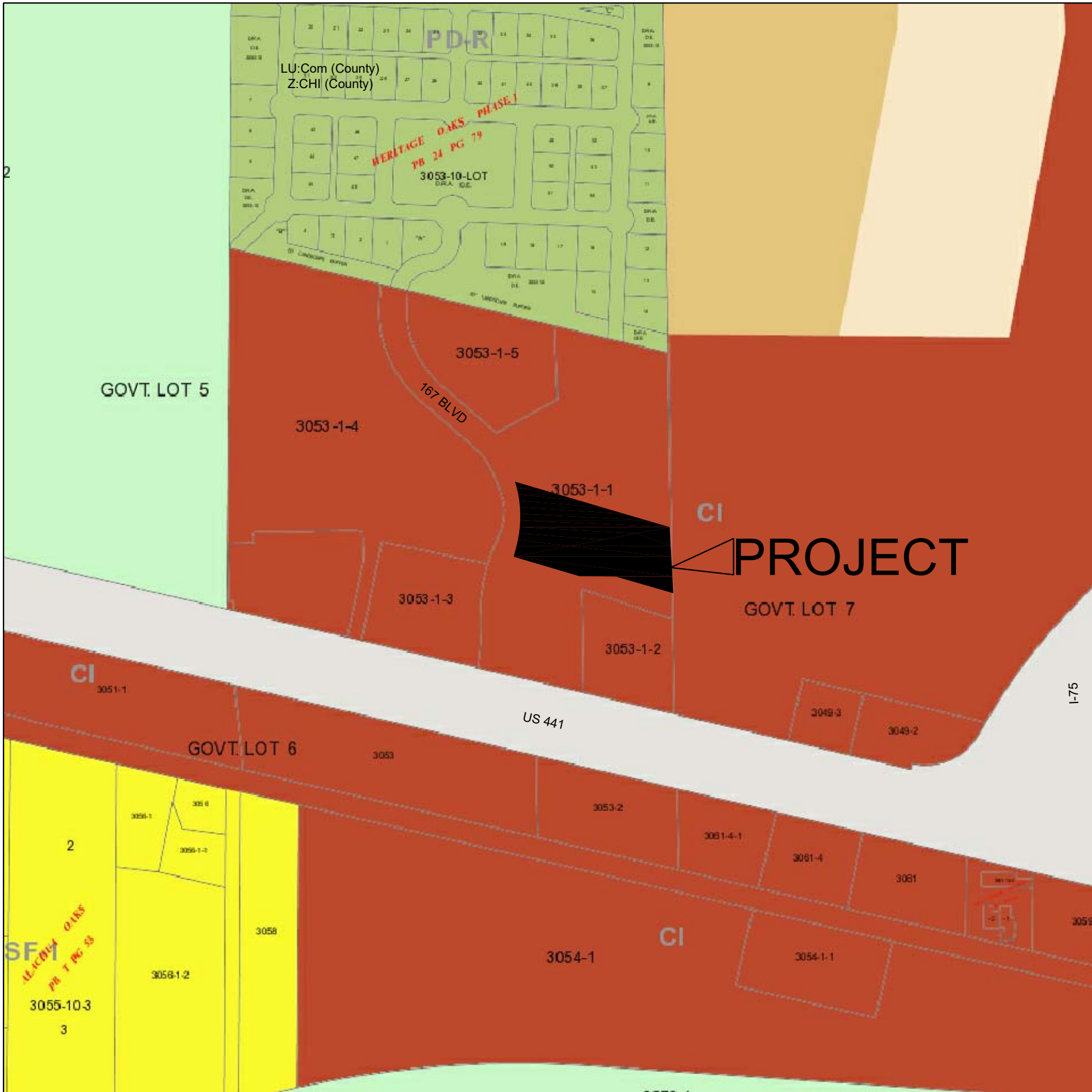
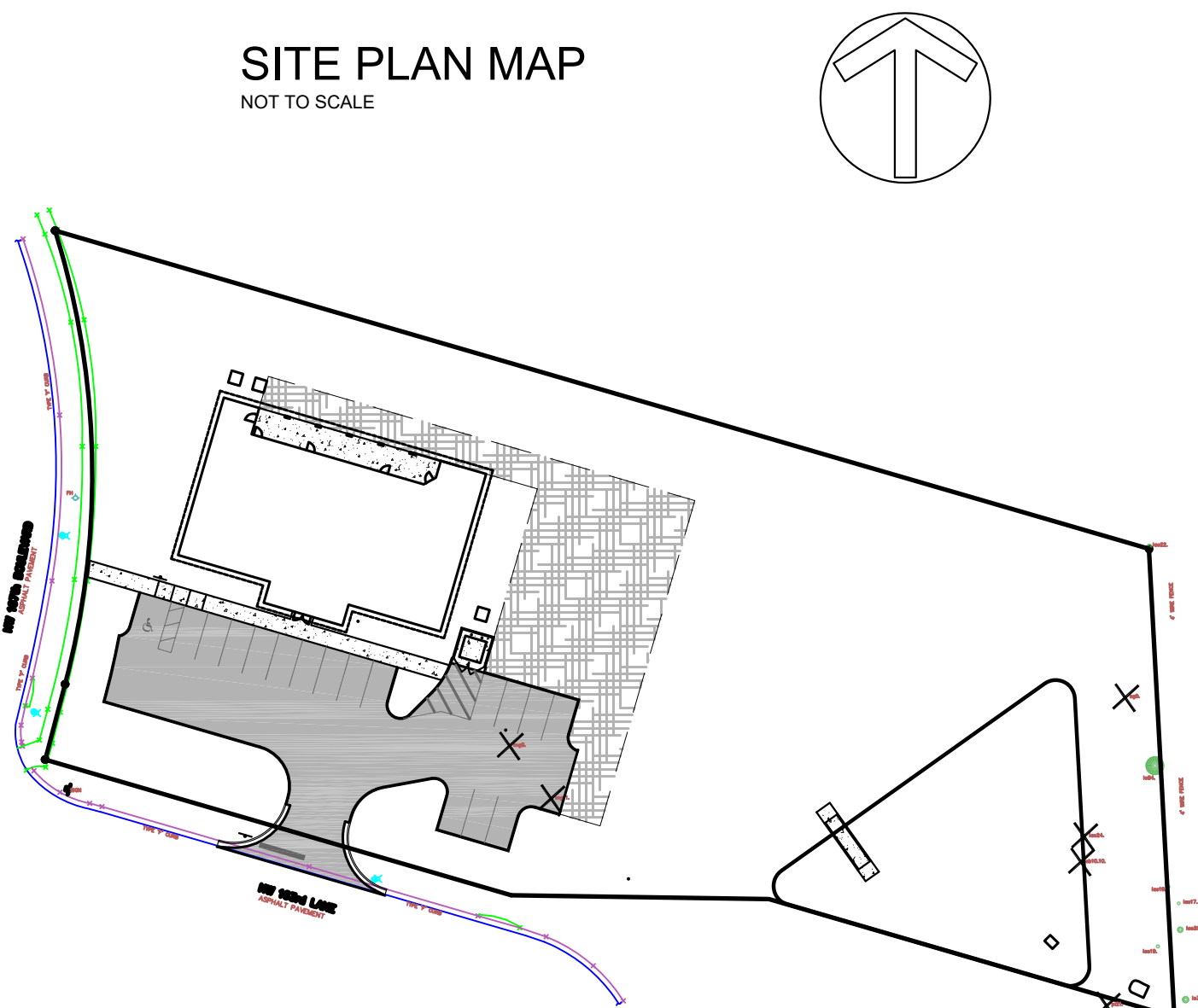


# FARM BUREAU INSURANCE

## at NW 167 BLVD



LOCATION MAP  
NOT TO SCALE



SITE PLAN MAP  
NOT TO SCALE

### PROJECT INFORMATION

PROJECT NAME: FARM BUREAU INSURANCE at NW 167 BLVD  
LOCATION: APPROXIMATELY 16151 NW US Hwy 441 ALACHUA, FL  
PROPERTY OWNER: HIPP INVESTMENTS LLC C/O UNION PROPERTIES 4421 NW 39TH AVE BLDG 2 STE 1 GAINESVILLE, FL 32606  
CIVIL ENGINEER: CHRISTOPHER A. GMUER, PE GMUER ENGINEERING, LLC (352) 281-4928 - chrisg@gmuereg.com 2603 NW 13TH ST BOX 314 GAINESVILLE, FL 32609  
LANDSCAPE ARCH: STEVEN PATRICK LOUGHEE / IRRIGATION DESIGN (352) 316-4773 - sloughes@cox.net 8013 SW 102ND AVE GAINESVILLE, FL 32608  
PHOTOMETRIC: JERRY DONALDSON (352) 332-5112 - lightwave2@bellsouth.net 13323 MILLHOPPER RD GAINESVILLE, FL 32653  
ARCHITECT: EUGENE RUSSELL DAVIS ARCHITECT, INC. (352) 372-6477 - davisarc@bellsouth.net 3615 NW 13TH ST GAINESVILLE, FL 32609  
ZONING: CI - COMMERCIAL INTENSIVE DISTRICT

LEGAL DESCRIPTION: A PARCEL OF LAND BEING SITUATED IN SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 1576.08 FEET; THENCE RUN N88°33'13"E, 1300.20 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 503, PAGE 107, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 1347.44 FEET TO A FOUND 4"x4" CONCRETE MONUMENT (T.B. 2891'), SAID CONCRETE MONUMENT BEING THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4076, PAGE 2345, OF SAID PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE CONTINUE S01°49'00"E, ALONG SAID WEST LINE, A DISTANCE OF 1000.00 FEET, TO A FOUND 5/8" IRON ROD (NO IDENTIFICATION), SAID IRON ROD BEING A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF N.W. US. HIGHWAY NO. 441 (STATE ROAD NO. 20 & 25) (200 FOOT RIGHT-OF-WAY); THENCE RUN S79°08'59"E, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1279.84 FEET TO A FOUND 5/8" REBAR & CAP (T.B. 2389'), SAID REBAR AND CAP ALSO BEING THE SOUTHEAST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 2392, PAGE 752; THENCE RUN N03°06'22"W, ALONG THE EAST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 280.92 FEET TO A FOUND 5/8" REBAR & CAP (T.B. 2389'), SAID REBAR AND CAP ALSO BEING THE NORTHEAST CORNER OF SAID CERTAIN TRACT OF LAND; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.15 FEET TO A SET 1/2" REBAR & CAP (T.B. 7996'); THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.49 FEET TO A SET 1/2" REBAR & CAP (T.B. 7996'); SAID REBAR AND CAP ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 171.68 FEET TO A SET 1/2" REBAR & CAP (T.B. 7996'); THENCE RUN N73°46'22"W, A DISTANCE OF 416.86 FEET TO A SET NAIL & DISK (T.B. 7996'), SAID NAIL & DISK LYING AND BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF AN INGRESS-EGRESS ROAD IMPROVEMENTS AND PUBLIC UTILITIES EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 4400, PAGE 2104 AND ON A NON-TANGENT CURVE, CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 301.00 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID RIGHT-OF-WAY LINE AND CURVE, THROUGH A CENTRAL ANGLE OF 32°14'49", AND AN ARC DISTANCE OF 168.27 FEET TO A SET NAIL & DISK (T.B. 7996'), SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S01°16'59"E, 168.09 FEET, RESPECTIVELY TO THE END OF SAID CURVE; THENCE RUN S14°44'53"W, A DISTANCE OF 28.60 FEET, ALONG SAID RIGHT-OF-WAY LINE TO A SET NAIL & DISK (T.B. 7996'); THENCE RUN S73°46'22"E, A DISTANCE OF 177.62 FEET TO A SET 1/2" REBAR & CAP (T.B. 7996'); THENCE SOUTH 89°08'38" EAST, A DISTANCE OF 94.31 FEET TO A SET 1/2" REBAR & CAP (T.B. 7996'); THENCE SOUTH 73°46'22" EAST, A DISTANCE OF 154.47 FEET TO THE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINING 1.659 ACRES, MORE OR LESS.

PROPOSED USE: OFFICE SERVICES, PARKING, STORMWATER MANAGEMENT FACILITY  
AREA OF SITE: 1.776 ACRES  
MIN LOT AREA: NONE  
MIN LOT WIDTH: NONE  
FRONT SETBACK: 20'  
SIDE SETBACK: NONE  
REAR SETBACK: 15'  
MAX HEIGHT: 65'  
MAX LOT OVERAGE: NONE  
MAX FAR: 0.75 FOR PARCELS BETWEEN 1 AND 5 ACRES  
PROPOSED LOT AREA: 1.659 ACRES  
PROPOSED FAR: 0.077  
LANDSCAPE BUFFER: 7.5' PERIMETER BUFFER  
PARKING BUFFER: MIN 5', AVERAGE 7'  
TREE ISLANDS: ONE PER 10 SPACES  
MIN PARKING: 5,560 SF \* 1 SPACE / 330 SF = 17 SPACES  
MAX PARKING: 17 SPACES \* 1.25 = 21 SPACES  
BIKE PARKING: NOT REQUIRED FOR PARKING UNDER 50 SPACES  
LOADING SPACE: NOT REQUIRED FOR OFFICE SERVICE USES  
HANDICAP SPACE: 1 H/C SPACE FOR LESS THAN 25 SPACES  
DRIVE ISLES WIDTH: 24'  
SPACE WIDTH: 18'

### SHEET INDEX

- C-000 COVER & SHEET INDEX
- C-010 NOTES & LEGEND
- C-100 DEMO, SITE & HORIZONTAL CONTROL PLAN
- C-200 PAVING, GRADING, DRAINAGE, & UTILITY PLAN
- P-1 PHOTOMETRIC PLAN
- I01-I02 IRRIGATION PLAN
- L01-L02 LANDSCAPE PLAN
- 1 OF 1 BOUNDARY SURVEY (DEREN)
- 1 OF 1 TREE SURVEY (EDA)
- A1.0 BUILDING FLOOR PLAN
- A2.0 & A2.1 BUILDING ELEVATIONS
- DSTR DUMPSTER ENCLOSURE ELEVATIONS

|                                                                            |                                                                                                                                                                                                                        |
|----------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PRICING:                                                                   | NOT CONTRACT DOCUMENTS                                                                                                                                                                                                 |
| FOR REVIEW ONLY                                                            | PERMITTING / DESIGN REVISIONS:<br>2016-10-31 INITIAL SUBMITTAL - CITY OF ALACHUA<br>2016-12-21 RESUBMITTAL - CITY OF ALACHUA<br>2017-02-07 CITY OF ALACHUA RESUBMITTAL - CITY OF ALACHUA<br>2017-02-28 8x2 BOARD PLANS |
| ENGINEER OF RECORD:<br>CHRISTOPHER A. GMUER<br>FL PE # 71599<br>2017-02-28 |                                                                                                                                                                                                                        |
| CLIENT: CHESHIRE CONSTRUCTION & DEVELOPMENT, INC.                          | DESIGN: C.A. GMUER, PE<br>QUALITY CONTROL: C.A. GMUER, PE<br>ALACHUA APP # TBD<br>SRWMD APP # TBD<br>GEIP PROJECT # 16-0044                                                                                            |
| FARM BUREAU INSURANCE at NW 167 BLVD                                       |                                                                                                                                                                                                                        |
| COVER AND SHEET INDEX                                                      |                                                                                                                                                                                                                        |
| C-000                                                                      |                                                                                                                                                                                                                        |

USER: Christopher Gmuier | FILE: 16-0044-C-010 NOTES.DWG | LAST SAVED: 2016-12-21 04:21:48 PM | PLOT SCALE: 1"=1' | PAGE SIZE: 11x17 | PLOTTED: 2017-02-28 04:03:56 PM

STORMWATER MINIMUM OPERATION AND MAINTENANCE STANDARDS

- THE OPERATION AND MAINTENANCE ENTITY IS THE PROPERTY OWNER UNLESS OTHERWISE SPECIFIED.
- A. IN ACCORDANCE WITH SECTION 373.418(2), F.S., UNLESS REVOKED OR ABANDONED, ALL STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, RESERVOIRS, APPURTENANT WORKS, OR WORKS PERMITTED UNDER PART IV OF CHAPTER 373, F.S., MUST BE OPERATED AND MAINTAINED IN PERPETUITY. THE OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE DESIGNS, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT ARE SUBMITTED WITH AN APPLICATION, APPROVED BY THE AGENCY, AND INCORPORATED AS A CONDITION INTO ANY PERMIT ISSUED.
- B. UPON COMPLETION OF THE PERMITTED STORMWATER MANAGEMENT SYSTEMS, DAMS, RESERVOIRS, IMPOUNDMENTS, APPURTENANT WORK, OR WORKS, THE AGENCY SHALL HAVE PERIODIC INSPECTIONS MADE TO ENSURE THE PROJECT WAS OPERATED AND IS BEING OPERATED IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT, AND IN A MANNER THAT PROTECTS THE PUBLIC HEALTH AND SAFETY AND THE NATURAL RESOURCES OF THE STATE. NO PERSON SHALL REFUSE IMMEDIATE ENTRY OR ACCESS TO ANY AUTHORIZED REPRESENTATIVE OF THE DISTRICT OR DEP WHO REQUESTS ENTRY FOR PURPOSES OF SUCH INSPECTION AND PRESENTS APPROPRIATE CREDENTIALS.
- C. INSPECTIONS MAY BE PERFORMED BY AGENCY STAFF DURING AND AFTER CONSTRUCTION, WHEN NEEDED TO ENSURE A PROJECT IS BEING OPERATED AND MAINTAINED IN PERPETUITY. THE PERMIT MAY REQUIRE THE OPERATION AND MAINTENANCE ENTITY TO CONDUCT THE PERIODIC INSPECTIONS. THE REQUIRED INSPECTION SCHEDULE FOR A SPECIFIC PROJECT WILL BE SPECIFIED IN THE PERMIT.
- D. SOME PROJECTS THAT DO NOT CONSIST OF OR INCLUDE A STORMWATER MANAGEMENT SYSTEM, DAM, IMPOUNDMENT, RESERVOIR, OR APPURTENANT WORK, WHETHER DESIGNED BY A REGISTERED PROFESSIONAL OR NOT, ALSO MAY BE REQUIRED IN THE PERMIT TO BE REGULARLY INSPECTED AND MONITORED TO ENSURE CONTINUED COMPLIANCE WITH PERMIT CONDITIONS AND THE FUNCTIONING OF THE PROJECT. THIS MAY INCLUDE INDIVIDUAL PERMITS ISSUED FOR ACTIVITIES AT A PRIVATE RESIDENTIAL SINGLE-FAMILY RESIDENCE. FOR EXAMPLE, A RESIDENTIAL FILL PAD MAY HAVE BEEN PERMITTED WITH SPECIFIC REQUIREMENTS FOR SLOPE DRAINAGE OR RUNOFF. A DOCK LOCATED IN WATERS WITH SENSITIVE RESOURCES MAY HAVE BEEN PERMITTED WITH CONDITIONS PROHIBITING MOORING IN CERTAIN LOCATIONS, LIMITING THE NUMBER OR SIZE OF BOATS TO BE MOORED AT THE DOCK, OR WITH REQUIREMENTS FOR HANDRAILING OR OTHER ASSOCIATED STRUCTURES. THE PERMIT WILL SPECIFY THE PERIODIC INSPECTIONS THAT WILL BE REQUIRED, AND HOW THE RESULTS OF THE INSPECTIONS ARE TO BE EITHER RETAINED BY THE PERMITTEE OR REPORTED TO THE AGENCY. EXAMPLES WHERE MONITORING AND REPORTING BY SUCH PERSONS MAY BE REQUIRED FOR SUCH ACTIVITIES ARE:

- THE FOLLOWING ARE EXAMPLES OF ACTIVITIES AS DISCUSSED ABOVE THAT ARE SUBJECT TO AN INITIAL INSPECTION PRIOR TO CONVERSION TO THE OPERATION PHASE, AND THEN SUBJECT TO ROUTINE INSPECTIONS DURING THE OPERATION AND MAINTENANCE PHASE. THE INSPECTION FREQUENCY DURING THE OPERATION AND MAINTENANCE PHASE WILL BE DETERMINED IN THE PERMIT.
1. SINGLE-FAMILY DOCK (TO VERIFY THAT: HANDRAILS ARE CONSTRUCTED AND ARE MAINTAINED TO PREVENT MOORING OF VESSELS IN SHALLOW WATERS);
2. MULTI-SLIP DOCKING MAINTENANCE OF MANATEE PROTECTION SIGNS, SEWAGE PUMP-OUT FACILITIES, OR OVER-WATER FUELING OPERATION);
3. SINGLE-FAMILY LOT FILL (TO VERIFY LAWN GRADING AND SLOPING IS MAINTAINED TO REDUCE DISCHARGES OF NUTRIENTS FROM LAWN RUNOFF ENTERING SENSITIVE WATERS);
4. SEAWALLS OR RIP RAP (TO VERIFY INTEGRITY OF SCOUR OR SHORELINE PLANTINGS);
5. LANDS WITHIN A CONSERVATION EASEMENTS (FOR ENCROACHMENTS, ALTERATIONS, OR EXOTIC/NUISANCE VEGETATION REMOVAL) IN ACCORDANCE WITH A PERMIT UNDER THIS CHAPTER;
6. MITIGATION SITES (TO DETERMINE COMPLIANCE WITH SUCCESS CRITERIA, INCLUDING THE STATUS OF EXOTIC SPECIES REMOVALS), AND OTHER DREDGING OR FILLING (FOR EXAMPLE, DREDGED MATERIAL SITES AND DAMS TO ENSURE FUNCTIONING AND STABILITY OF DIKES AND CONTROL STRUCTURES).
- E. THE EFFICIENCY OF STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, AND MOST OTHER PROJECTS NORMALLY DECREASES OVER TIME WITHOUT PERIODIC MAINTENANCE. FOR EXAMPLE, A SIGNIFICANT REDUCTION IN THE FLOW CAPACITY OF A STORMWATER MANAGEMENT SYSTEM OFTEN CAN BE ATTRIBUTED TO PARTIAL BLOCKAGES OF ITS CONVEYANCE SYSTEM. ONCE FLOW CAPACITY IS COMPROMISED, FLOODING MAY RESULT. THEREFORE, OPERATION AND MAINTENANCE ENTITIES MUST PERFORM PERIODIC INSPECTIONS TO IDENTIFY IF THERE ARE ANY DEFICIENCIES IN STRUCTURAL INTEGRITY, DEGRADATION DUE TO INSUFFICIENT MAINTENANCE, OR IMPROPER OPERATION OF PROJECTS THAT MAY ENDANGER PUBLIC HEALTH, SAFETY, OR WELFARE, OR THE WATER RESOURCES. IF DEFICIENCIES ARE FOUND, THE OPERATION AND MAINTENANCE ENTITY WILL BE RESPONSIBLE FOR CORRECTING THE DEFICIENCIES SO THAT THE PROJECT IS RETURNED TO THE OPERATIONAL FUNCTIONS REQUIRED IN THE PERMIT AND CONTEMPLATED BY THE DESIGN OF THE PROJECT AS PERMITTED. THE CORRECTIONS MUST BE DONE A TIMELY MANNER TO PREVENT COMPROMISES TO FLOOD PROTECTION AND WATER QUALITY.
- F. INSPECTION AND REPORTING FREQUENCIES WILL BE INCLUDED AS PERMIT CONDITIONS BASED ON SITE SPECIFIC OPERATIONAL AND MAINTENANCE REQUIREMENTS, CONSIDERING THINGS AS:
1. THE TYPE, NATURE, AND DESIGN OF THE DESIGN AND PERFORMANCE STANDARDS PROPOSED, INCLUDING ANY ALTERNATIVE DESIGNS SUCH AS PERVIOUS PAVEMENT, GREEN ROOFS, CISTERNS, MANAGED AQUATIC PLANT SYSTEMS, STORMWATER HARVESTING, WETLAND TREATMENT TRAINS, LOW IMPACT DESIGNS, ALUM OR POLYMER INJECTION SYSTEMS;
2. THE PROXIMITY OF RECEIVING WATERS CLASSIFIED AS OUTSTANDING FLORIDA WATERS IN RULE 62-302.700, F.A.C., OR IMPAIRED FOR CONSTITUENTS LIKELY TO BE CONTAINED IN DISCHARGES FROM THE PROJECT;
3. THE NATURE OF THE SITE, SUCH AS WHETHER IT IS PART OF A PORT OR LANDFILL, WHETHER IT WILL IMPOUND MORE THAN 40 ACRE-FEET OF WATER, OR WILL INCLUDE ABOVE GROUND IMPOUNDMENTS;
4. THE TOPOGRAPHY, RAINFALL PATTERNS, AND ADJACENT DEVELOPMENT SURROUNDING THE ACTIVITY SITE, INCLUDING ANY SPECIAL BASIN DESIGNATIONS WITHIN THE DISTRICT IN WHICH THE ACTIVITY IS LOCATED, AS IDENTIFIED IN PARAGRAPH 62-330.301(1)(K), F.A.C.;
5. THE NATURE OF THE UNDERLYING SOILS, GEOLOGY, AND GROUNDWATER, AND HYDROLOGY;
6. THE POTENTIAL FOR CONSTRUCTION AND OPERATION OF THE PROJECT TO CAUSE HARM TO PUBLIC HEALTH, SAFETY, OR WELFARE, OR HARM TO WATER RESOURCES, WATER QUALITY STANDARDS, OR WATER QUALITY; AND
7. PRIOR COMPLIANCE HISTORY WITH THE PROPOSED DESIGN AND PERFORMANCE TYPE, INCLUDING WHETHER THE ACTIVITY CHARACTERISTICS ARE LIKELY TO POSE MORE THAN A MINIMAL RISK FOR HARM.
- G. SPECIAL ATTENTION SHALL BE MADE DURING INSPECTIONS TO ENSURE THAT:
1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE;
2. THE SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE;
3. STORMWATER MANAGEMENT SYSTEMS THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OILS OR GREASES, OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL, OR BY OTHER LAWFUL MEANS; AND
4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.
- H. UNLESS OTHERWISE SPECIFIED IN THE PERMIT, THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN A RECORD OF EACH INSPECTION, INCLUDING THE DATE OF INSPECTION, THE NAME AND CONTACT INFORMATION OF THE INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE AGENCY, IN ACCORDANCE WITH THE REPORTING SECTION, BELOW.
- I. THE INSPECTION AND REPORTING REQUIREMENTS CONTAINED IN A PERMIT ISSUED UNDER PART IV OF CHAPTER 373, F.S., PRIOR TO OCTOBER 1, 2013, THE EFFECTIVE DATE OF CHAPTER 62-330, F.A.C., WHICH IMPLEMENTS SECTION 373.4141, F.S., SHALL CONTINUE TO BE FOLLOWED IN ACCORDANCE WITH THE EXISTING PERMIT UNLESS THE PERMITTEE OBTAINS A MODIFICATION USING THE PROCEDURES IN RULE 62-330.315, F.A.C., TO COMPLY WITH THE INSPECTION AND REPORTING REQUIREMENTS OF RULE 62-330.311, F.A.C., THESE NOTES, AND SECTION 12.4 OF THE ENVIRONMENTAL RESOURCE PERMIT APPLICANT'S HANDBOOK, VOLUME I (GENERAL AND ENVIRONMENTAL).

STORMWATER INSPECTION REPORTING

- A. ALL FORMS REQUIRED FOR REPORTING CAN BE SUBMITTED TO THE RESPECTIVE AGENCY INTERNET SITE. IF THE PERMITTEE DOES NOT USE THE ELECTRONIC FORMS PROVIDED ON THAT SITE, THEY SHALL BE RESPONSIBLE FOR RETAINING RECORDS OF THE INSPECTIONS AND FOR DELIVERING SUCH RECORDS WITHIN 30 DAYS OF REQUEST TO THE REQUESTING AGENCY, UNLESS A MORE RAPID DELIVERY IS REQUESTED FOR SUCH REASONS AS THE POTENTIAL FOR THE ACTIVITY HARM TO WATER QUALITY, WATER RESOURCES, PUBLIC HEALTH, OR PUBLIC SAFETY.
- B. WITHIN 30 DAYS OF ANY FAILURE OF A STORMWATER MANAGEMENT SYSTEM OR DEVIATION FROM THE PERMIT, A REPORT SHALL BE SUBMITTED ELECTRONICALLY OR IN WRITING TO THE AGENCY USING FORM 62-330.311(1), "OPERATION AND MAINTENANCE INSPECTION CERTIFICATION," DESCRIBING THE REMEDIAL ACTIONS TAKEN TO RESOLVE THE FAILURE OR DEVIATION.
- C. THE OPERATION AND MAINTENANCE ENTITY OF A REGIONAL STORMWATER MANAGEMENT FACILITY MUST NOTIFY THE AGENCY ON AN ANNUAL BASIS, USING FORM 62-330.311(2), "REGIONAL STORMWATER MANAGEMENT SYSTEM ANNUAL REPORT," OF ALL NEW SYSTEMS AND THEIR ASSOCIATED STORMWATER VOLUMES THAT HAVE BEEN ALLOWED TO DISCHARGE STORMWATER INTO THE REGIONAL FACILITY, AND CONFIRMING THAT THE MAXIMUM ALLOWABLE TREATMENT VOLUME OF STORMWATER AUTHORIZED TO BE ACCEPTED BY THE REGIONAL STORMWATER MANAGEMENT FACILITY HAS NOT BEEN EXCEEDED.
- D. A LISTING OF ALL THE FORMS THAT ARE INCORPORATED BY REFERENCE IN CHAPTER 62-330, F.A.C., IS CONTAINED IN APPENDIX C OF THE ERP APPLICANT'S HANDBOOK, VOLUME I; COPIES OF WHICH MAY BE OBTAINED FROM THE AGENCY, AS DESCRIBED IN APPENDIX A OF THAT VOLUME AND SUBSECTION 62-330.010(5), F.A.C.

DESIGN ELEMENTS AND INFORMATION FURNISHED BY OTHERS

1. THE ENGINEER AND ITS CONSULTANTS PREPARED THESE PLANS AND DESIGN DOCUMENTS THROUGH THE USE OR RELIANCE UPON DESIGN ELEMENTS AND INFORMATION ORDINARILY OR CUSTOMARILY FURNISHED BY OTHERS, INCLUDING, BUT NOT LIMITED TO, SURVEYORS, GEOTECHNICAL ENGINEERS, ENVIRONMENTAL CONSULTANTS, ARCHITECTS, BUILDING SYSTEMS ENGINEERS, SPECIALTY CONTRACTORS, MANUFACTURERS, SUPPLIERS, AND THE PUBLISHERS OF TECHNICAL STANDARDS. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR DESIGN ERROR AND OMISSIONS RESULTING FROM THE QUALITY OF THIS INFORMATION;
2. ALL POINTS OF COORDINATION OR INTERFACE BETWEEN THESE PLANS AND DESIGN DOCUMENTS AND THE PLANS AND DESIGN DOCUMENTS OF OTHERS MUST BE COMPARED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCURING MATERIALS AND INSTALLATION.

UTILITY LOCATES, RELOCATION, PROTECTION, AND TERMINATION

1. UTILITY LOCATES SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO THE INITIATION OF SITE CONSTRUCTION.
2. PROPOSED UTILITY TAPS AND CROSSINGS SHALL BE PHYSICALLY LOCATED AND VERIFIED BY THE CONTRACTOR AS SOON AS PRACTICABLE AND SHALL CONTACT THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES OR CONFLICTS.
3. UTILITY RELOCATION, SUPPORT, PROTECTION, TERMINATION, CAPPING, AND REMOVAL SHALL BE COORDINATED BY THE CONTRACTOR WITH UTILITY COMPANIES. ADEQUATE TIME SHALL BE PROVIDED FOR PROPER COORDINATION AND TO MINIMIZE SERVICE INTERRUPTIONS.
4. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES TO THE UTILITY COMPANY FOR THEIR SERVICES.

SAFETY AND TEMPORARY TRAFFIC CONTROL (MAINTENANCE OF TRAFFIC)

1. ALL SAFETY REGULATIONS AND PRACTICES SHALL BE ENFORCED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THIS PROJECT. THIS ALSO INCLUDES THE TRAVELING PUBLIC. THE FOLLOWING IS A NOTICE TO THE CONTRACTOR AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT OR ENFORCE SAFETY REGULATIONS.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
3. ALL SUBSURFACE CONSTRUCTION SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE "TRENCH SAFETY ACT".
4. TEMPORARY TRAFFIC CONTROL (TTC) IS REQUIRED FOR ALL WORKS ON HIGHWAYS, ROADS, STREETS, BIKE LANES, SIDEWALKS AND SHALL HAVE A TTC PLAN. THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER THAT IS FOOT ADVANCED MOT CERTIFIED AT THE COST OF THE CONTRACTOR. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED TTC PLAN AND THE REVIEWING AGENCY'S APPROVED PROCEDURES. THE PLAN AND WORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

GENERAL AND MISCELLANEOUS NOTES

1. THESE PLANS, DESIGN DOCUMENTS, AND NOTES ARE NOT EXHAUSTIVE. ALL THE APPLICABLE CONSTRUCTION STANDARDS AND DETAILS THAT ARE LISTED, REFERENCED, OR IMPLIED ARE INCLUDED IN THE CONTRACT DOCUMENTS BY REFERENCE.
2. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE REVIEWING AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
3. THE REPAIR OF DAMAGE EITHER ABOVE OR BELOW GROUND BY THE CONTRACTOR OR SUB-CONTRACTORS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE WILL BE IN THE OPINION OF THE OWNER, APPLICABLE AGENCY, OR ENGINEER. ALL REPAIRS SHALL BE MADE AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THE PARTICULAR ENTITY.
4. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT, SIDEWALKS, AND GRADING AROUND BUILDINGS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE.
5. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVED AREAS OF POOR DRAINAGE PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED, INSPECTED, AND TESTED PRIOR TO PAVEMENT BASE OR SIDEWALK INSTALLATION.

EROSION CONTROL AND STABILIZATION

1. CONTRACTOR IS REQUIRED TO SUBMIT A COMPLETE NOI AND APPROPRIATE FEE TO SECURE A FDPF GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CSP) AT LEAST TWO DAYS BEFORE CONSTRUCTION BEGINS. A PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OR IF THE PROJECT IS PART OF A LARGER DEVELOPMENT THAT WILL ULTIMATELY DISTURB ONE OR MORE ACRES.
2. PROJECTS THAT DISCHARGE STORMWATER TO AN MS4, A COPY OF THE NOI MUST ALSO BE SUBMITTED TO THE OPERATOR OF THE MS4.
3. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR OBTAINING PERMIT COVERAGE AND IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO MINIMIZE EROSION AND SEDIMENTATION FROM STORMWATER DISCHARGES DURING CONSTRUCTION. THE ENGINEER SHOULD NOT BE LISTED AS THE OPERATOR AS THEY DO NOT HAVE OPERATIONAL CONTROL OVER THE PROJECT.
4. WHEN THE OPERATOR CHANGES, THE NEW OPERATOR SHOULD OBTAIN PERMIT COVERAGE AT LEAST 2 DAYS BEFORE ASSUMING CONTROL OF THE PROJECT, AND THE PREVIOUS OPERATOR SHOULD FILE AN NPDES STORMWATER NOTICE OF TERMINATION WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROLS UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED.
6. ALL DISTURBED AND OPEN AREAS OF THE SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE.

TREE PRESERVATION AND DEMOLITION

1. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE INDICATED TO REMAIN UNDISTURBED PER THE REVIEWING AGENCIES REQUIREMENTS. INSPECTIONS MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION.
2. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
3. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR REMOVED SHALL CONFORM WITH THE REVIEWING AGENCY AND THE OWNER. THE PROTECTION OR REMOVAL IS AT THE COST OF THE CONTRACTOR.
4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
5. DISTURBED AREAS SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, MISCELLANEOUS VEGETATION, DELETERIOUS MATERIAL, DEBRIS, ETC.
6. SOME ITEMS TO BE REMOVED OR SALVAGED MAY NOT BE DEPICTED ON THE PLANS OR SURVEY. CONTRACTOR SHALL BE AWARE OF ALL EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS AND CONFIRM AN INVENTORY WITH THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OR SALVAGE OF ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, ETC., AND THEIR APPURTENANCES UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE PROPERLY DISPOSED IN A LEGAL MANNER.
8. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.

PERMITTING, CONSTRUCTION STANDARDS, SUBMITTALS, REQUESTS FOR INFORMATION, INSPECTIONS, TESTING, PUNCH LISTS, RECORD DRAWINGS, AND AS-BUILTS

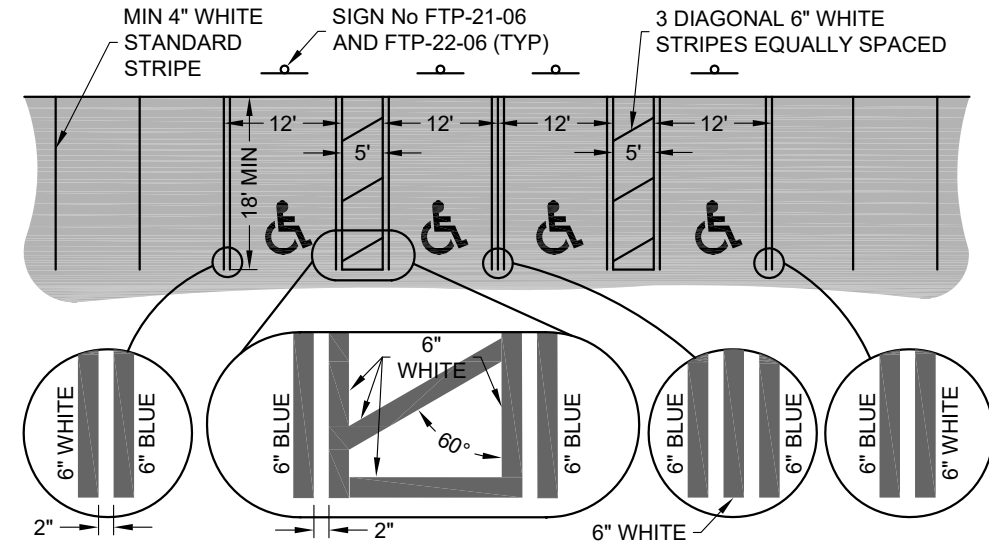
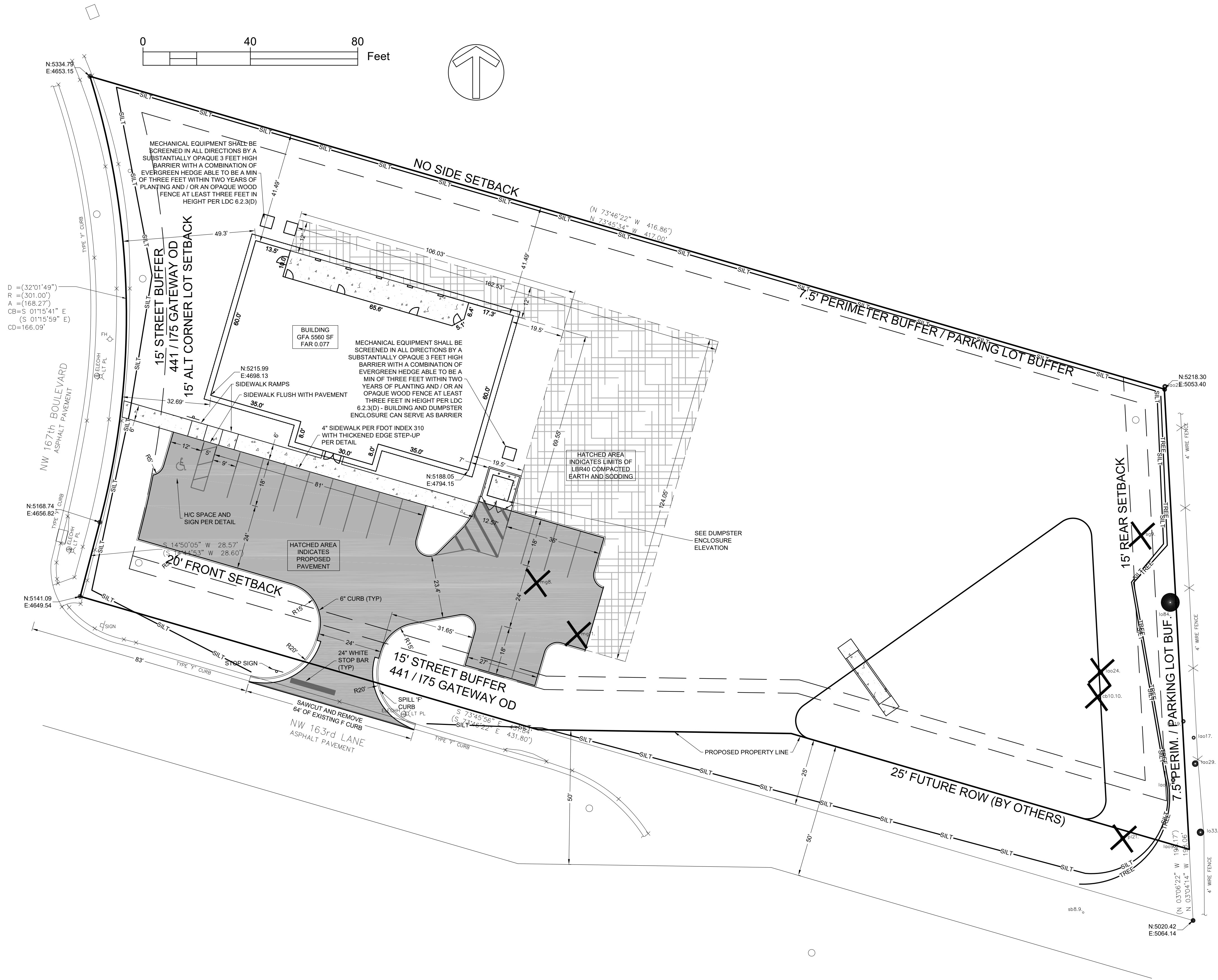
1. SITE CLEARING AND DEMOLITION MAY NOT BE ABLE TO BEGIN UNTIL CERTAIN PERMITS HAVE BEEN ISSUED AND MAY REQUIRE PRE-CONSTRUCTION MEETINGS, INSPECTIONS, CLEARANCES. THESE PERMITS ARE TYPICALLY ISSUED BY THE APPLICABLE WATER MANAGEMENT DISTRICT AND THE MUNICIPALITY.
2. OTHER PERMITS ARE REQUIRED PRIOR TO COMPLETING OTHER SITE COMPONENTS SUCH AS THE UTILITY CONSTRUCTION PERMITS, DRIVEWAY CONNECTION PERMITS, ROW USE PERMITS, ETC.
3. CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND OBTAINING ALL REQUIRED PERMITS, BONDS, TESTING, INSPECTIONS, CERTIFICATIONS, ETC., PRIOR TO AND DURING CONSTRUCTION (E.G. FDPF CGP, DEWATERING, MOT, WATERSEWER INSPECTIONS).
4. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
5. THE CONTRACTOR IS RESPONSIBILITY TO VERIFY THE CONSTRUCTION STANDARDS APPLICABLE TO EACH PORTION OF THE PROJECT. A SUGGESTED LIST OF APPLICABLE STANDARDS TYPICALLY ACCOMPANY THIS NOTE ON THIS PLAN SHEET.
6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PROCUREMENT OF MATERIALS AND INSTALLATION (E.G. PRECAST STRUCTURES, MANUFACTURED ITEMS). FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED TO THE ENGINEER FOR RESPONSE BEFORE COMMENCING THE RELATED WORK VIA THE OWNER'S CONSTRUCTION DOCUMENTATION PROCESS.
8. CONTRACTOR IS RESPONSIBLE FOR COMPILING A LIST INSPECTIONS AND FIELD VISITS DESIRED BY THE OWNER AND THE ENGINEER AND REASONABLY SCHEDULING THOSE INSPECTIONS.
9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING ALL INSPECTIONS REQUIRED BY THE REVIEWING AGENCIES AS LISTED IN THE PERMITS, INSPECTOR'S REQUEST, OR IMPLIED BY THE DESIGN STANDARDS.
10. CONTRACTOR SHALL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING OF MATERIALS, SOILS, UTILITIES, ETC. THE TESTING SHALL BE IN ACCORDANCE WITH THE APPROVED PERMITS, CONSTRUCTION STANDARDS, INSPECTOR'S REQUEST, DESIGN REPORTS, AND STANDARD PAVING AND GRADING TESTING. THIS SHALL INCLUDE DENSITY TESTING IN ALL PAVEMENT AREAS, UTILITY TRENCH COMPACTION ESPECIALLY UNDER ROADS AND OTHER PAVED AREAS, CONCRETE, AND OTHER MATERIALS TESTING.
11. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR ALL RETESTING COSTS AND ANY RECONSTRUCTION REQUIRED TO MEET THE TESTING REQUIREMENTS.
12. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER THE SCHEDULE OF PUNCH LIST SITE VISITS WITH THE CONSTRUCTION SCHEDULE TO AVOID REPEAT VISITS. A TIMELINE OF ADDRESSING THE PUNCH LIST ITEMS SHALL BE PROVIDED IN A TIMELY MANNER. ANY DISPUTES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER.
13. RECORD DRAWINGS ARE DEFINED AS NOTES AND OTHER DOCUMENTATION COLLECTED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AS IT RELATES TO INSTALLATION PROGRESS, FIELD CONDITIONS, MEANS, METHODS, DEVIATIONS, AND OTHER VARIATIONS FROM THE CONTRACT DOCUMENTS. THE DOCUMENTATION MUST BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES UPON REQUEST. RECORD DRAWINGS ARE NOT INTENDED TO BE EXHAUSTIVE, HOWEVER, VERIFICATION OF INSTALLED CONDITIONS CAN BE REQUESTED AT THE COST OF THE CONTRACTOR UTILIZING STANDARD METHODS.
14. CONTRACTOR SHALL CONFIRM REQUIREMENTS TO PROVIDE COMPLETE AS-BUILT INFORMATION TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES AT THE COST OF THE CONTRACTOR.
15. AS-BUILTS ARE DEFINED AS A DRAWING PRODUCED BY A REGISTERED LAND SURVEYOR BASED ON FIELD MEASUREMENTS OF THE FINISHED SITE IMPROVEMENTS WITH LOCATIONS, ELEVATIONS, AND DESCRIPTION OF IMPROVEMENTS. THEY SHOULD MEET REVIEWING AGENCIES REQUIREMENTS PER PERMIT AND CLOSEOUT REQUIREMENTS. THEY SHOULD ALSO MEET THE OWNER'S NEED FOR LENDING, WARRANTY, AND OTHER REQUIREMENTS.
16. AS-BUILTS CONTAIN AT A MINIMUM: BUILDING LOCATION AND FINISHED FLOOR ELEVATIONS, ACCESSIBLE ROUTE AND PARKING GRADES, PAVEMENT GRADE BREAKS, GRAVITY STRUCTURE TOP ELEVATIONS AND PIPE SIZES AND INVERTS, PRESSURE SYSTEM FITTINGS AND VALVES, SAMPLING POINTS, STORMWATER FACILITY TOP AND BOTTOM PERIMETERS AND OTHER FEATURES, OUTFALL STRUCTURE DETAILS, ETC. AND OTHER LOCATIONS WHERE FIELD CONDITIONS DO NOT MATCH THE CONTRACT DOCUMENTS.
17. ADDITIONAL AS-BUILT INFORMATION MAY BE REQUIRED DURING CONSTRUCTION INSTALLATIONS AT CRITICAL AREAS. THIS INCLUDES BUT IS NOT LIMITED TO PIPE CROSSINGS OF WATER MAINS WITH LESS THAN 18 INCHES OF CLEARANCE OR WHEN PARALLEL, UTILITIES WITH WATER MAINS HAVE LESS THAN 10 FEET OF CLEARANCE.

WARRANTIES

1. IF NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL IMPROVEMENTS SHALL BE WARRANTED BY THE CONTRACTOR TO THE OWNER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. THIS WARRANTY WILL ALSO EXTEND TO THE MAINTENANCE ENTITY OF ANY OTHER IMPROVEMENTS INCLUDING ROADS, SIDEWALKS, UTILITIES, STORM PIPING, ETC. OR TO THE EXTENT REQUIRED BY THEIR APPLICABLE DESIGN STANDARDS.

|                                           |  |                                                                                                                                                                    |                        |
|-------------------------------------------|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
| PRICING                                   |  | FOR REVIEW ONLY                                                                                                                                                    | NOT CONTRACT DOCUMENTS |
| CONSTRUCTION                              |  |                                                                                                                                                                    |                        |
| PERMITTING/DESIGN REVISIONS:              |  | 2016-10-31 INITIAL SUBMITTAL - CITY OF ALACHUA<br>2016-12-21 RESUBMITTAL - CITY OF ALACHUA<br>2017-02-07 CITY OF ALACHUA RESUBMITTAL<br>2017-02-28 RFP BOARD PLANS |                        |
| ENGINEER OF RECORD:                       |  | CHRISTOPHER A. GMUER<br>FL # E 71599<br>2017-02-28                                                                                                                 |                        |
| CHESHIRE CONSTRUCTION & DEVELOPMENT, INC. |  | C.A. GMUER, PE<br>C.A. GMUER, PE                                                                                                                                   |                        |
| DESIGN QUALITY CONTROL:                   |  | TBD<br>TBD<br>16-0044                                                                                                                                              |                        |
| ALACHUA APP #                             |  | SRWMD APP #                                                                                                                                                        |                        |
| GEN# PROJECT #                            |  |                                                                                                                                                                    |                        |
| FARM BUREAU INSURANCE at NW 167 BLVD      |  |                                                                                                                                                                    |                        |
| NOTES AND LEGEND                          |  |                                                                                                                                                                    |                        |
| C-010                                     |  |                                                                                                                                                                    |                        |

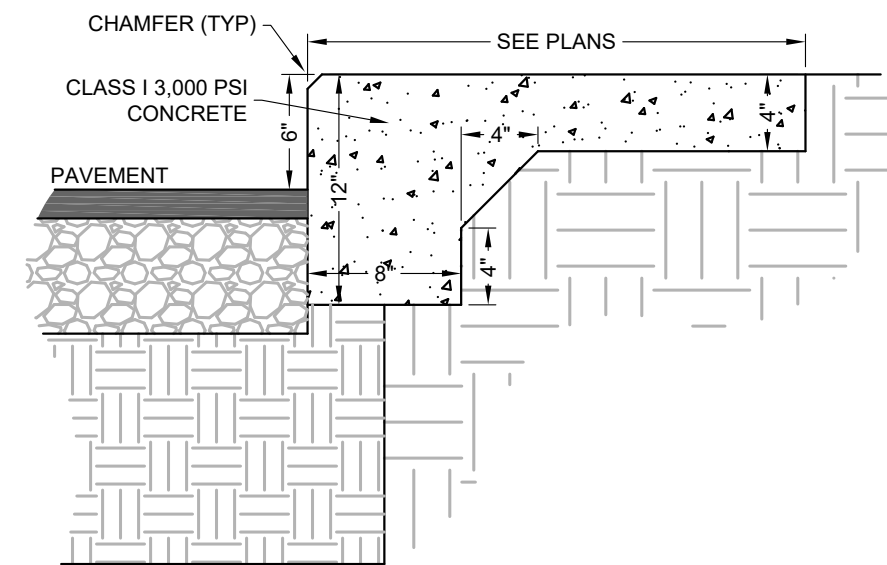
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- NOTES:
- SEE PLANS FOR LAYOUT AND QUANTITY
  - DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
  - BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.
  - THE FTP-22-06 PANEL SHALL BE MOUNTED BELOW THE FTP-21-06 SIGN.

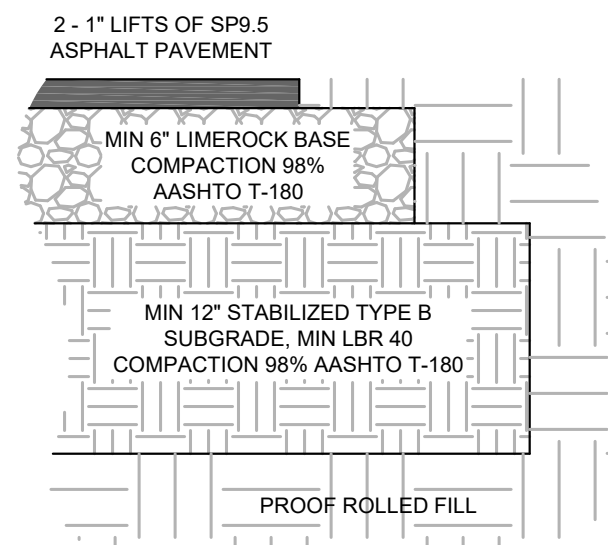
ACCESSIBLE PARKING PAVEMENT MARKING DETAIL

NOT TO SCALE



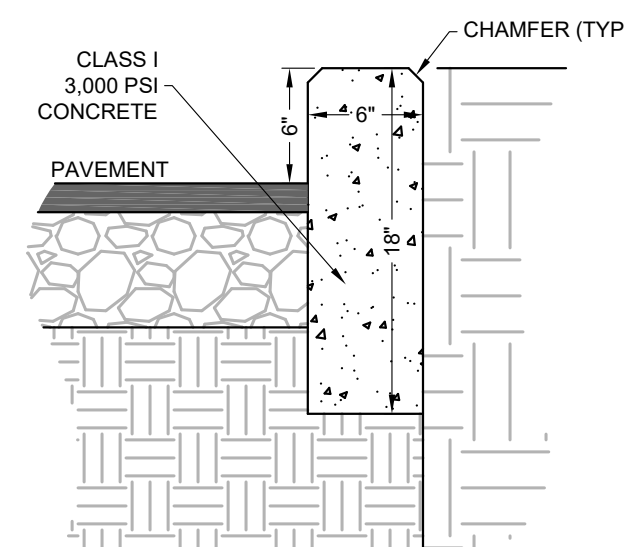
STEP-UP SIDEWALK WITH THICKENED EDGE DETAIL

NOT TO SCALE



PROPOSED STANDARD PAVEMENT DESIGN DETAIL

NOT TO SCALE



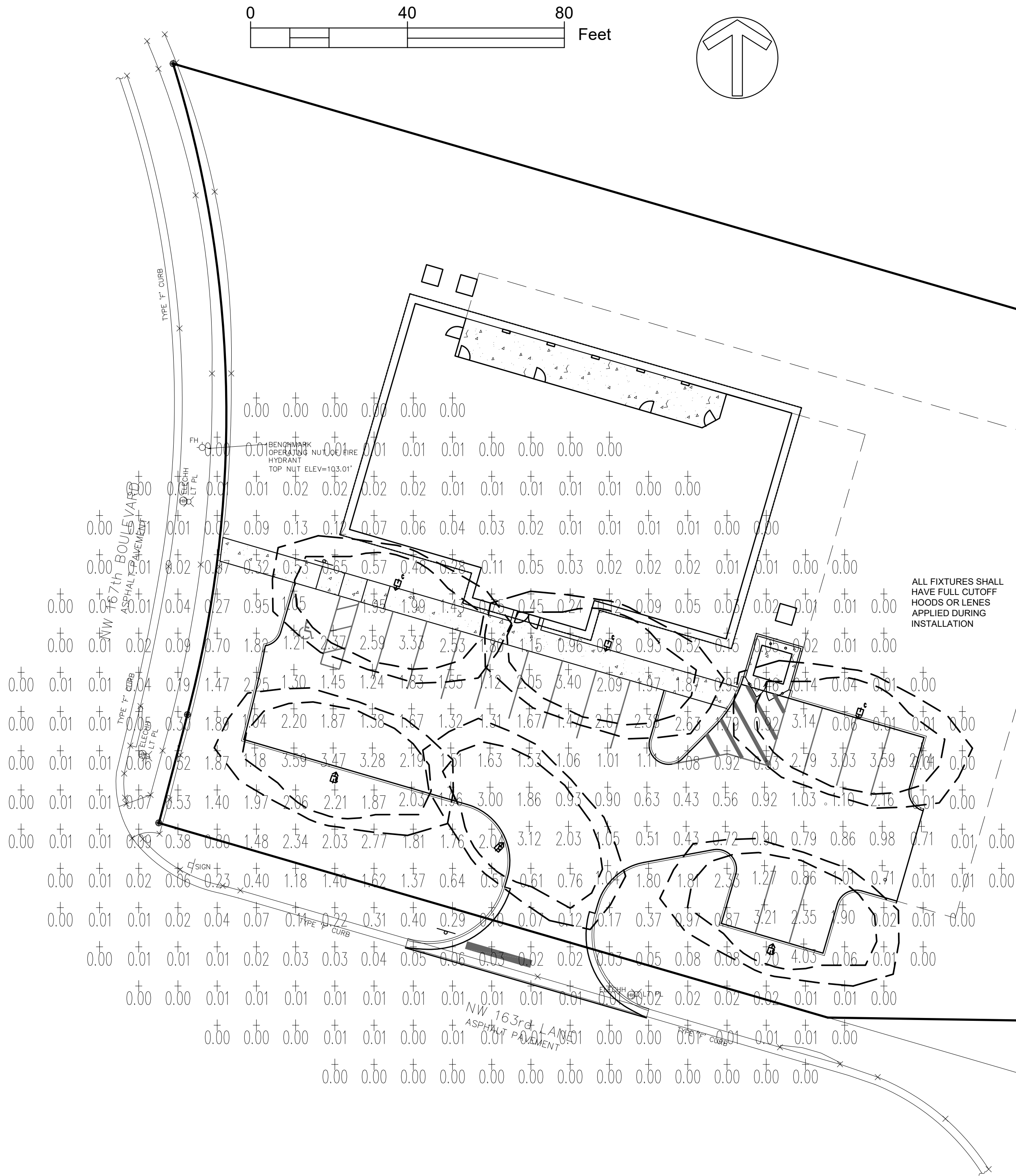
6" CURB DETAIL

NOT TO SCALE

|                                                    |  |                                           |  |
|----------------------------------------------------|--|-------------------------------------------|--|
| PRICING:                                           |  | NOT CONTRACT DOCUMENTS                    |  |
| CONSTRUCTION:                                      |  | FOR REVIEW ONLY                           |  |
| PERMITTING / DESIGN REVISIONS:                     |  |                                           |  |
| 2016-10-31 INITIAL SUBMITTAL - CITY OF ALACHUA     |  |                                           |  |
| 2016-12-21 RESUBMITTAL - CITY OF ALACHUA           |  |                                           |  |
| 2017-02-07 CITY OF ALACHUA RESUBMITTAL             |  |                                           |  |
| 2017-02-28 8x2 BOARD PLANS                         |  |                                           |  |
| ENGINEER OF RECORD:                                |  |                                           |  |
| CHRISTOPHER A. GMUER                               |  |                                           |  |
| FL PE # 71599                                      |  |                                           |  |
| 2017-02-28                                         |  |                                           |  |
| CLIENT:                                            |  | CHESHIRE CONSTRUCTION & DEVELOPMENT, INC. |  |
| DESIGN:                                            |  | C.A. GMUER, PE                            |  |
| QUALITY CONTROL:                                   |  | C.A. GMUER, PE                            |  |
| ALACHUA APP #                                      |  | TBD                                       |  |
| SRWMD APP #                                        |  | 16-0044                                   |  |
| GEING PROJECT #                                    |  | 16-0044                                   |  |
| FARM BUREAU INSURANCE at NW 167 BLVD               |  |                                           |  |
| DEMO, SITE, DEVELOPMENT, & HORIZONTAL CONTROL PLAN |  |                                           |  |
| C-100                                              |  |                                           |  |



USER: Christopher Gmuer | FILE: 16-0044-P-Photo.DWG | LAST SAVED: 2017-02-07 11:32:36 PM | PLOT SCALE: 1:1 | PAGE SIZE: 11x17 | PLOTTED: 2017-02-28 04:00:54 PM



ALL FIXTURES SHALL  
HAVE FULL CUTOFF  
HOODS OR LENSES  
APPLIED DURING  
INSTALLATION

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| CALCULATION SUMMARY |                 |  |               |  |       |       |       |      |      |      |
|---------------------|-----------------|--|---------------|--|-------|-------|-------|------|------|------|
| AREA NAME           | DIMENSIONS      |  | GRID / TYPE   |  | # PTS | SPAC  | GROUP | AVE  | MAX  | MIN  |
| Site Lighting       | 267.90x271.10ft |  | Parking / H-H |  | 73    | 10.00 | <+>   | 1.71 | 4.03 | 0.43 |

| Farm Bureau (103016) LUMINAIRE SCHEDULE |        |                                                            |         |        |                  |         |
|-----------------------------------------|--------|------------------------------------------------------------|---------|--------|------------------|---------|
| TYP                                     | SYMBOL | DESCRIPTION                                                | LAMP    | LUMENS | MOUNTING/BALLAST | LLF QTY |
| C                                       | ⬢      | LEOTEK ELECTRON LED40W4'<br>(1) L4 AR18-10M-MV-NW-4-XX-350 | (1) N/A | 4240   |                  | 1.00 6  |

| AREA SUMMARY SCHEDULE |     |                 |               |               |     |
|-----------------------|-----|-----------------|---------------|---------------|-----|
| AREA NAME             | I/O | DIMENSIONS      | LUMS / <ASMS> | WATTS / SQ.FT | QTY |
| Site Lighting         | OUT | 267.90x271.10ft | <C > (6)      | 0.00          | 1   |

|                   |                                              |         |                       |
|-------------------|----------------------------------------------|---------|-----------------------|
| CLIENT :          | CHESHIRE CONSTRUCTION<br>& DEVELOPMENT, INC. |         | TBD<br>TBD<br>16-0044 |
| DESIGN :          | C.A. GMUER, PE                               |         |                       |
| QUALITY CONTROL : | C.A. GMUER, PE                               |         |                       |
| ALACHUA APP #     |                                              | TBD     |                       |
| SRWMD APP #       |                                              | TBD     |                       |
| GENg PROJECT #    |                                              | 16-0044 |                       |

FARM BUREAU  
INSURANCE at  
NW 167 BLVD

PHOTOMETRIC  
PLAN

P-1

PERMITTING / DESIGN REVISIONS:

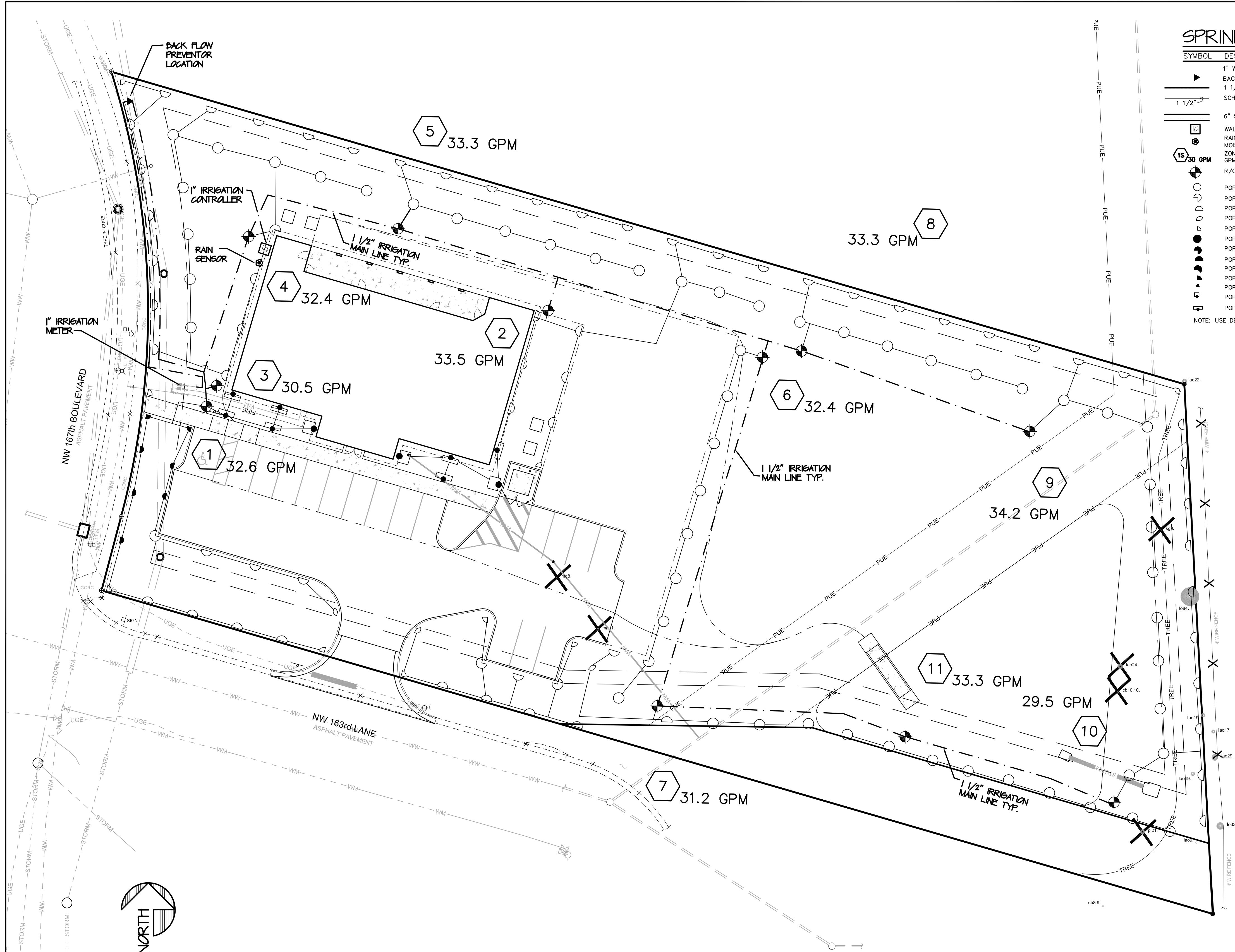
2016-10-31 INITIAL SUBMITTAL - CITY OF ALACHUA  
2016-12-21 RESUBMITTAL - CITY OF ALACHUA  
2017-02-07 CITY OF ALACHUA RESUBMITTAL  
2017-02-28 CITY OF ALACHUA RESUBMITTAL  
2017-02-28 P&E BOARD PLANS

ENGINEER OF RECORD:  
CHRISTOPHER A. GMUER  
FL PE # 71599  
2017-02-28



PRICING:

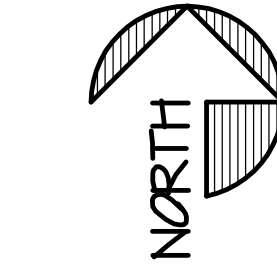
NOT CONTRACT DOCUMENTS



SPRINKLER LEGEND

| SYMBOL | DESCRIPTION                 | MANUFACTURER | MODEL NO.   | NOTES                                                  |
|--------|-----------------------------|--------------|-------------|--------------------------------------------------------|
|        | 1" WATER METER              | TBD          | TBD         | TO BE INSTALLED PER LOCAL CODE DESIGN PARAMETER 30 GPM |
|        | BACK FLOW PREVENTOR         | TBD          | TBD         | TO BE INSTALLED PER LOCAL CODE                         |
|        | 1 1/2" SCH 40 PVC MAIN LINE | N/A          | N/A         | SEE INSTALLATION DETAIL 1                              |
|        | SCH 40 PVC LATERAL LINE     | N/A          | N/A         | SIZE SHOWN ON PLAN, SEE INSTALLATION DETAIL 1          |
|        | 6" SCH 40 PVC SLEEVE        | N/A          | N/A         |                                                        |
|        | WALL MOUNT CONTROLLER       | RAINBIRD     | TM2-12-120V | SEE INSTALLATION DETAIL 2                              |
|        | RAIN SENSOR                 | RAINBIRD     | RSD-BEX     | MOUNT ON EYE OF BUILDING                               |
|        | MOISTURE SENSOR             | RAINBIRD     | AQUAMISER   | INSTALL PER MANUFACTURE SPECIFICATION                  |
|        | ZONE LABEL                  |              |             | R = ROTOR ZONE, S = SPRAY ZONE                         |
|        | GPM REQUIREMENT             |              |             |                                                        |
|        | R/C VALVE                   | RAINBIRD     | 150-PESB    | SEE INSTALLATION DETAIL 3                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-15F    | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-15VAN  | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-15H    | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-15VAN  | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-15Q    | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-12F    | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-12VAN  | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-12H    | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-12VAN  | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-12Q    | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-12VAN  | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-15EST  | SEE INSTALLATION DETAIL 4                              |
|        | POP-UP SPRAY HEAD           | RAINBIRD     | 1812-15SST  | SEE INSTALLATION DETAIL 4                              |

NOTE: USE DETAIL 5 SHRUB RISER MOUNT WHEN HEAD PLACEMENT OCCURS IN SHRUB BEDS AND ADJACENT TO BUILDINGS.



IRRIGATION PLAN

SCALE: 1" = 20'

NOTE: IRRIGATION CONTRACTOR TO SIZE PIPING FOR EA IRRIGATION ZONE USING SCH 40 PVC PIPE. MAIN LINE TO BE SCH 40 1 1/2" PIPING.

Farm Burea Building  
Alachua, Florida Alachua County  
IRRIGATION PLAN

STEVEN PATRICK LOUHE  
Landscape Architect  
Irrigation Designer  
8019 SW 102nd AVENUE  
Gainesville, Florida 32608  
(941) 949-4775  
FLREG0100001956

DATE: 01/31/17  
SCALE: 1" = 20'  
DRAWN BY: SPL  
DESIGNED: SPL  
PROJECT NO: AD-0925-16  
FILE NAME: farm burea IRRIGATION

SHEET NO.  
\* OF \*  
10



| PLANT LIST (NOTE: GALLON SIZES ARE GIVEN AS A REFERENCE, SIZES SPECIFIED IN NOTES TAKES PRECEDENCE.) |                                   |                     |          |           |                                                                                                       |  |  |  |  |
|------------------------------------------------------------------------------------------------------|-----------------------------------|---------------------|----------|-----------|-------------------------------------------------------------------------------------------------------|--|--|--|--|
| SYM                                                                                                  | SCIENTIFIC NAME                   | COMMON NAME         | QUANTITY | SIZE      | NOTES                                                                                                 |  |  |  |  |
| AR                                                                                                   | ACRE RUBRUM                       | RED MAPLE           | 06 EA.   | 30 GAL.   | 10' X 4' min., TOTAL CALIPER 1 1/2". Florida Fancy No. 1 min.                                         |  |  |  |  |
| BN                                                                                                   | BETULA NIGRA                      | RIVER BIRCH         | 08 ea.   | 30 GAL.   | 10'-12' X 4' - 6' min., 1 1/2" CALP. min., MULTI-TRUNKED, 3 TRUNK min. min., Florida Fancy No. 1 min. |  |  |  |  |
| IXAE                                                                                                 | ILEX X ATENUATA "EAST PALATKA"    | EAST PALATKA HOLLY  | 30       | 15 GAL.   | 8' X 4' min., 1 1/2" CALP. MIN., CENTRAL MAIN LEADER, FLORIDA FANCY NO. 1 MIN.                        |  |  |  |  |
| LT                                                                                                   | Liriodendro tulipifera            | FLORIDA TULIPAR     | 18       | 30 GAL.   | 10' - 12' X 4' - 6' min., 2 1/2" CALP. MIN., CENTRAL MAIN LEADER, FLORIDA FANCY NO. 1 MIN.            |  |  |  |  |
| QV                                                                                                   | QUERCUS VIRGINIANA (W)            | LIVE OAK            | 16       | 30 GAL.   | 10' - 12' X 4' - 6' min., 2 1/2" CALP. MIN., CENTRAL MAIN LEADER, FLORIDA FANCY NO. 1 MIN.            |  |  |  |  |
| TD                                                                                                   | TAXODIUM DISTICHUM                | BALD CYPRESS        | 11 ea.   | 15 gal.   | 8' X 4' min., TOTAL CALIPER 1 1/2". Florida Fancy No. 1 min.                                          |  |  |  |  |
| PT                                                                                                   | PITTIOSPORUM TOBIRA               | PITTIOSPORUM        | 186 ea.  | 3 gal.    | 12" X 18" min., Florida Fancy No. 1 min.                                                              |  |  |  |  |
| RI                                                                                                   | RAPHIOLEPS INDICA                 | INDIAN HAWTHORNE    | 30 EA.   | 1 GAL.    | 12" X 12" MINIMUM, FLORIDA FANCY NO. 1 MIN.                                                           |  |  |  |  |
| IF                                                                                                   | ILICLIUM FLORIDANUM               | FLORIDA ANISE       | 226 ea.  | 3 gal.    | 24" X 18" min., Florida Fancy No. 1 min.                                                              |  |  |  |  |
| SRSS                                                                                                 | SERENOA REPENS 'SILVER SAW'       | SILVER SAW PALMETTO | 64 ea.   | 3 gal.    | 24" X 24" min., Florida Fancy No. 1 min.                                                              |  |  |  |  |
| DV                                                                                                   | DIETES VEGETATA                   | AFRICAN IRIS        | 555 EA.  | 1 GAL.    | 18" MINIMUM, FULL POTS MIN., FLORIDA FANCY NO. 1 MIN.                                                 |  |  |  |  |
| ASvB                                                                                                 | Aristida stricta var. beyrichiana | Wire Grass          | 120 EA.  | 4" liners | FLORIDA FANCY NO. 1 MIN.                                                                              |  |  |  |  |
|                                                                                                      | PASPALUM NOTATUM                  | BAHAI               | TBD      | TBD       | TO BE WEED AND PEST FREE FOR A PERIOD OF 90 DAYS.                                                     |  |  |  |  |
|                                                                                                      | PASPALUM NOTATUM                  | BAHAI               | TBD      | TBD       | TO BE SAND GROWN AND PLANTED WITHIN 2 DAYS OF HARVESTING                                              |  |  |  |  |
|                                                                                                      | PINE BARK CHIPS                   |                     | TBD      |           | 3" UNIFORM THICK LAYER OF MULCH MINIMUM.                                                              |  |  |  |  |

1. Substitutions of planting material will not be permitted unless authorized in writing by the Landscape Architect or designee or City Planning Staff. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for the use of the nearest equivalent size or variety with corresponding adjustment of Contract Price.
2. Sod shall be nursery grown sod as classified by the American Sod Producers Association.
3. Sod shall be certified free of noxious weeds by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry, have been cut regularly at a height of 1 1/2 inches and held together firmly when a 16 inch x 24 inch piece is picked up with only one hand. The sod shall have its roots embedded in a layer of clean soil 3/4 inch to 1 inch thick.
4. Sod shall be harvested, delivered and transplanted within a period of 48 hours unless a suitable preservation method is approved prior to delivery.
5. Provide all plant materials as indicated on the drawing. The sizes that are indicated are the minimum acceptable sizes.
6. All plant material not otherwise specified as specimen shall be FLORIDA GRADE No. 1 or better quality graded in accordance with Grades and Standards for Nursery Plants published by the State of Florida, Department of Agriculture. Plants judged to be not in accordance with said standards will be rejected.
7. The number of plants specified shall take precedence over the graphic plant symbols. The Contractor shall verify all quantities required for the completion of the work and shall be responsible for the supply and installation of all plants and materials indicated on the drawings and specifications.
8. The Contractor shall notify the Landscape Architect or designee "IMMEDIATELY" of any discrepancies in the plans or specifications.
9. Protect the work, the public, and property owner from injury or loss arising in connection with this contract. Provide adequate barricades, night lights, etc. to protect the public. The Contractor shall be responsible for any damage or injury due to his act or neglect.
10. Plants and planting areas shall be mulched within two days after planting with a three inch deep layer of the prescribed mulch material, entirely covering the pit or bed around each point, but not within 6" of tree trunks.
11. As planting operations proceed, all rope, wire, burlap, empty containers, rocks, clods and all other debris shall be removed daily, and the site kept neat at all times.
12. Any excess excavated topsoil or rich loam shall be placed as directed by the Owner or his Representative.
13. After planting operations are finished, all paved areas which may have become strewn with soil or other material shall be thoroughly cleaned by sweeping, and, if necessary, washing.
14. The Landscape Architect or designee reserve the right to inspect the work during the execution of the contract. The Contractor shall review the entire project with the Landscape Architect and the Owner for final inspection to obtain approval for final payment.
15. For a period of one year from and after the date of the Final Acceptance of his work, Contractor shall promptly and properly repair or replace all defective materials, equipment, plants, or workmanship which becomes evident during that period, and shall do so at no additional cost to the owner.
16. MAINTENANCE: the holder of the certificate of occupancy shall be the responsible party for the maintenance of all landscape areas which shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free from refuse and debris. All planted areas shall be provided with a readily available water supply to ensure continual to provide vigorous healthy growth and development. Maintenance shall include the replacement of all dead plant material.
17. Trees not within planting beds shall be sleeved with 10" of plastic tubing to protect trunks from mower/trimmer damage.
18. Trees will be staked as needed and will be removed after one year. (owner shall remove any tree staking)
19. Landscape installation Contractor shall arrange an on-site meeting with the Landscape Architect (352-318-4773) and the City of Alachua site inspector prior to purchasing any plant materials. During final inspection, any plant materials not deemed to meet specifications shall be promptly removed and replaced at no additional cost to the owner.
20. No asphalt, concrete, limerock, or construction debris is allowed in landscape beds. If area must be excavated, soil in planting beds shall be replaced with high quality deep fill of pH. 5.5-6.5.
21. New trees to be installed shall have planting pit twice the diameter of the container. The first root arising from the trunk shall be no deeper than 2" below the soil surface when planted. The surface of the rootball shall be 1" - 2" above grade when planting is completed.

2

PLAN

1/2" NYLON STRAP

8' LODGE POLE

3" INCHES MULCH

4" INCH DEEP SAUCER

BACKFILL MIX

UNDISTURBED SUBSOIL

REMOVE BURLAP & ROPE FROM TOP 1/3 OF THE BALL

NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

EDGE OF PAVEMENT OR CURB

GRASS

EDGE OF DEEPLINE

NOTE: LOCATE PLANTS IN A TRIANGULAR PATTERN AND GROUND SPACED SUBSIDIST FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST).

SHRUB/GROUNDCOVER SPACING PLAN

N.T.S.

1" IF SHRUB IS D & D, THEN REMOVE BURLAP & ROPE FROM TOP 1/3 OF BALL

MINIMUM 2" MULCH HARDWOOD

SOIL PERM

MINIMUM 12" DEPTH OF PLANTING SOIL IN GROUNDCOVER PLANTING BEDS

3" INCHES MULCH (SEE LANDSCAPE NOTES FOR TYPE OF MULCH)

PLANTING SOIL MIXED PER SPECIFICATIONS

UNDISTURBED SUBSOIL

PROVIDE MINIMUM PIT CLEARANCE AROUND ROOT BALL OF 6" SIDES AND BOTTOM

SHRUB AND GROUNDCOVER PLANTING DETAIL

N.T.S.

SCALE: 1" = 20'  
NOTE:  
AN AUTOMATIC DRIP IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL NEWLY PLANTED PLANTS. EACH TREE SHALL REQUIRE A MIN. OF ONE BUBBLER AT THE BASE OF THE TREE.  
LANDSCAPE CONTRACTOR SHALL CONFIRM THAT ALL LIMBEROCK AND CONSTRUCTION DEBRIS HAS BEEN REMOVED TO A MIN DEPTH OF 18" FROM AREAS TO BE LANDSCAPED AND THAT THE PLANTING LOAM IS OF P11 55 - 65.

10% OPEN SPACE AREA REQUIREMENTS:

PER CITY OF ALACHUA LDR SECTION 6.7.3 (A) STATES THAT THE MINIMUM OPEN SPACE SET-ASIDE SHALL BE 10% OF THE DEVELOPMENT SITE. THIS REQUIREMENT IS MET BY THE CALCULATIONS FOR 30% LANDSCAPE, SHOWN WITHIN CHART ON THIS SHEET, WHICH INCLUDE LANDSCAPE BUFFERS, BASIN AND OTHER LANDSCAPE AREAS,

30% LANDSCAPED AREA REQUIREMENTS:

PER CITY OF ALACHUA COMPREHENSIVE PLAN POLICY 2.4.1, WHICH STATES THAT THE MINIMUM LANDSCAPE AREA MUST BE 30% OF THE DEVELOPED SITE.

|                                                        |
|--------------------------------------------------------|
| TOTAL SITE AREA = 77,392.98 S.F. = 1.77 ACRES          |
| TOTAL PROPOSED LANDSCAPE AREA.....62,549 S.F. = 80.8 % |

REQUIRED TREE MITIGATION: A TREE SURVEY HAS BEEN PROVIDED AT TIME OF PLAN REVISION.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| HERITAGE TREES REMOVED: 02 TREES (100 24", pi 21")<br>REGULATED TREES REMOVED: 04 TREES (mg 8", mg 11", sg 9", cb 10" –10")                                                                                                                                                                                                                                                                                                                                                                                                                |
| MITIGATION REQUIRED:<br>TREE FOR TREE MITIGATION: 06 TREES TO BE REPLACED = 4 at 1.5" EACH (CODE MINIMUM SIZE), 45" replacement for heritage tree removal heritage 51.0' TOTAL REPLACEMENT INCHES<br><br>AT LEAST 50% OF THE TOTAL REPLACEMENT TREES SHALL BE CANOPY TREES AND AT LEAST 75% SHALL BE CHOSEN FROM THE RECOMMENDED TREE LIST PER 6.2.1(D)(4)(b).<br>NOTE: ALL TREES TO BE COUNTED TOWARDS MITIGATION REPLACEMENT TREES ARE MARKED "M" ON THE PLAN. TREES USED FOR MITIGATION ARE PART OF THE MINIMUM LANDSCAPE REQUIREMENTS. |
| MITIGATION PROVIDED:<br>15 CANOPY TREES PROVIDED @ 2.5" CALIPER<br>– MEETS 50 % REQUIREMENT FOR CANOPY TREES<br>– MEETS 75% REQUIREMENT FOR TREES THAT ARE ON THE RECOMMENDED TREE LIST                                                                                                                                                                                                                                                                                                                                                    |

TREES ALSO HAVE BEEN SELECTED UNDER REVIEW OF Tree Inventory and Management Plan, Alachua, Florida, July 2009 BY THE Davey Resource Group

SITE LANDSCAPE CALCULATIONS: SECTION 6.2.2 (D)(1)(b)

PROPERTY = 77392.98 S.F = 1.77 AC.

| DESCRIPTION                                                                                                | TREE REQUIREMENTS                                                                                                                              | TREE PROVIDED                                                                                                                 |
|------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|
| PRIMARY SIDE CANOPY TREES                                                                                  | 03 TREES PER ACRE<br>03 TREES 1.77 ACRES = 05 TREES                                                                                            | 07 TREES PROVIDED<br>06 TREE CREDITS USED                                                                                     |
| SIDE AND REAR CANOPY TREES<br>NORTH SIDE CANOPY TREES<br>SOUTH SIDE CANOPY TREES<br>EAST SIDE CANOPY TREES | 02 TREES PER ACRE PER SIDE AND REAR<br>02 TREES 1.77 ACRES = 3.5 TREES<br>02 TREES 1.77 ACRES = 3.5 TREES<br>02 TREES 1.77 ACRES = 3.5 TREES   | 05 TREES PROVIDED, 00 TREE CREDITS USED<br>16 TREES PROVIDED, 00 TREE CREDITS USED<br>09 TREES PROVIDED, 00 TREE CREDITS USED |
| SITE UNDERSTORY TREES                                                                                      | 06 TREES PER ACRE<br>06 TREES 1.77 ACRES = 10.6 TREES<br>50% IN FRONT = 05 TREES<br>25% ON EAST SIDE = 03 TREES<br>25% ON WEST SIDE = 03 TREES | 05 TREES PROVIDED, 00 TREE CREDITS USED<br>03 TREES PROVIDED, 00 TREE CREDITS USED<br>05 TREES PROVIDED, 00 TREE CREDITS USED |
| BUILDING FACADE                                                                                            | 04 TREES PER 100 L.F. /<br>SHRUB LINE ALONG ALL FACADES<br>320 L.F. OF FACADE<br>3.2 X 4 = 13 TREES REQUIRED                                   | 13 TREES PROVIDED, 00 TREE CREDITS USED<br>SHRUB LINE ALONG ALL APPLICABLE FACADES PROVIDED                                   |

PERIMETER BUFFER LANDSCAPED AREA REQUIREMENTS: SECTION 6.2.2 (D)(3)

| LOCATION                                                                                                                                    | TREE AND SHRUB REQUIREMENTS                                                         | TREE AND SHRUB PROVIDED                                                                      |
|---------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| NORTHERN PERIMETER = 416.86 L.F.<br>TYPE "B" BUFFER OPTION "2": 7.5' WIDE<br>1 PERIMETER BUFFER REQUIRED DUE TO ADJACENT VACANT LOT         | 05 CANOPY TREES REQUIRED<br>CONTINUOUS EVERGREEN HEDGE REQUIRED                     | 09 CANOPY TREES PROVIDED<br>CONTINUOUS EVERGREEN HEDGE PROVIDED                              |
| EASTERN PERIMETER = 198.17 L.F.<br>TYPE "B" BUFFER OPTION "2": 15' WIDE<br>1 PERIMETER BUFFER REQUIRED DUE TO ADJACENT VACANT LOT           | 03 CANOPY TREES REQUIRED<br>CONTINUOUS EVERGREEN HEDGE REQUIRED                     | 06 CANOPY TREES REQUIRED<br>CONTINUOUS EVERGREEN HEDGE PROVIDED                              |
| SOUTHERN PERIMETER = 431.80 L.F.<br>TYPE "B" BUFFER OPTION "2": 7.5' WIDE<br>30 L.F. (DRIVEWAY) = 401.80 L.F.<br>TYPE "B" BUFFER: 7.5' WIDE | 11 CANOPY TREES REQUIRED/07 UNDERSTORY TREES<br>CONTINUOUS EVERGREEN HEDGE REQUIRED | 16 CANOPY TREES PROVIDED<br>CONTINUOUS EVERGREEN HEDGE PROVIDED                              |
| WESTERN PERIMETER = 196.87 L.F.<br>TYPE "B" BUFFER: 15' WIDE STREET<br>441/1-75 GATEWAY OD                                                  | 05 CANOPY TREES REQUIRED<br>CONTINUOUS EVERGREEN HEDGE REQUIRED                     | 06 CANOPY TREES PROVIDED/05 UNDERSTORY TREES PROVIDED<br>CONTINUOUS EVERGREEN HEDGE PROVIDED |

PARKING BUFFER LANDSCAPED AREA REQUIREMENTS:

SECTION 6.2.2 (D)(2)(b): 4 CANOPY TREES & 2 UNDERSTORY TREES PER 100 L.F

| LOCATION                     | TREE AND SHRUB REQUIREMENTS                                          | TREE AND SHRUB PROVIDED                                                                         |
|------------------------------|----------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| PARKING PERIMETER = 4410 L.F | 16 CANOPY TREES<br>08 UNDERSTORY TREES<br>CONTINUOUS EVERGREEN HEDGE | 16 CANOPY TREES PROVIDED<br>08 UNDERSTORY TREES PROVIDED<br>CONTINUOUS EVERGREEN HEDGE PROVIDED |

INTERIOR PARKING AREA LANDSCAPED REQUIREMENTS:

SECTION 6.2.2 (D)(2)(a): 1 CANOPY / UNDERSTORY TREES FOR EVERY 2000 SF: 10 SHRUBS EVERY TREE

| LOCATION                    | TREE AND SHRUB REQUIREMENTS                   | TREE AND SHRUB PROVIDED |
|-----------------------------|-----------------------------------------------|-------------------------|
| PROPOSED PAVED PARKING AREA | 6,630 S.F.                                    |                         |
|                             | 6,630 S.F./2000 S.F. = 3 TREES REQUIRED       | 03 CANOPY TREES         |
|                             | 03 (TREES) X 10 (SHRUBS) = 30 SHRUBS REQUIRED | 30 SHRUBS PROVIDED      |

| DATE | NO. APPROVAL | REASON | REVIEW TREE CALCULATIONS AND ADD TREE CREDITS |     |
|------|--------------|--------|-----------------------------------------------|-----|
|      |              |        | BY                                            | SPL |
|      |              |        |                                               |     |
|      |              |        |                                               |     |
|      |              |        |                                               |     |
|      |              |        |                                               |     |

Farm Burea Building

Alachua, Florida Alachua County

LANDSCAPE NOTE

STEVEN PATRICK LAUTE  
Landscape Architect  
Irrigation Designer  
8019 SW 102nd AVENUE  
Gainesville, Florida 32609  
(941) 946-4775  
FLREG0010001956

DATE: 10/21/16

SCALE: 1" = 20'

DRAWN BY: SPL

DESIGNED: SPL

PROJECT NO: AD-00795-16

FILE NAME: farm burea landscape.dwg

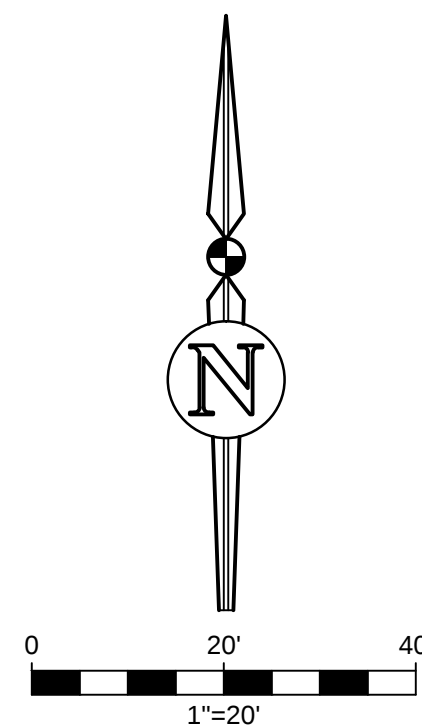
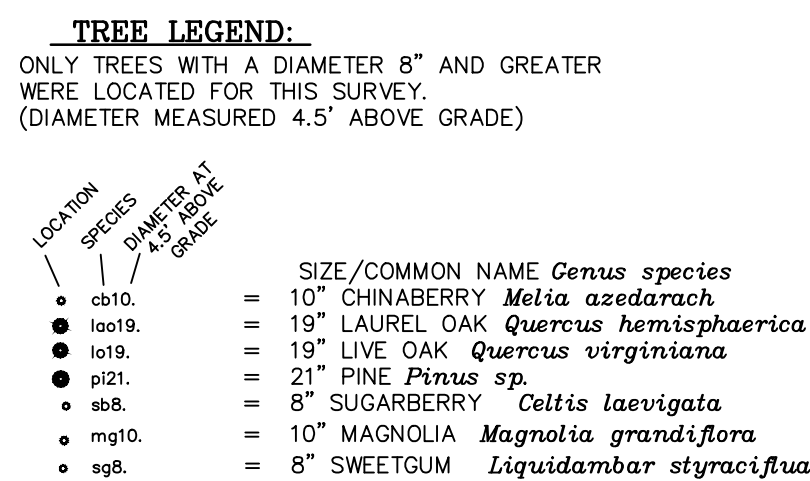
SHEET NO.

\* OF \*

101



A PORTION OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST,  
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA  
FOR  
SOUTHERN EQUITY INVESTMENTS, INC.



- | LEGEND OF SYMBOLS & ABBREVIATIONS: |                                |
|------------------------------------|--------------------------------|
| CONC                               | CONCRETE                       |
| CPE D                              | CORRUGATED POLY-ETHYLENE PIPE  |
| Δ                                  | DELTA (CENTRAL) ANGLE          |
| R                                  | RADIUS                         |
| A                                  | ARC                            |
| T                                  | TANGENT                        |
| CB                                 | CHORD BEARING                  |
| CD                                 | CHORD DISTANCE                 |
| ELEV                               | ELEVATION                      |
| ID                                 | IDENTIFICATION                 |
| N                                  | NUMBER                         |
| O.R.                               | OFFICIAL RECORDS BOOK          |
| P.C.S.                             | PAGES                          |
| PVC                                | POLY-VINYL CHLORIDE            |
| RCP                                | REINFORCED CONCRETE PIPE       |
| W                                  | WITH                           |
| O CQ                               | SANITARY CLEAN-OUT             |
| ⊙                                  | FIRE HYDRANT                   |
| ●                                  | FOUND NAIL & DISK (ID)         |
| ⊙                                  | FOUND LEEBARK & CAP (size, ID) |
| ELECTR                             | ELECTRICAL HANDHOLE            |
| ⊙                                  | LIGHT POLE                     |
| ⊙                                  | MANHOLE                        |
| ⊙                                  | SIGN                           |
| ⊙                                  | ELEVATION CONTOUR LINE         |
| ⊙                                  | FENCE LINE                     |
| ⊙                                  | SPOT ELEVATION                 |

- NOTES:**
- 1) ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 89.37 FEET (29 NGVD) ON TOP OF A 4"x4" CONCRETE MONUMENT AND DISK, FLORIDA D.O.T. BM NO. 39.
  - 2) BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF S 01°49'00"E ON THE WEST BOUNDARY OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 18 EAST.
  - 3) BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) REFER TO LEGAL DESCRIPTION WHERE THEY DIFFER FROM FIELD MEASUREMENT.
  - 4) ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
  - 5) NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THE SURVEYOR, THEREFORE, THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. EASEMENTS AND BUILDING SETBACK REQUIREMENTS, OTHER THAN THOSE SHOWN, WERE NOT PROVIDED TO THIS SURVEYOR.

[illegible]

**edsa** 40 years

ia engineers-surveyors-planners, inc.

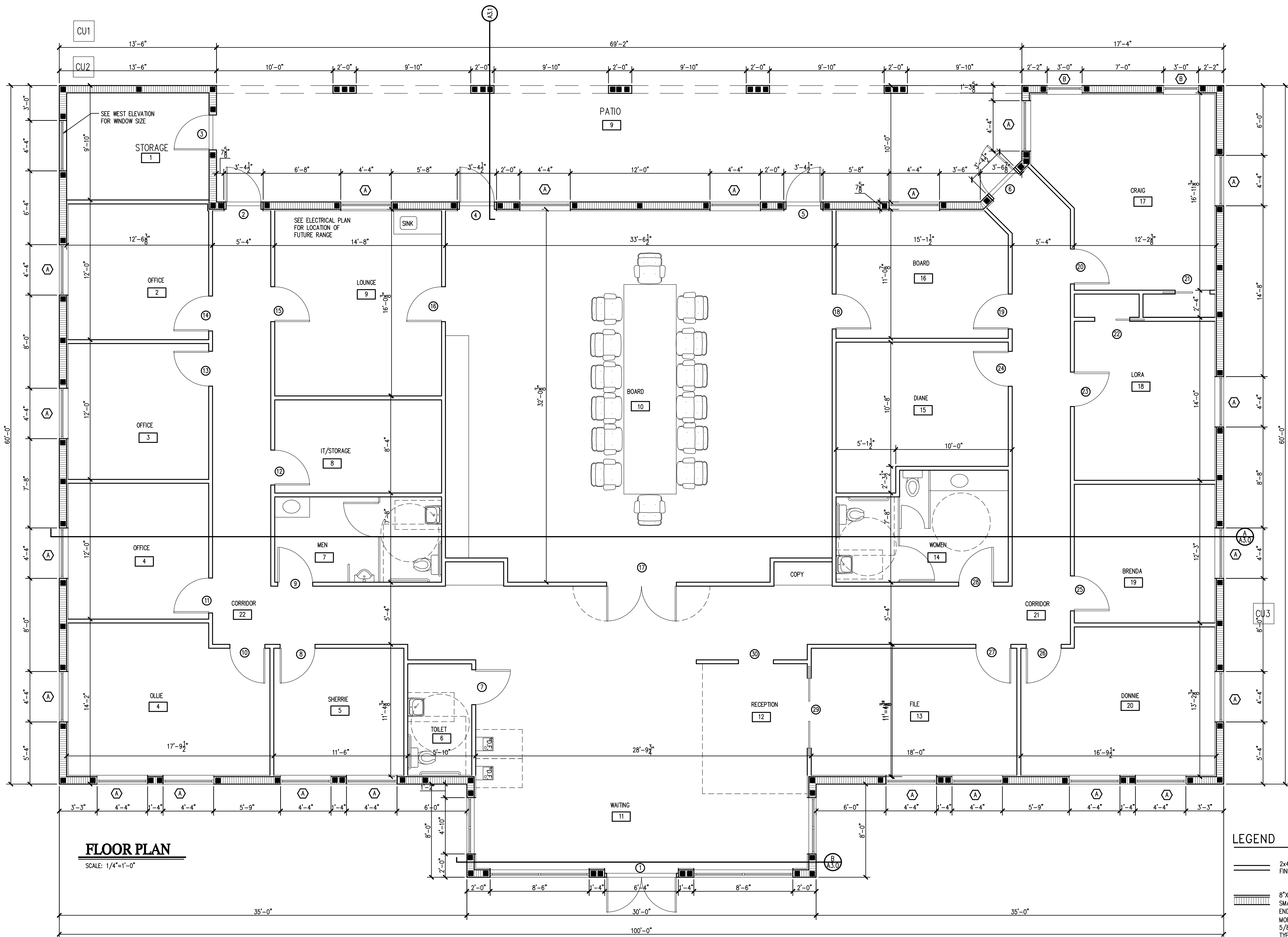
LB 2389 • 10000 N.W. 46th St., Suite 6602  
Miami, FL 33187 • TEL: (305) 572-2841 • FAX: (305) 572-2849  
E-Mail: mail@edsa.com

|                                                                                                                          |                                                                               |  |
|--------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|--|
| Project No.<br>2016-0288 SJ                                                                                              | eda engineers-surveyors-planners, inc.<br>Corporate Authorization No. LB 2389 |  |
| Drawn S.G./AL                                                                                                            | BY ROBERT W. GRAVER P.S.M. 4239                                               |  |
| Check B.G.                                                                                                               |                                                                               |  |
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| Revision | Page  | Survey date | Drawing completed | Revised  |
|----------|-------|-------------|-------------------|----------|
| 954      | 31-33 | 12/16/16    |                   | 12/23/16 |
|          |       |             |                   |          |
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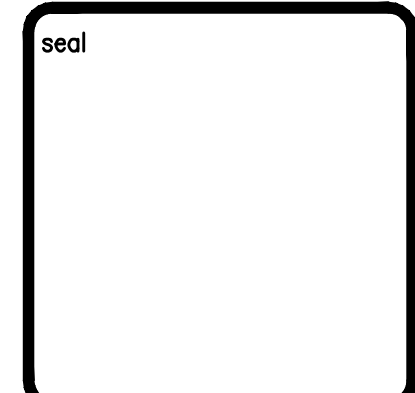
PREPARED FOR: 1) SOUTHERN EQUITY INVESTMENTS, INC.

THIS SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA SURVEYING BOARD, CHAPTER 11S-11.01, F.A.C. AS A CONDITION OF THE SURVEYOR'S ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.02 (2016), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 12/26/16.



LEGEND

- 2x4 STUDS AT 24" O.C. W/ 5/8" GYP. BRD. FINISH AS IN EXISTING BUILDING, TYP.
- 8"x8"x16" CONCRETE BLOCK FILLED WITH SMALL ROCK CONCRETE W/ (1) #5 VERT @ ENDS, OPENINGS AND 6'-0" O.C. TYPE "S" MORTAR W/ 3/4" FURRING AT 24" O.C. W/ 5/8" GYP. BRD. 3/4" RIGID INSULATION, TYP.



LIC. No. AA0002469  
3615 N.W. 13th. Street  
Gainesville, FL 32609  
Phone (352) 372-6477  
Fax (352) 338-4476

**EUGENE  
RUSSELL  
DAVIS**  
architect inc.

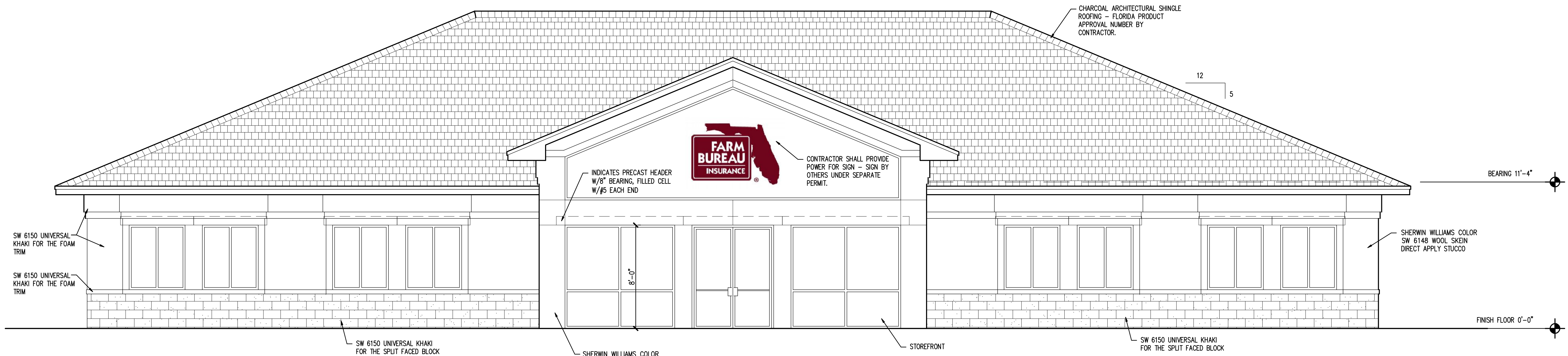
**NEW OFFICE  
FOR  
FARM BUREAU**  
NW 16TH BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08  
DRAWN: **das**  
CHECKED: **ERD**  
DATE: 2-6-17

| revisions: |
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FLOOR PLAN  
Drawing no.:  
**A1.0**



## SOUTH ELEVATION

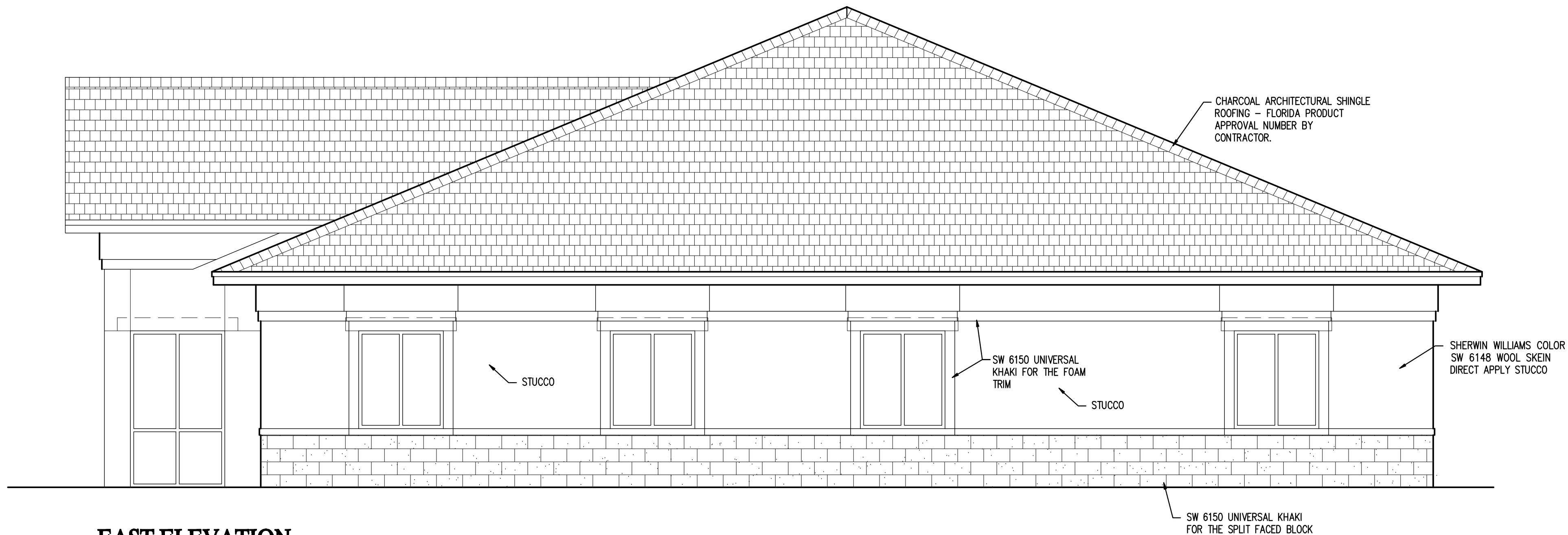
SCALE: 1/4"=1'-0"

| WALL FINISH PERCENTAGES            |     |
|------------------------------------|-----|
| SPLIT FACED BLOCK                  | 18% |
| DIRECT APPLIED SYNTHETIC STUCCO    | 25% |
| FOAM BANDING WITH SYNTHETIC STUCCO | 14% |

| GLAZING          |           |
|------------------|-----------|
| WALL S.F.        | 1035 S.F. |
| GLAZING REQUIRED | 362 S.F.  |
| GLAZING PROVIDED | 363 S.F.  |

ITEMS IN COMPLIANCE WITH CITY'S  
LAND DEVELOPMENT REGULATIONS  
3 REQUIRED/5 PROVIDED

- d. RECESSES AND/OR PROJECTIONS  
THE PROJECTION OF THE FRONT ENTRY
- e. ROOF OVERHANG ... TWO-FOOT OVERHANG FOR BUILDINGS 50  
TO 100 FEET WIDE ...  
2'-0" ROOF OVERHANG
- f. VARIED ROOF LINES  
VARIED ROOF LINES AND DIRECTION
- g. ARTICULATED CORNICE LINES  
STUCCO BANDS/ARTICULATED CORNICE LINES
- k. CHANGE IN BUILDING MATERIALS  
SPLIT FACE BLOCK/STUCCO/COLORS AS NOTED
- l. PROMINENT PUBLIC ENTRANCE DEFINE BY SUBSTANTIVE  
ARCHITECTURAL FEATURES  
FRONT ENTRY PROJECTS OUT FROM BUILDING WITH FULL  
LENGTH STOREFRONT, BRAKE IN BUILDING MATERIAL AND  
DIFFERING ROOF HEIGHT AND DIRECTION



## EAST ELEVATION

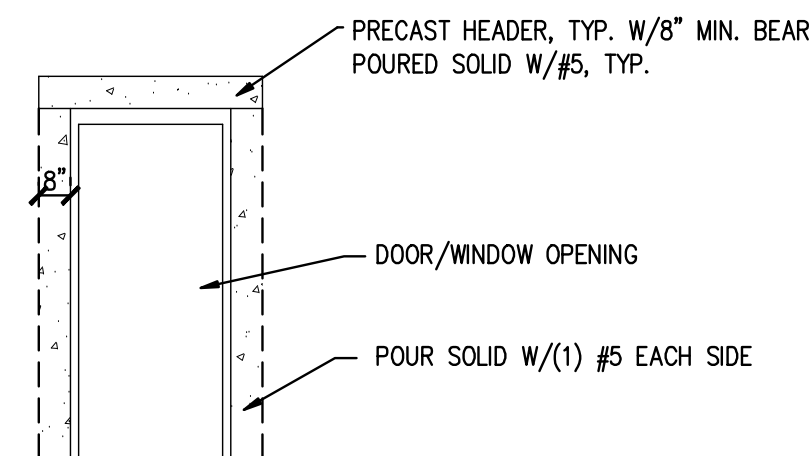
SCALE: 1/4"=1'-0"

| WALL FINISH PERCENTAGES            |     |
|------------------------------------|-----|
| SPLIT FACED BLOCK                  | 23% |
| DIRECT APPLIED SYNTHETIC STUCCO    | 37% |
| FOAM BANDING WITH SYNTHETIC STUCCO | 23% |

| GLAZING          |          |
|------------------|----------|
| WALL S.F.        | 703 S.F. |
| GLAZING REQUIRED | 105 S.F. |
| GLAZING PROVIDED | 135 S.F. |

## TYPICAL HEADER/BEARING DETAIL

SCALE: 1/4"=1'-0"

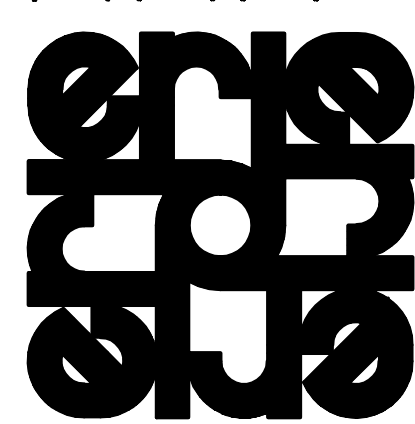


NOTE  
COLORS MAY CHANGE SLIGHTLY, OR  
MAY BE PICKED BY OWNER AT  
LATER.

seal

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NEW OFFICE  
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NW 16TH BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08

DRAWN: **das**

CHECKED: **ERD**

DATE: 2-6-17

revisions:

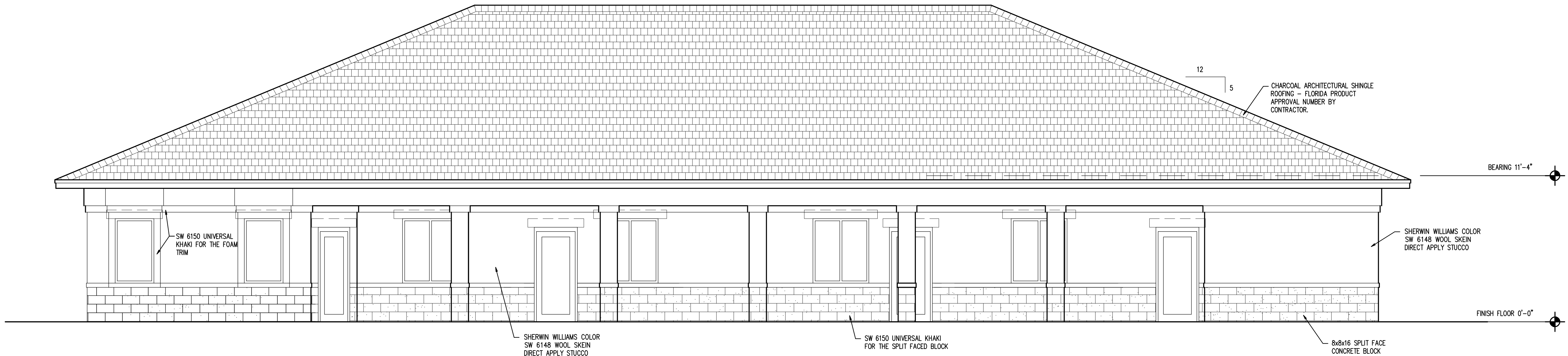
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ELEVATIONS

drawing no.:

A2.0



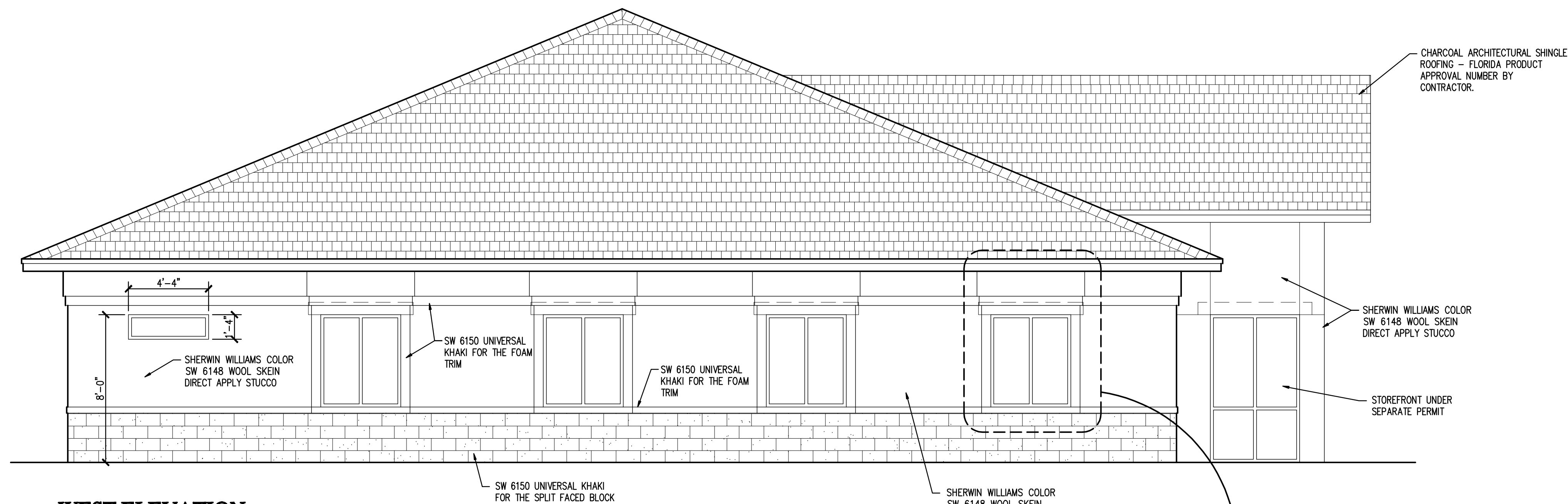
## NORTH ELEVATION

SCALE: 1/4"=1'-0"

| WALL FINISH PERCENTAGES            |     |
|------------------------------------|-----|
| SPLIT FACED BLOCK                  | 25% |
| DIRECT APPLIED SYNTHETIC STUCCO    | 38% |
| FOAM BANDING WITH SYNTHETIC STUCCO | 22% |

| GLAZING          |           |
|------------------|-----------|
| WALL S.F.        | 1035 S.F. |
| GLAZING REQUIRED | 155 S.F.  |
| GLAZING PROVIDED | 170 S.F.  |

CONTRACTOR SHALL PROVIDE ALL  
REQUIRED FLORIDA PRODUCT  
APPROVAL NUMBERS.



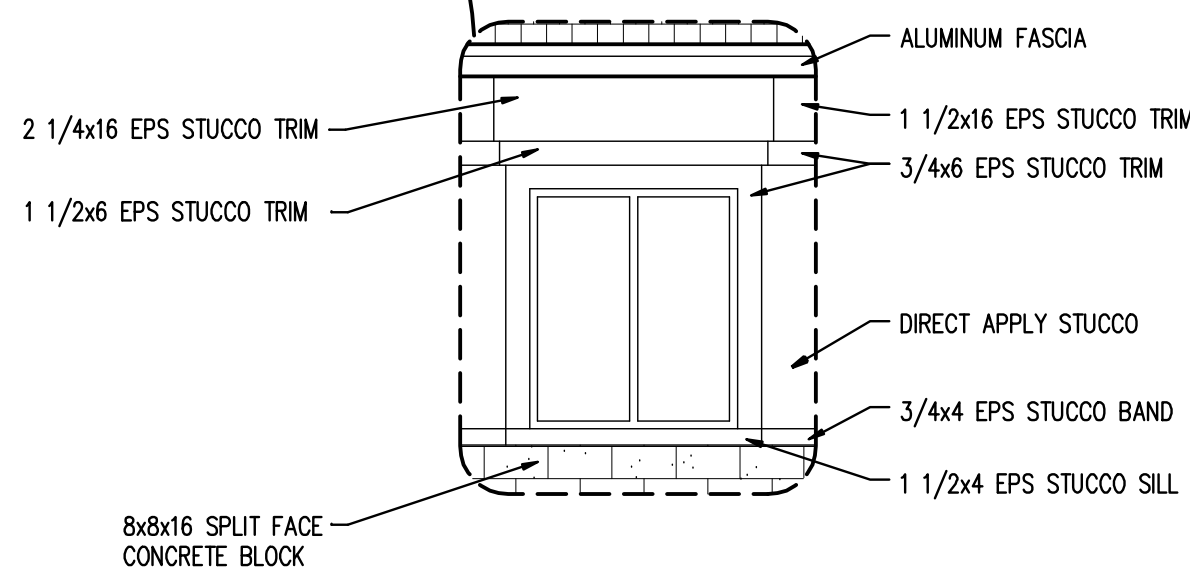
## WEST ELEVATION

SCALE: 1/4"=1'-0"

| WALL FINISH PERCENTAGES            |     |
|------------------------------------|-----|
| SPLIT FACED BLOCK                  | 23% |
| DIRECT APPLIED SYNTHETIC STUCCO    | 36% |
| FOAM BANDING WITH SYNTHETIC STUCCO | 23% |

| GLAZING          |          |
|------------------|----------|
| WALL S.F.        | 703 S.F. |
| GLAZING REQUIRED | 140 S.F. |
| GLAZING PROVIDED | 141 S.F. |

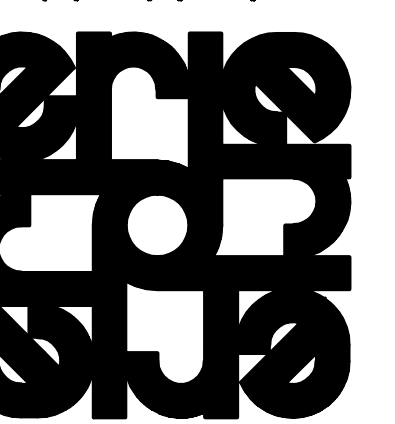
NOTE  
COLORS MAY CHANGE SLIGHTLY, OR  
MAY BE PICKED BY OWNER AT  
LATER.



seal

LIC. No. AA0002469  
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EUGENE  
RUSSELL  
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architect inc.



NEW OFFICE  
FOR  
FARM BUREAU  
NW 16TH BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08

DRAWN: **das**

CHECKED: **ERD**

DATE: 2-6-17

revisions:

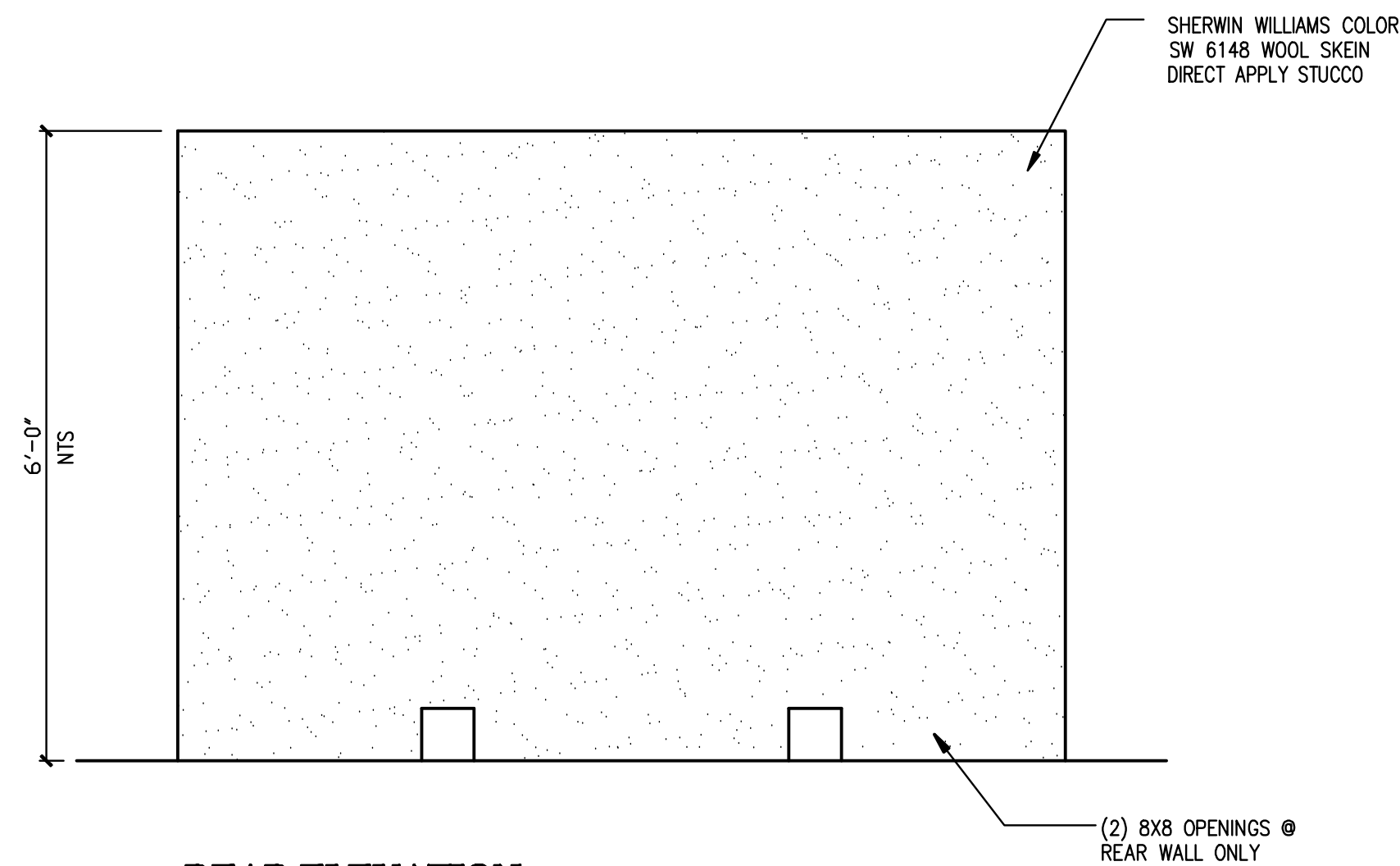
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ELEVATIONS

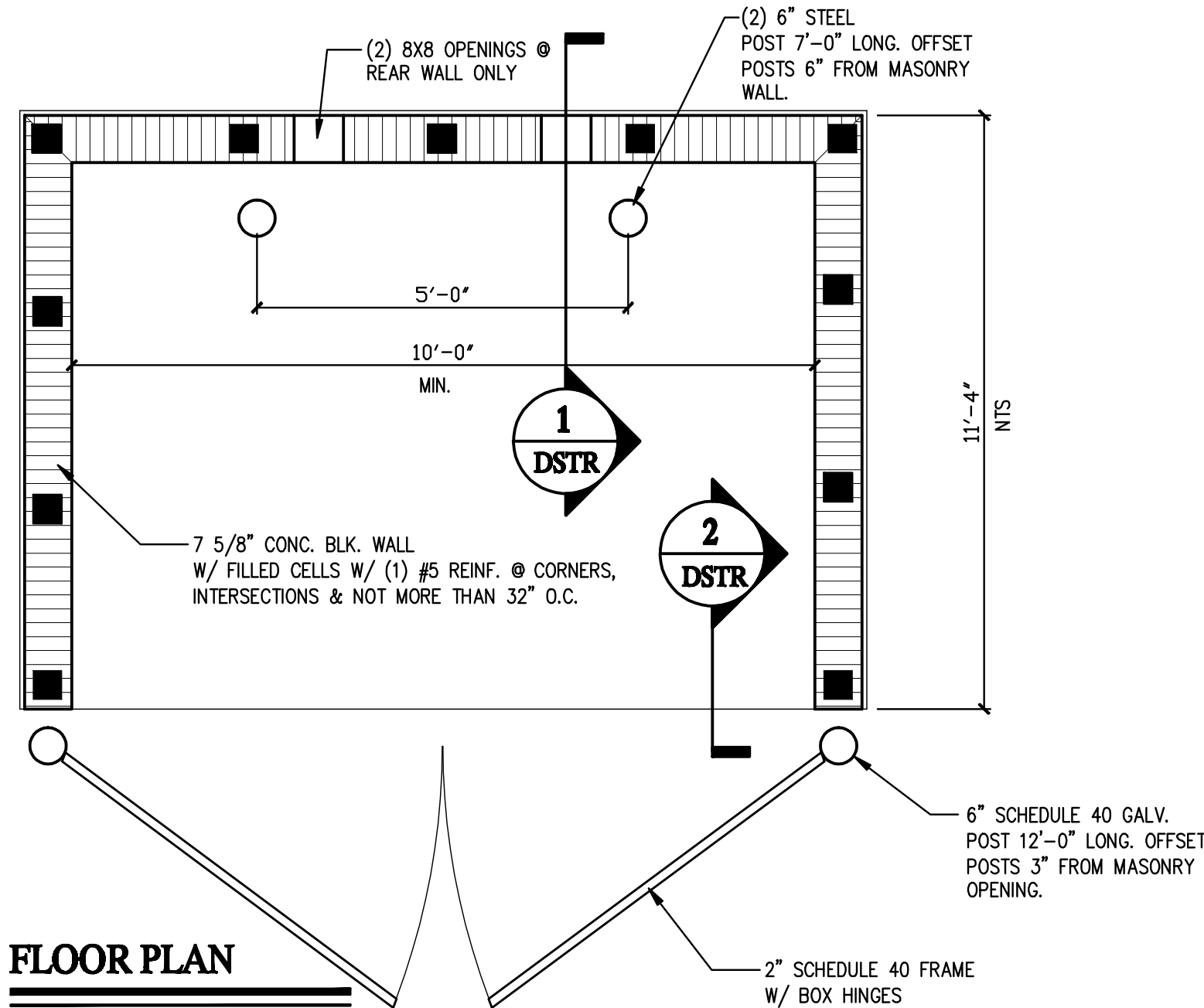
drawing no.:

A2.1



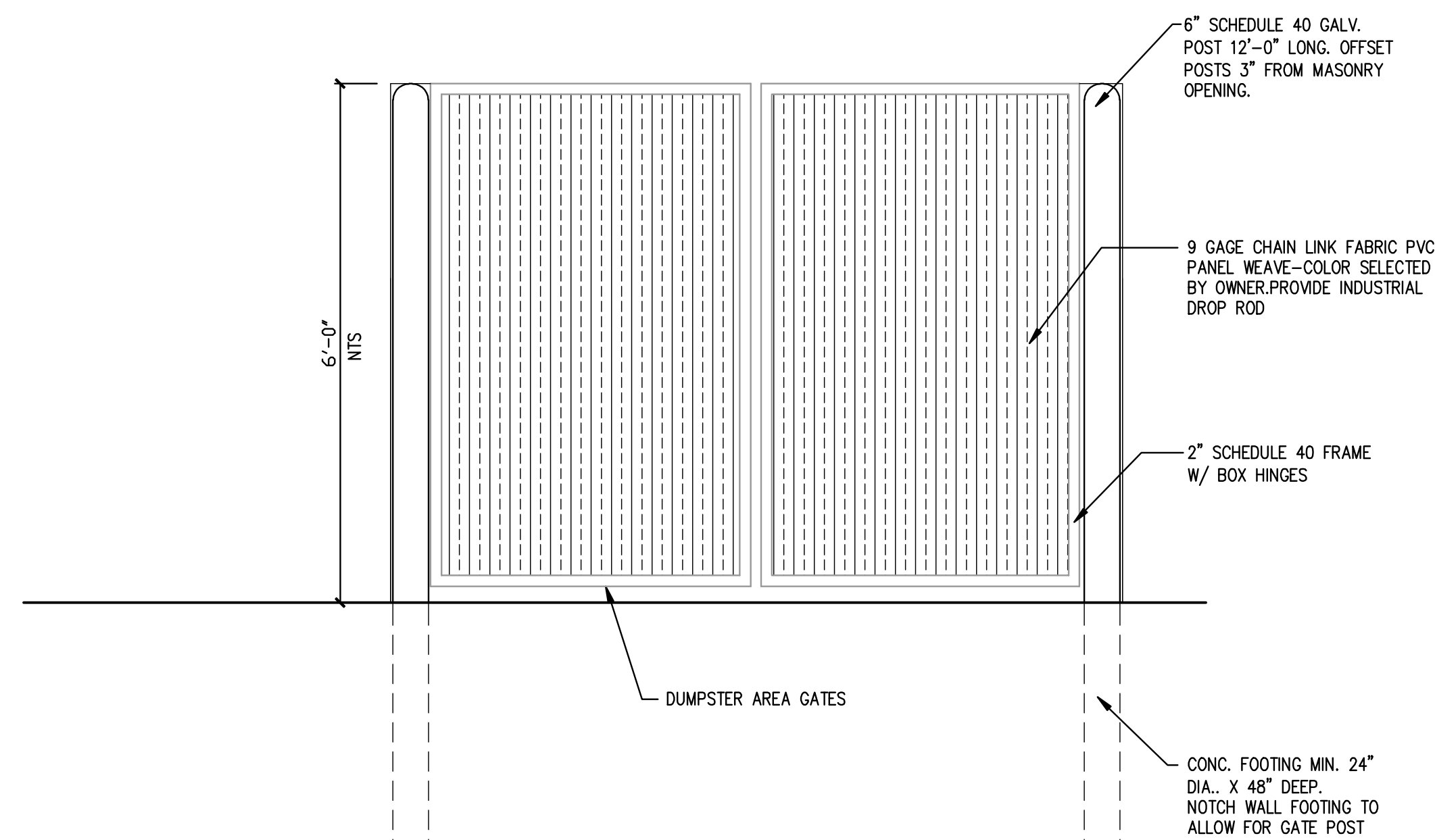
**REAR ELEVATION**

SCALE: 1/2"=1'



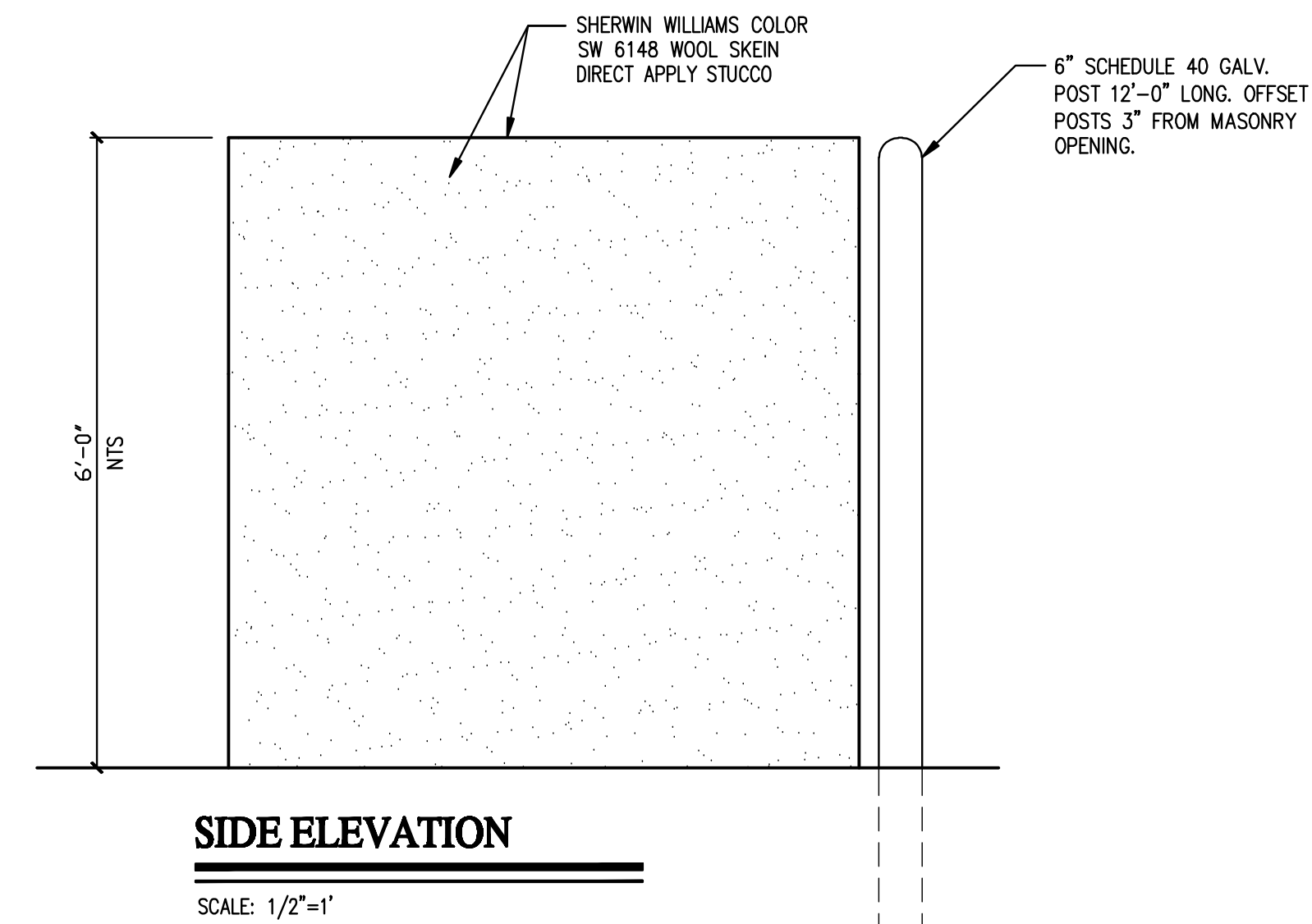
**FLOOR PLAN**

SCALE: 1/2"=1'



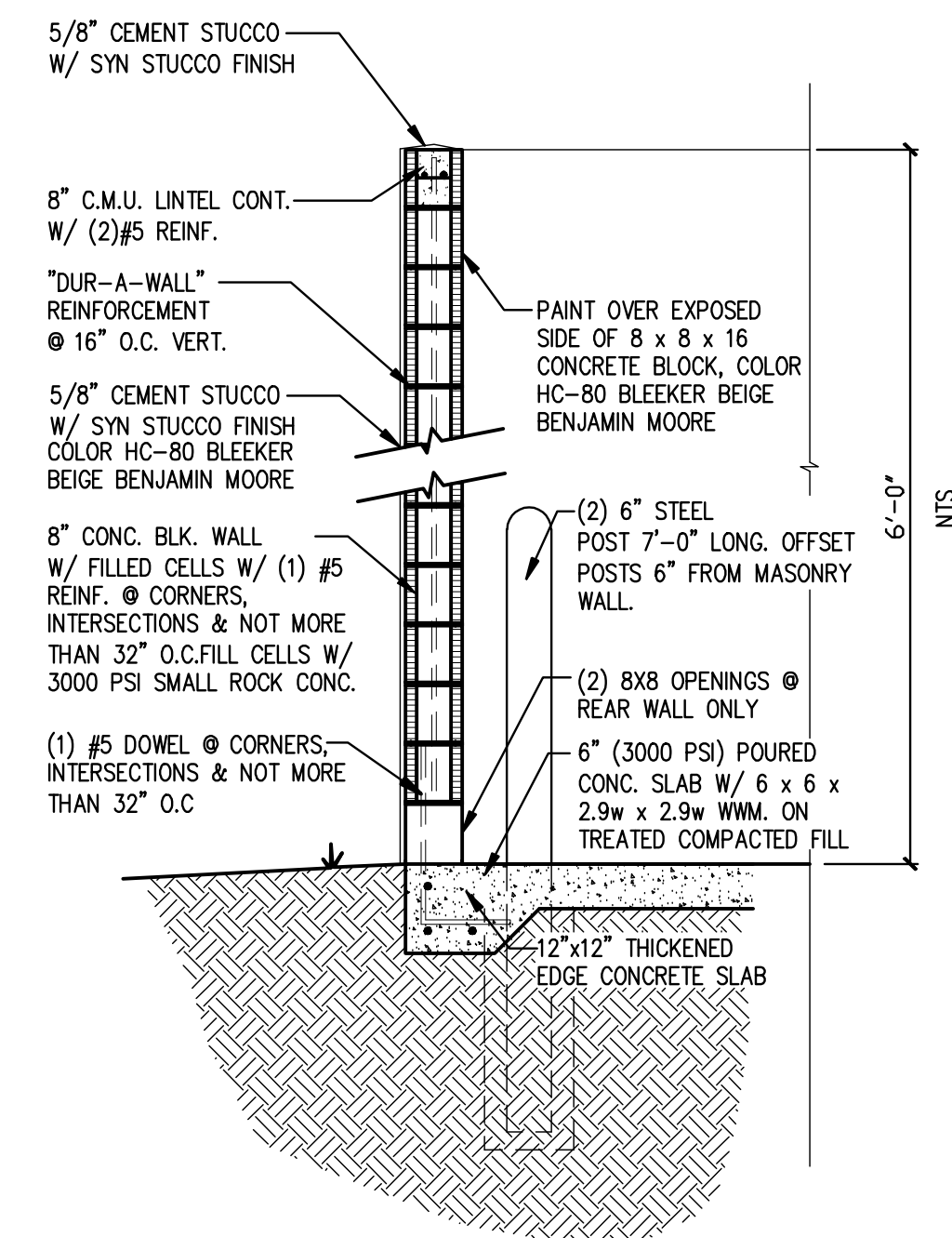
**FRONT ELEVATION**

SCALE: 1/2"=1'



**SIDE ELEVATION**

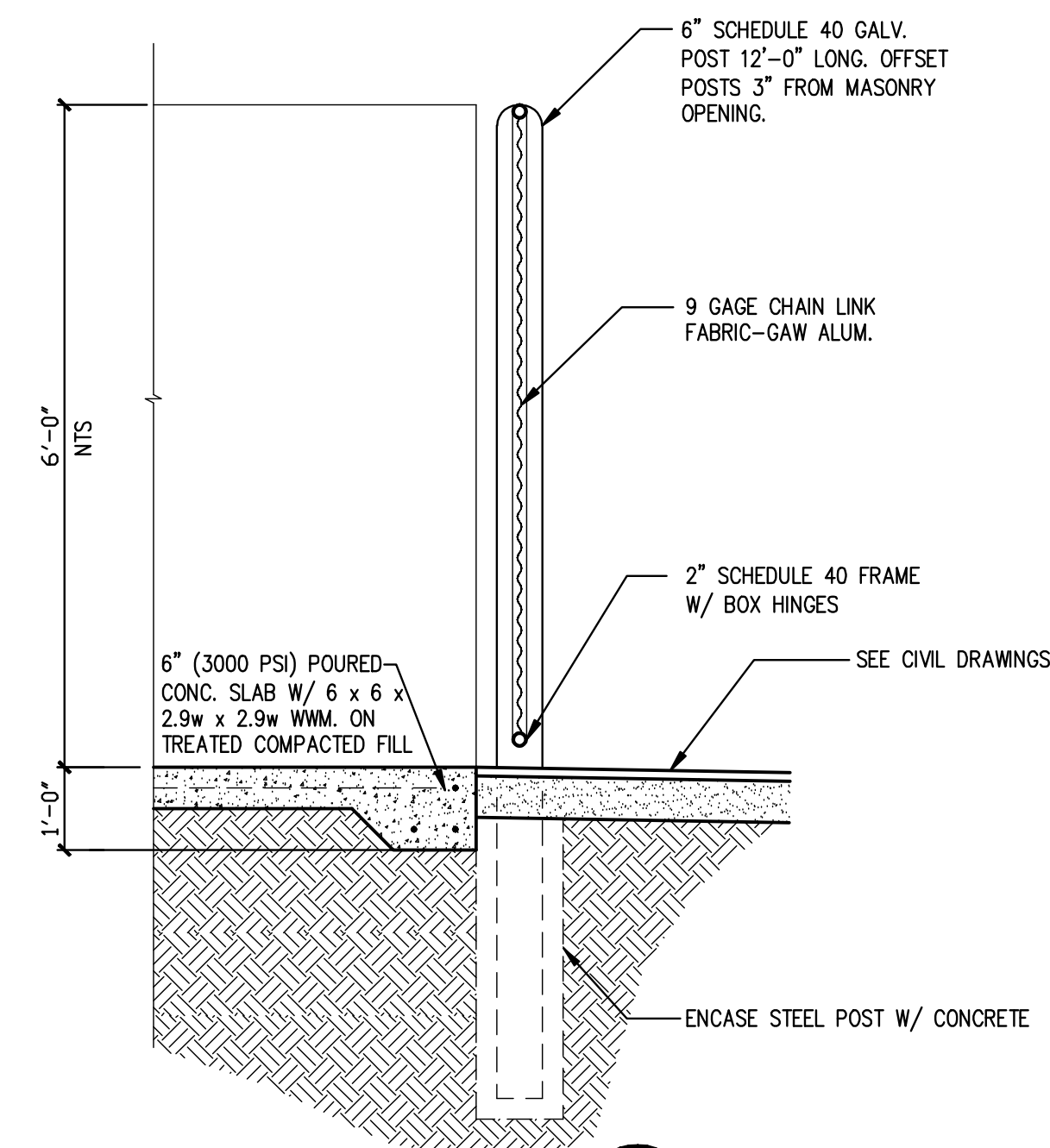
SCALE: 1/2"=1'



**SECTION**

SCALE: 1/2"=1'

1 DSTR



**SECTION**

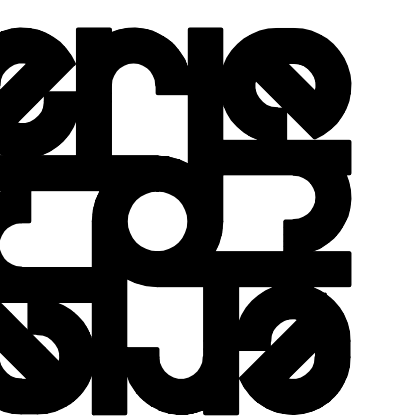
SCALE: 1/2"=1'

2 DSTR

seal

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EUGENE  
RUSSELL  
DAVIS  
architect inc.



NEW OFFICE  
FOR  
FARM BUREAU  
NW 167th BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08

DRAWN: das

CHECKED: ERD

DATE: 2-6-17

revisions:

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DUMPSTER ENCLOSURE SCREEN

drawing no.:

DSTR