impacts to solid waste facilities has been provided within this report. The development will not adversely affect the level of service for solid waste facilities.

Objective 3.1: Ensure provision of drainage and stormwater retention through level of service standards and design requirements to minimize flooding and to protect and improve water quality.

Policy 3.1.f: The City shall permit the use of off-site retention facilities, if they are part of previously approved master stormwater retention or detention facility.

Evaluation and Findings of Consistency with Objective 3.1 and Policy 3.1.f: The proposed development will convey the development's stormwater runoff to one (1) stormwater basin, which would be located both onsite. The applicant has indicated that, if the application is approved, an application for self-certification of environmental resource permit will be submitted to the Suwannee River Water Management District.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

3. A water main exists within $\frac{1}{4}$ mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 4.1.b: The proposed development is located within the City's utility service area and will connect to the City's potable water system.

Policy 4.1.c: The City establishes the following level of service standards for potable water:

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
2. Quantity: System-wide potable water distribution and treatment will be sufficient to provide a minimum of 275 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Florida Administrative Code.
3. System Capacity: If the volume of existing use in addition to the volume of the committed use of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available

or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Objective 4.1.c: An analysis of the development's impacts to potable water facilities has been provided within this report. The development will not adversely affect the level of service for potable water facilities.

Conservation & Open Space Element

Policy 1.2.a:

The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

Policy 1.3.e:

The City's land use designations shall offer the best possible protection to threatened and endangered species.

Evaluation and Findings of Consistency with Policy 1.2.a and 1.3.e: The subject property does not contain any environmentally sensitive lands or lands designated for conservation. The development therefore will encourage development practices which provide for the protection of native communities and ecosystems.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to best available data, there are no wetlands located on the subject property. If any wetlands are identified on the subject property at a later time, these areas will be subject to the applicable protection standards of the City of Alachua Comprehensive Plan and the Land Development Regulations (LDRs.)

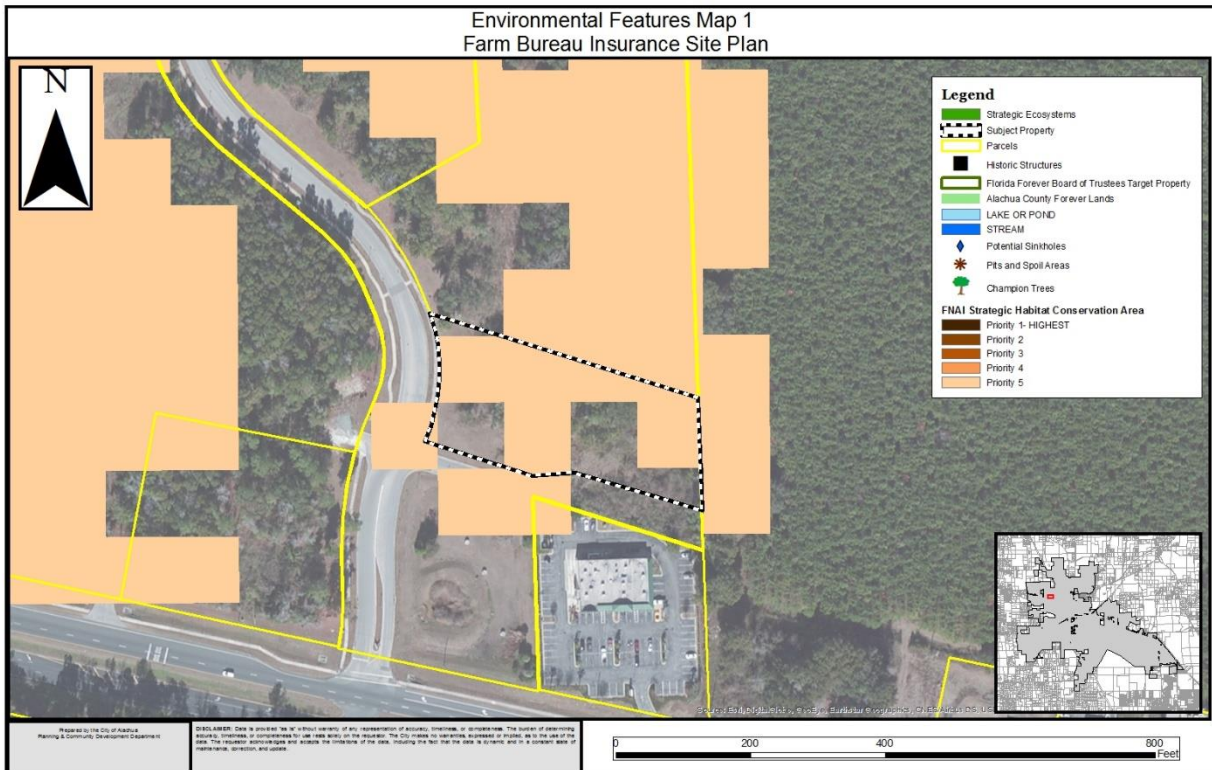
Evaluation: No wetlands have been identified on subject property therefore, there are no issues related to wetland protection.

Strategic Ecosystems

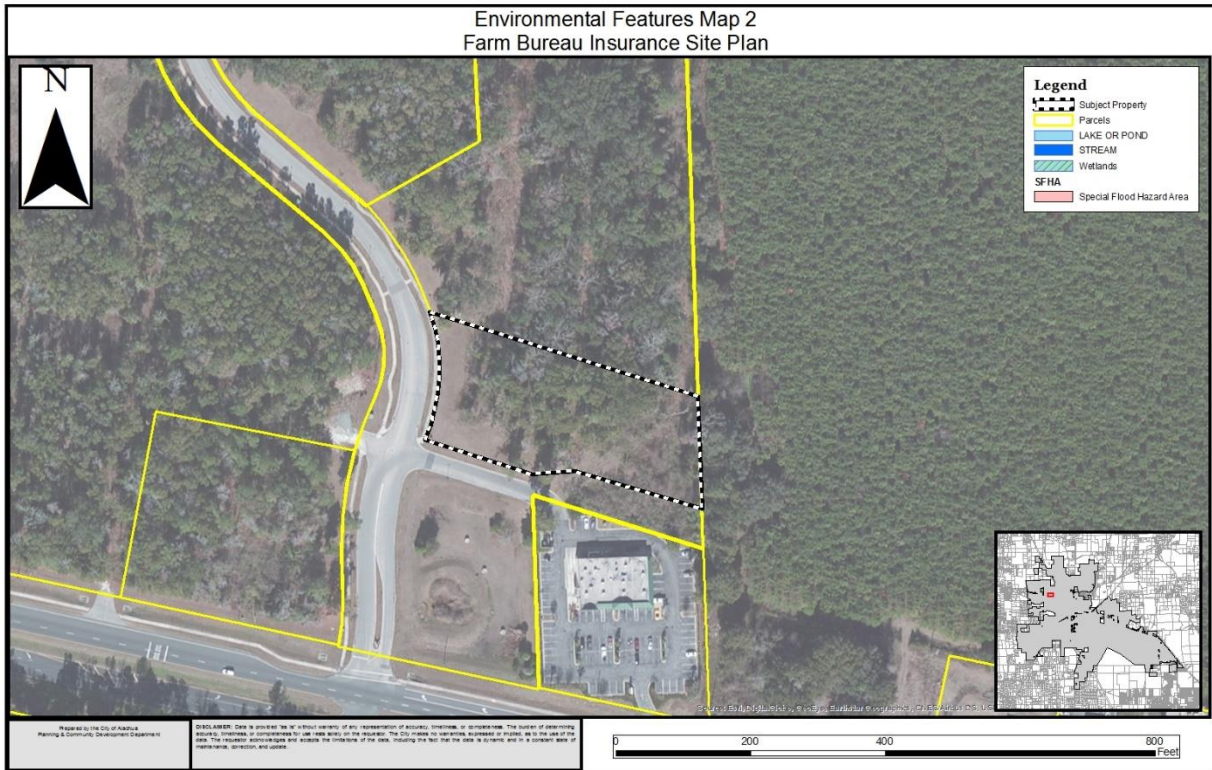
Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County. The subject property is not located within or adjacent to a Strategic Ecosystem.

Evaluation: The subject property is not located within or adjacent to a Strategic Ecosystem, therefore, the development will not adversely impact any Strategic Ecosystem(s) identified within the ecological inventory report.

Map 4. Environmental Features



Map 5. Wetlands and Flood Zones



Regulated Plant & Animal Species

The subject property is not known to contain any species identified as endangered, threatened, or of special concern. The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region. Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation: No species identified as endangered, threatened, or of special concern are known to exist on the subject property. While the FNAI PNA data layer does not indicate any lands classified as potentially having habitat which could support species identified as endangered, threatened, or of special concern, this data is not intended for use in a regulatory decision making process. If a regulated plant or animal species is identified

during development, the applicant must adhere to the applicable standards in the City of Alachua Comprehensive Plan and the Land Development Regulations.

Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

There are three (3) soil types found on the subject property:

Kendrick Sand (5%-8% slopes)

Hydrologic Soil Group: B

This soil type is well drained and permeability is rapid in the surface and moderately slow in subsurface layers. Surface runoff is medium. This soil type poses only slight limitations as sites for dwellings, absorption fields for septic tanks, and local roads and streets. Limitations as sites for small commercial buildings are moderate because of the slope.

Fort Meade Fine Sand (0% – 5% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is surface runoff is slow. This soil type poses only slight limitations as sites for homes and local roads.

Kendrick Sand (2% – 5% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and small commercial buildings.

Evaluation: The soil types where structures or paved areas will occur on the subject property potentially pose moderate limitations for development. The proposed development will address soil limitations through appropriate techniques including cutting and filling.

Flood Potential

Panel 0120D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006, indicates that the subject property is in Flood Zone X (areas determined to be outside of the 500-year floodplain.) See Map 5 above.

Evaluation: The subject property is located in Flood Zone X (areas determined to be outside of the 500-year floodplain), therefore there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations. The subject property is located within an area where sinkholes may potentially allow hydrologic access to the Floridan Aquifer System, however, best available data indicates that no sinkholes or known indicators of sinkhole activity are located on the subject property.

Evaluation: There are no geologic features located on the subject property which indicate an increased potential for karst sensitivity.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500 foot radius area around each city-owned potable water well.

Evaluation: The subject property is not located within a City of Alachua wellhead protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City's Comprehensive Plan, therefore, there are no issues related to wellfield protection.

Historic Structures/Markers and Historic Features

The subject property does not contain any historic structures as determined by the State of Florida and the Alachua County Historic Resources Inventory. Additionally, the subject property is not located within the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

Evaluation: There are no issues related to historic structures or markers.

COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

SITE PLAN STANDARDS

Section 2.4.9(E) of the City's Land Development Regulations (LDRs) establishes the standards with which all site plans must be found to be compliant. The application has been reviewed for compliance with the standards of Section 2.4.9(E.) An evaluation and findings of the application's compliance with the standards of Section 2.4.9(E) is provided below.

(E) Site Plan Standards

A Site Plan shall be approved only upon a finding the applicant demonstrates all of the following standards are met:

(1) *Consistency with Comprehensive Plan*

The development and uses in the Site Plan comply with the Goals, Objectives and Policies of the Comprehensive Plan.

Evaluation & Findings: An analysis of the application's consistency with the Comprehensive Plan has been provided in this report.

(2) *Use Allowed in Zone District*

The use is allowed in the zone district in accordance with Article 4: *Use Regulations*.

Evaluation & Findings: The subject property is zoned Commercial Intensive ("CI"). The site plan proposes a new ±5,560 square foot office with employee and visitor parking, storm water management facility improvements, paving, grading, and associated utility infrastructure. Table 4.1-1 of the LDRs establishes the allowable uses within each zoning district, and indicates that this zoning district permits professional offices under the "Offices" use category.

(3) *Zone District Use-Specific Standards*

The development and uses in the Site Plan comply with Section 4.3, *Use-Specific Standards*.

Evaluation & Findings: There are no use specific standards set forth for this use in Table 4.1-1 of the LDRs.

(4) *Development and Design Standards*

The development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 6: *Development Standards*.

Evaluation & Findings: The application has been reviewed for and is found to be in compliance with all relevant provisions of Article 6, *Development*

Standards, including but not limited to Section 6.1, Off Street Parking & Loading Standards, Section 6.2, Tree Protection/Landscape/Xeriscape Standards, Section 6.3, Fencing Standards, Section 6.4, Exterior Lighting Standards, Section 6.7, Open Space Standards, Section 6.8, Design Standards for Business Uses, and Section 6.9, Environmental Protection Standards. Compliance with the relevant provisions of the aforementioned LDR sections is demonstrated within the Site Plan.

(5) *Subdivision Standards*

In cases where a subdivision has been approved or is pending, the development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 7: *Subdivision Standards*.

Evaluation & Findings: The proposed lot split, which is being evaluated and considered for approval administratively, is exempt from Article 7 of the LDRs, per section 2.4.10 (B)(3)(f).

(6) *Complies with All Other Relevant Laws and Ordinances*

The proposed site plan development and use complies with all other relevant City laws and ordinances, state and federal laws, and regulations.

Evaluation & Findings: The application is consistent with all other relevant City ordinances and regulations.

COMPLIANCE WITH SECTION 3.7.2 (C), U.S. HIGHWAY 441/ INTERSTATE 75 GATEWAY OVERLAY DISTRICT

Section 3.7.2 (C) of the City's Land Development Regulations (LDRs) establishes development standards for properties located within 2,000 feet of the intersection of U.S. Highway 441 and Interstate 75. These standards address primarily design elements such as building materials and signage. The application has been reviewed for and found to be in compliance with the standards of Section 3.7.2 (C).

COMPLIANCE WITH SECTION 6.6.3, RESIDENTIAL PROTECTION STANDARDS

Section 6.6.3 of the City's Land Development Regulations (LDRs) establishes additional conditions that may be imposed for development located within 500 feet of any residential district or adjacent to any existing single-family or two-family development. Upon evaluation of the proposed Site Plan, no potential adverse impacts to residential uses within 500 feet of the proposed site are anticipated.

COMPLIANCE WITH SECTION 6.8, DESIGN STANDARDS FOR BUSINESS USES

Section 6.8 of the City's Land Development Regulations (LDRs) establishes design standards for business uses. The standards established within Section 6.8.2 apply to business use types, except for single tenant retail sales and services uses greater than or equal to 20,000 square feet or unless otherwise exempted within Subsection 6.8.1(B.). Uses exempt from the design standards pursuant to Subsection 6.8.1(B) include use types within the industrial services, manufacturing and production, warehouse and freight movement, waste-related services, and wholesale sales use categories. The standards established within Section 6.8.3 apply to single tenant retail sales and services uses greater than 20,000 square feet.

The application has been reviewed for and found to be in compliance with the standards of Section 6.8. The proposed development is classified as a "business use type" and therefore subject to the requirements of Section 6.8.

PUBLIC FACILITIES IMPACT

Traffic Impact

Table 2. Affected Comprehensive Plan Roadway Segments¹

Segment Number ^{2, 3}	Segment Description	Lanes	Functional Classification	Area Type	LOS
5 (13,14,15)	US 441 (From SR 235 to NCL)	4/D	Principle Arterial	Urban Trans	E
2 (31)	I-75 (from US 441 to south city limits)	6/D	Freeway	COMM	C
NA	CR 235A (South Segment) (from US 441 to CR 235)	2/U	County Maintained Collector	Urban Trans	D
NA	CR 235A (North Segment) (from north city limits to US 441)	2/U	County Maintained Collector	Urban Trans	D

¹ Source: City of Alachua Comprehensive Plan, Transportation Element.
² For developments generating fewer than 1,000 trips, affected roadway segments are identified as those located partially or wholly within ½ mile of the development's ingress/egress [Section 2.4.14(H)(2) of the LDRs.]
³ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 3. Trip Generation¹

Land Use	AADT (Enter/Exit) ²	AM Peak Hour (Enter/Exit) ²	PM Peak Hour (Enter/Exit) ²
General Office (ITE Code 710)	61 (31/31)	9 (8/1)	8 (1/7)
Total Trips	61 (31/31)	9 (8/1)	8 (1/7)

¹ Source: ITE Trip Generation, 9th Edition.
² Formulas: ITE Code 710 – AADT – 11.03 trips per 1,000 sf gfa x 5.56 ksf (50% entering/50% exiting); AM Peak Hour – 1.56 trips per 1,000 sf gfa x 5.56 ksf (88% entering/12 % exiting); PM Peak Hour – 1.49 trips per 1,000 sf gfa x 5.56 ksf (17 % entering/ 83% exiting)

Table 4a. Projected Impact on Affected Comprehensive Plan Roadway Segments (AADT)

Traffic System Category	US 441 From SR 235 to NCL (13,14,15) ¹	I-75 from US 441 to SCL (31,2) ¹	SR 235A South	SR 235A North
Average Annual Daily Trips				
Maximum Service Volume ²	35,500	85,600	14,580	14,580
Existing Traffic ³	24,411	56,476	3,780	1,428
Reserved Trips ⁴	3,769	746	102	75
Available Capacity ⁴	7,320	28,378	10,698	13,077
Increase/Decrease in Daily Trips Generated by Development ⁵	61	19	26	16
Residual Capacity After Development's Impacts⁶	7,259	28,359	10,672	13,061
¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. ² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas. ³ Florida State Highway System Level of Service Report 2013, Florida Department of Transportation, District II, August 2014. ⁴ Source: City of Alachua October 2016 Development Monitoring Report. ⁵ Trip Distribution: US 441 (From SR 235 to NCL) Segment- 100%, I-75 (From US 441 to SCL)- 31%, SR 235 (From 241 Intersection to US 441) - 42.6 %, SR 235 (From US 441 to NCL)- 26.2%. ⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.				

Table 4b. Projected Impact on Affected Comprehensive Plan Roadway Segments (PM Peak Hour)

Traffic System Category	US 441 From SR 235 to NCL (13,14,15) ¹	I-75 from US 441 to SCL (31,2) ¹	SR 235A South	SR 235A North
Maximum Service Volume ²	3,200	7,710	1,314	1,314
Existing Traffic ³	2,319	5,930	359	136
Reserved Trips ⁴	362	69	11	8
Available Capacity ⁴	519	1,711	944	1,170
Increase/Decrease in PM Peak Hour Trips Generated by Development ⁵	8	3	3	2
Residual Capacity After Development's Impacts⁶	511	1,708	941	1,168
¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. ² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas. ³ Florida State Highway System Level of Service Report 2013, Florida Department of Transportation, District II, August 2014. ⁴ Source: City of Alachua October 2016 Development Monitoring Report. ⁵ Trip Distribution: US 441 (From SR 235 to NCL) Segment- 100%, I-75 (From US 441 to SCL)- 31%, SR 235 (From 241 Intersection to US 441) - 42.6 %, SR 235 (From US 441 to NCL)- 26.2%. ⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.				

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

Potable Water Impacts

Table 5. Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,190,000
Reserved Capacity ¹	112,897
Available Capacity	997,103
Projected Potable Water Demand from Application ³	834
Residual Capacity	996,269
Percentage of Permitted Design Capacity Utilized	56.7%
<i>Sources:</i> ¹ City of Alachua October 2016 Development Monitoring Report. ² Source: Chapter 64E-6, Florida Administrative Code; Formula: 15 gallons per day per 100 square feet (55.6 100 square feet x 15 gpd = 834 gpd total)	

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

Sanitary Sewer Impacts

Table 6. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity ¹	1,500,000
Less Actual Treatment Plant Flows ¹	615,000
Reserved Capacity ¹	73,307
Available Capacity	811,693
Projected Sanitary Sewer Demand from Application ²	834
Residual Capacity	810,859
Percentage of Permitted Design Capacity Utilized	46%
<i>Sources:</i> ¹ City of Alachua March 2016 Development Monitoring Report. ² Source: Chapter 64E-6, Florida Administrative Code; Formula: 15 gallons per day per 100 square feet (55.6 100 square feet x 15 gpd = 834 gpd total)	

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

Solid Waste Impacts

Table 7. Solid Waste Impacts

System Category	Pounds Per Day	Tons Per Year
Demand from Existing Development ¹	39,152	7,145.24
Reserved Capacity ²	4,928.41	899.43
Demand Generated by Application ²	33.3	6.1
New River Solid Waste Facility Capacity ⁴	50 years	
Sources: 1 City of Alachua October 2016 Development Monitoring Report. 2 Sincero and Sincero; Environmental Engineering: A Design Approach. Prentice Hall, New Jersey, 1996		

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

Recreation Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public school facilities.

EXHIBIT “A”
TO
HIPP INVESTMENTS, LLC.; FARM BUREAU INSURANCE
SITE PLAN
STAFF REPORT

CONDITIONS:

1. The applicant agrees it shall obtain all other applicable local, state, and federal permits before the commencement of the development.
2. The applicant agrees it shall provide Public Utilities Easements as depicted on the Site Plan. Public Utilities Easements as depicted on the Site Plan shall be approved by the City and recorded in the Public Records of Alachua County prior to applying for a building permit. The applicant shall incur all costs associated with the preparation and recordation of such Public Utilities Easements.
3. The applicant agrees it shall comply with all recommendations provided by the City of Alachua Public Services Department in a memorandum dated February 16, 2017 and found in Exhibit “B” – Supporting Application Materials Submitted by City Staff to the Planning and Zoning Board.
4. The applicant agrees it shall comply with all recommendations provided by the City Engineer Robert J. Walpole, PE, in a memorandum dated January 4, 2017 and found in Exhibit “B” – Supporting Application Materials Submitted by City Staff to the Planning and Zoning Board.
5. The applicant agrees that Conditions 1-4 as stated above do not inordinately burden the land and shall be binding upon the property owner, including any subsequent property owners, successors, or assigns, and that the development shall comply with Conditions 1 -4 as stated herein.

EXHIBIT “B”
TO
HIPP INVESTMENTS, LLC; FARM BUREAU INSURANCE
SITE PLAN
STAFF REPORT

SUPPORTING APPLICATION MATERIALS SUBMITTED BY CITY STAFF TO THE PLANNING AND ZONING BOARD