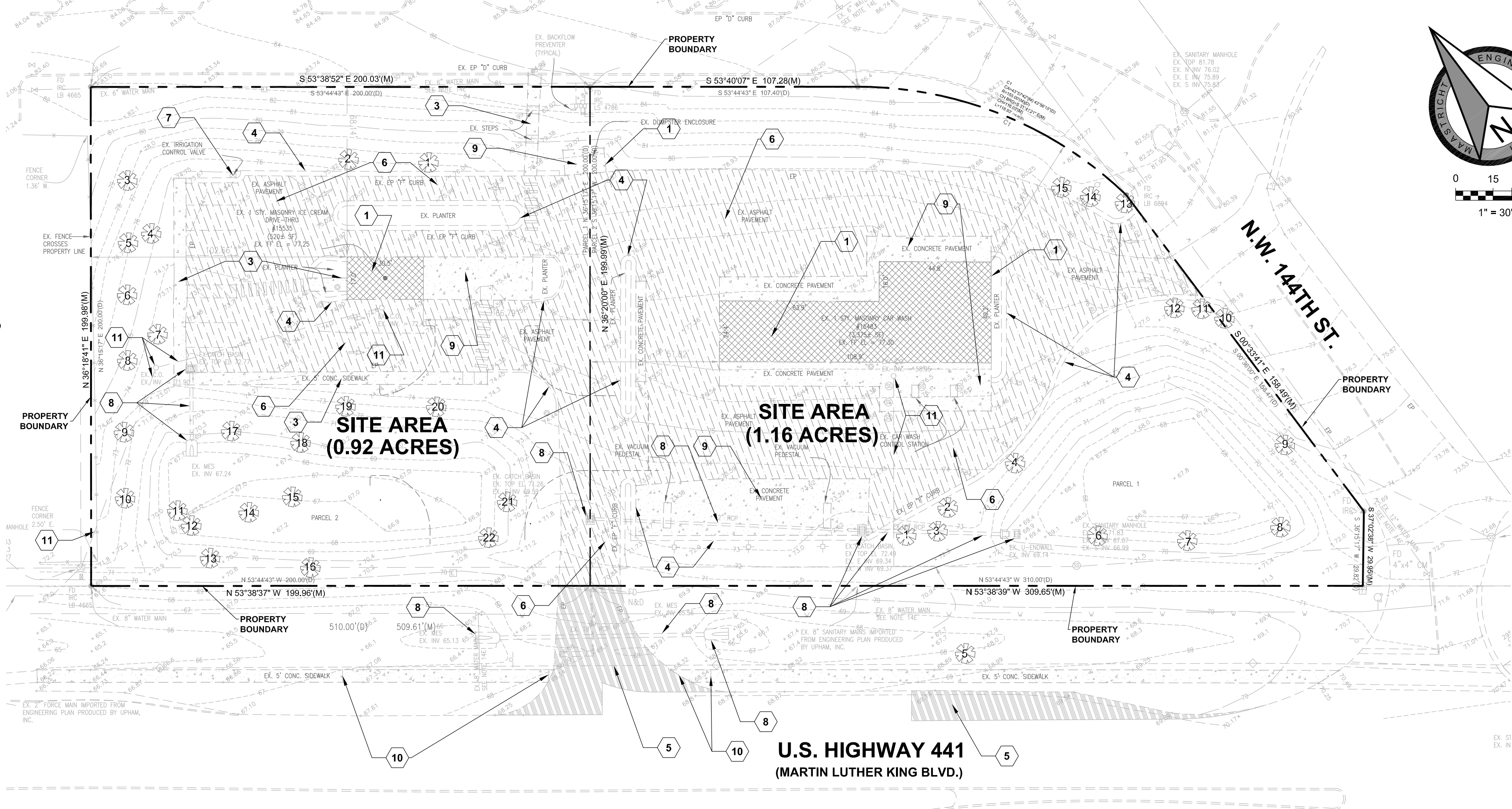


NOTE:
THESE PLANS MAY HAVE BEEN REDUCED OR INCREASED IN SIZE BY REPRODUCTION(S). THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

GENERAL DEMOLITION NOTES:

- ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
- WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
- ALL ITEMS NOTED TO BE REMOVED BY THE SELLER SHALL BE ACCOMPLISHED PRIOR TO THE CLOSING OF THE REAL ESTATE TRANSACTION. ALL OTHER ITEMS NOTED TO BE REMOVED SHALL BE DONE SO AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF BUILDING DEMOLITION DEBRIS.
- THE DETAILED PLANS MAY NOT REFLECT ALL UTILITIES ON THE SITE OR SURROUNDING STREETS AND PROPERTIES. THE CONTRACTOR SHALL VERIFY LOCATIONS AND EXISTENCE OF UTILITY SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL SSCOF "SUNSHINE STATE OF FLORIDA" AT 1-800-432-4770 OR 811 (2) BUSINESS DAYS BEFORE EXCAVATION OR DEMOLITION.
- THE CONTRACTOR TO REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND CAP SERVICE PIPING AT THE PROPERTY LINE OR MAIN (AS REQUIRED). ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN.
- FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPES, ETC.
- BACK FILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPES, PAVEMENT, CURBS, SIDEWALKS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION TO THE SATISFACTION.
- ALL BUILDINGS, FOUNDATION WALLS AND FOOTINGS INDICATED ON THIS PLAN TO BE REMOVED FROM SITE. CONTRACTOR SHALL SECURE ANY PERMITS AND PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE REMOVED BY THE EXISTING PROPERTY OWNER USING A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
- THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UNDERGROUND UTILITIES. AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES SHOWN, AS WELL AS THOSE NOT SHOWN WITHIN THE CONSTRUCTION LIMITS. ALL DAMAGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



EXIST. TREE LEGEND - FAMILY DOLLAR

TREE No.	COMMON NAME	BOTANICAL NAME	SYM.	DIA. (IN.)	STATUS
1	OAK	QUERCUS VIRGINIANA		10	REMOVE
2	OAK	QUERCUS VIRGINIANA		12	REMOVE
3	ELM	ULMUS SSP		10	REMOVE
4	OAK	QUERCUS VIRGINIANA		8	REMOVE
5	ELM	ULMUS SSP		10	REMOVE
6	ELM	ULMUS SSP		7	REMOVE
7	OAK	QUERCUS VIRGINIANA		10	REMOVE
8	ELM	ULMUS SSP		8	REMOVE
9	ELM	ULMUS SSP		6	REMOVE
10	ELM	ULMUS SSP		7	REMOVE
11	CYPRESS	TAXODIUM DISTICHUM		5	REMOVE
12	CYPRESS	TAXODIUM DISTICHUM		4	REMOVE
13	UNKNOWN	UNKNOWN		<6	REMOVE
14	UNKNOWN	UNKNOWN		<6	REMOVE
15	ELM	ULMUS SSP		7	REMOVE
16	UNKNOWN	UNKNOWN		<6	REMOVE
17	ELM	ULMUS SSP		7	REMOVE
18	ELM	ULMUS SSP		6	REMOVE
19	OAK	QUERCUS VIRGINIANA		12	REMOVE
21	OAK	QUERCUS VIRGINIANA		12	REMOVE
20	UNKNOWN	UNKNOWN		<6	REMOVE
22	UNKNOWN	UNKNOWN		<6	REMOVE

EXIST. TREE LEGEND - AUTOZONE

TREE No.	COMMON NAME	BOTANICAL NAME	SYM.	DIA. (IN.)	STATUS
1	PALM	SABAL PALMETTO		12	REMOVE
2	PALM	SABAL PALMETTO		10	REMOVE
3	PALM	SABAL PALMETTO		12	REMOVE
4	OAK	QUERCUS VIRGINIANA		13	REMOVE
5	PALM	SABAL PALMETTO		12	REMOVE
6	UNKNOWN	UNKNOWN		<6	REMOVE
7	UNKNOWN	UNKNOWN		<6	REMOVE
8	UNKNOWN	UNKNOWN		<6	REMOVE
9	UNKNOWN	UNKNOWN		<6	REMOVE
10	UNKNOWN	UNKNOWN		<6	REMAIN *
11	UNKNOWN	UNKNOWN		<6	REMAIN *
12	UNKNOWN	UNKNOWN		<6	REMAIN *
13	UNKNOWN	UNKNOWN		<6	REMAIN *
14	UNKNOWN	UNKNOWN		<6	REMAIN *
15	UNKNOWN	UNKNOWN		<6	REMAIN *

* SEE LANDSCAPE PLANS FOR TREE PROTECTION DETAILS

NOTE:
AUTOZONE CONTRACTOR TO CONSTRUCT ALL IMPROVEMENTS WITHIN THE AUTOZONE PROPERTY BOUNDARY ONLY

KEY NOTES

Demolition

- Remove existing building and foundation
- Remove fence, post and foundation
- Remove existing sidewalks
- Remove existing concrete curb
- Remove existing off-site asphalt pavement
- Remove existing on-site asphalt pavement
- Remove existing utilities
- Remove existing drainage
- Remove existing concrete pavement
- Remove existing off-site sidewalks
- Properly abandon & cap existing sewer service.

LEGEND

HATCH	DESCRIPTION	AREA (SF)
	EXISTING BUILDINGS TO BE REMOVED	3,895
	EXISTING ON-SITE ASPHALT PAVEMENT TO BE REMOVED	29,486
	EXISTING OFF-SITE ASPHALT PAVEMENT TO BE REMOVED	2,917
	EXISTING CONCRETE PAVEMENT TO BE REMOVED	7,092

Consultant:
MAASTRICHT ENGINEERING
12800 UNIVERSITY DRIVE, SUITE 402
MEMPHIS, TENNESSEE 38103
TEL: (901) 955-8709 FAX: (901) 955-8969
WWW.MAASTRICHT-ENG.COM

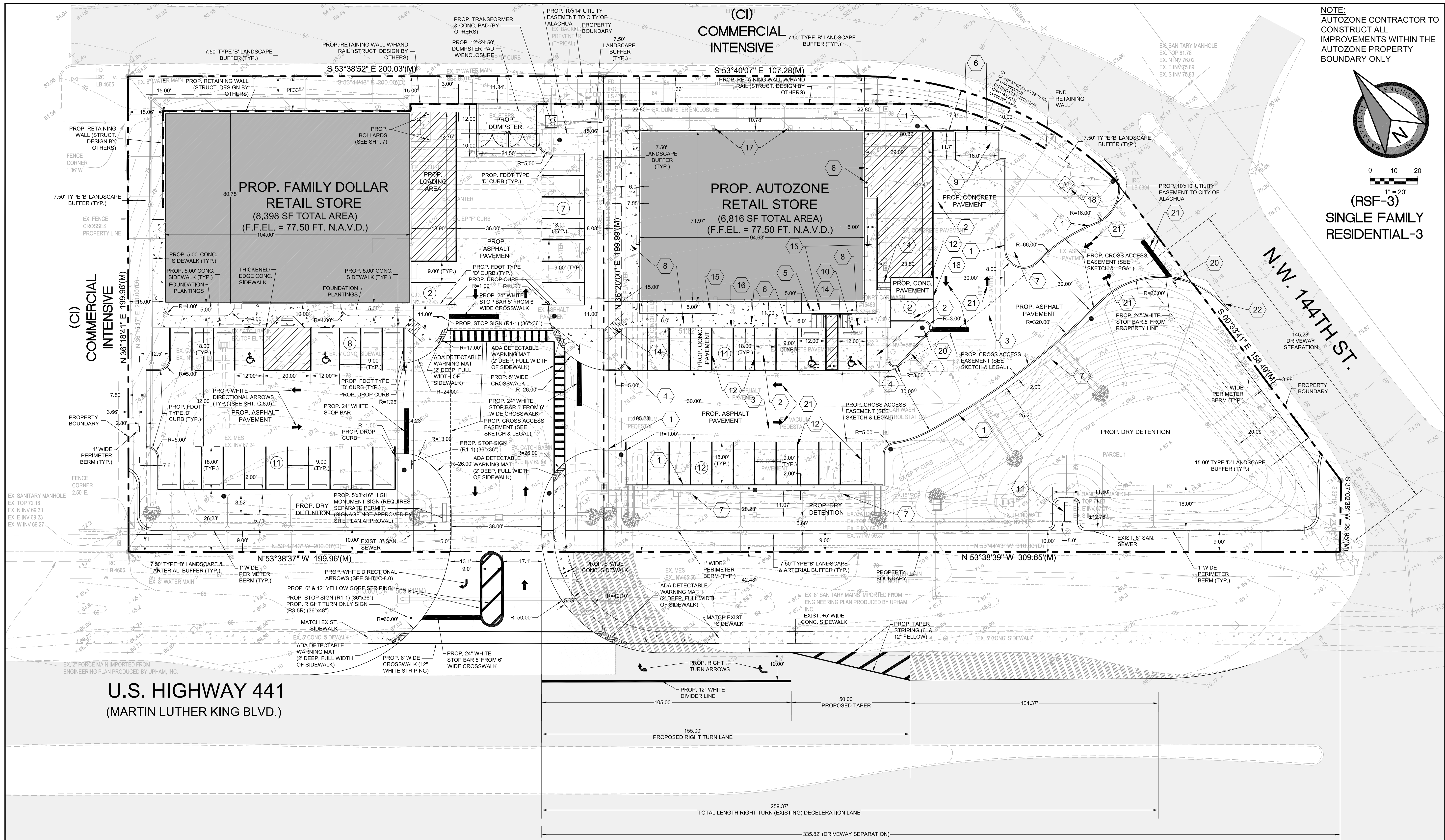
Owner / Developer:
FAMILY DOLLAR
HAMILTON DEVELOPMENT INC.
15483 & 15535 N.W. US HWY 441, ALACHUA
FLORIDA 32615
PETER M. MAASTRICHT, P.E.
FLORIDA LICENSE NUMBER: 56860

ALACHUA
FAMILY DOLLAR & AUTOZONE STORE # 4997
15483 & 15535 N.W. US HWY 441, ALACHUA
ALACHUA COUNTY, FLORIDA, 32615
EXIST. CONDITIONS, DEMOLITION & TREE MITIGATION PLAN

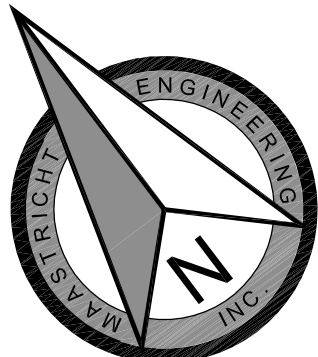
SCALE: 1"=30'

REVISIONS
1. REV. PER CITY OF ALACHUA
COMMENTS 5/24/14
2. REV. PER CITY OF ALACHUA
COMMENTS 10/23/14
3.
4.
5.
6.
7.
ARCHITECT: N/A
DRAFTSMAN: ES
CHECKED BY: AB
DATE
09-03-14
PROTOTYPE SIZE
N/A

D-1.0



NOTE:
AUTOZONE CONTRACTOR TO
CONSTRUCT ALL
IMPROVEMENTS WITHIN THE
AUTOZONE PROPERTY
BOUNDARY ONLY



0 10 20
1" = 20'

(RSF-3)
SINGLE FAMILY
RESIDENTIAL-3

Consultant:
MAASTRICHT
ENGINEERING
12800 UNIVERSITY DRIVE, SUITE 402
MEMPHIS, TENNESSEE 38117
TEL: (901) 955-1605 FAX: (901) 955-2704
WWW.MAASTRICHT-ENG.COM FEPE # 28825

Owner / Developer:
FAMILY DOLLAR
HAMILTON DEVELOPMENT INC.
835 Highway 100, Box 10
Eatonville, VA 22923
AUTOZONE INC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 955-8709 Fax: (901) 955-8969

PETER M. MAASTRICHT, P.E.
FLORIDA LICENSE NUMBER: 56860

ALACHUA
FAMILY DOLLAR & AUTOZONE STORE # 4997
15483 & 15535 N.W. US HWY 441, ALACHUA
ALACHUA COUNTY, FLORIDA, 32615
SITE DIMENSION PLAN

SCALE: 1"=20'

REVISIONS

1.	REV. PER CITY OF ALACHUA COMMENTS 8/24/14
2.	
3.	
4.	
5.	
6.	
7.	

ARCHITECT: N/A

DRAFTSMAN: ES

CHECKED BY: AB

DATE

09-03-14

PROTOTYPE SIZE

N/A

C-2.0

GENERAL NOTES (AUTOZONE):

- PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A REGISTERED LAND SURVEYOR.
- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY AUTOZONE INC. OF ANY UNACCEPTABLE AREAS.
- BUILDING DIMENSIONS SHOWN ON THE CIVIL ENGINEERING PLANS ARE FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL USE THE ARCHITECTURAL AND STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.

- ALL DISTURBANCE INCURRED TO ANY ADJOINING PROPERTY DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE CITY OR STATE AUTHORITY.

- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO AUTOZONE INC. AT THE END OF CONSTRUCTION.

- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT AND COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES.
- THE CONTRACTOR SHALL ABIDE BY ALL CITY, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC., IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRICAL LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.

- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY AUTOZONE OR REQUIRED BY THE LOCAL GOVERNING AUTHORITY.

- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.

KEYNOTES (AUTOZONE):

- Concrete curb - see details (Sheet C-10.0). Concrete monolithic curb; Concrete curb & gutter; Roll-over curb at asphalt paving.
- Concrete paving - see details (Sheet C-10.0). Concrete paving section. Expansion and Control joints. Maximum spacing for Control joints is 15'-0" o.c. each way.
- Asphalt paving - see detail (Sheet C-10.0). Asphalt paving section. G.C. to provide alternate bid for concrete paving.
- Handicap parking area - see detail (Sheet C-10.0). Handicap parking detail.
- Handicap parking sign - see detail (Sheet C-10.0). Typical handicap sign.
- Pipe guard - see details (Sheet C-10.0). Bollard layout plan 65w2; Typical pipe guard section.

- Concrete light pole base - see detail (Sheet C-10.0). Typical light pole. Locate 3'-0" from back of curb or sidewalk to center of base. Aim light fixture in direction as indicated.
- Concrete sidewalk - see detail (Sheet C-10.0). Concrete sidewalk for sidewalks around building.
- Dumpster layout - 6' high smooth face block enclosure w/ gates - see details (Sheet C-10.0). Dumpster layout; Dumpster section 1; Gate detail for dumpster enclosure 1; Gate latch / bolt details.
- 6'-0" long concrete wheel stop, pinned to pavement - see detail (Sheet C-10.0). Typical wheel stop. Locate 2'-6" from face of curb or sidewalk.
- Proposed 5'x8'x16" high monument sign (requires separate permit). Signage not approved by site plan approval.
- 4" wide parking stripe painted white (typ.)

- 4" wide diagonal stripes painted white @ 2 ft. o.c.
- Concrete handicap ramp - maximum slope 1:12 (8.33%) (per A.D.A. requirements). Maximum cross slope 1:50 (2.00%) see detail (Sheet C-10.0). Handicap parking ramp.
- New foundation landscape area - provide sod and 3" topsoil - see sheet L1.0 for additional information
- Thickened edge sidewalk
- Connect building down spouts to storm system header pipe (typ.) - see details (Sheet C-10.0). Downspout detail & Concrete splash block.
- 5' x 5' concrete pad.
- Slope end of curb 4:1 (NOT USED)

- Stop Sign - see detail (Sheet C-10.0). Stop sign detail.
- Pavement markings - see detail (Sheet C-10.0). Typical pavement markings A & B.
- New curb cut & approach per local codes & specs.