



# City of Alachua

## Planning & Community Development Department Staff Report

**Planning & Zoning Board Hearing Date:** November 18, 2014  
**Quasi-Judicial Hearing**

**SUBJECT:** A request for a Site Plan for a new ±56,431 square foot building (±46,031 square foot grocery store and ±10,400 square foot retail) with associated drainage, paving, grading, and utility infrastructure improvements

**APPLICANT/AGENT:** Sergio Reyes, PE, eda engineers-surveyors-planners, inc.

**PROPERTY OWNER:** Hipp Investments, LLC

**LOCATION:** Northwest of the intersection of NW US Highway 441 and NW 167<sup>th</sup> Boulevard

**PARCEL ID NUMBER:** A portion of 03053-001-001

**FLUM DESIGNATION:** Commercial

**ZONING:** Commercial Intensive (CI)

**OVERLAY:** N/A

**ACREAGE:** ±12.73 acres

**PROJECT PLANNER:** Justin Tabor, AICP

**RECOMMENDATION:** Staff recommends that the Planning & Zoning Board approve the Site Plan, subject to the five (5) conditions provided in Exhibit "A" of this Staff Report.

**RECOMMENDED MOTION:** *Based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the five (5) conditions provided in Exhibit "A" of the November 18, 2014 Staff Report to the Planning & Zoning Board.*

## SUMMARY

The proposed site plan is a request by Sergio Reyes, PE, eda engineers-surveyors-planners, inc., agent for Hipp Investments, LLC, applicant and property owner, and Windcrest Acquisitions, LLC, developer, for a new ±56,431 square foot building (±46,031 square foot grocery store and ±10,400 square foot retail) with associated drainage, paving, grading, and utility infrastructure improvements.

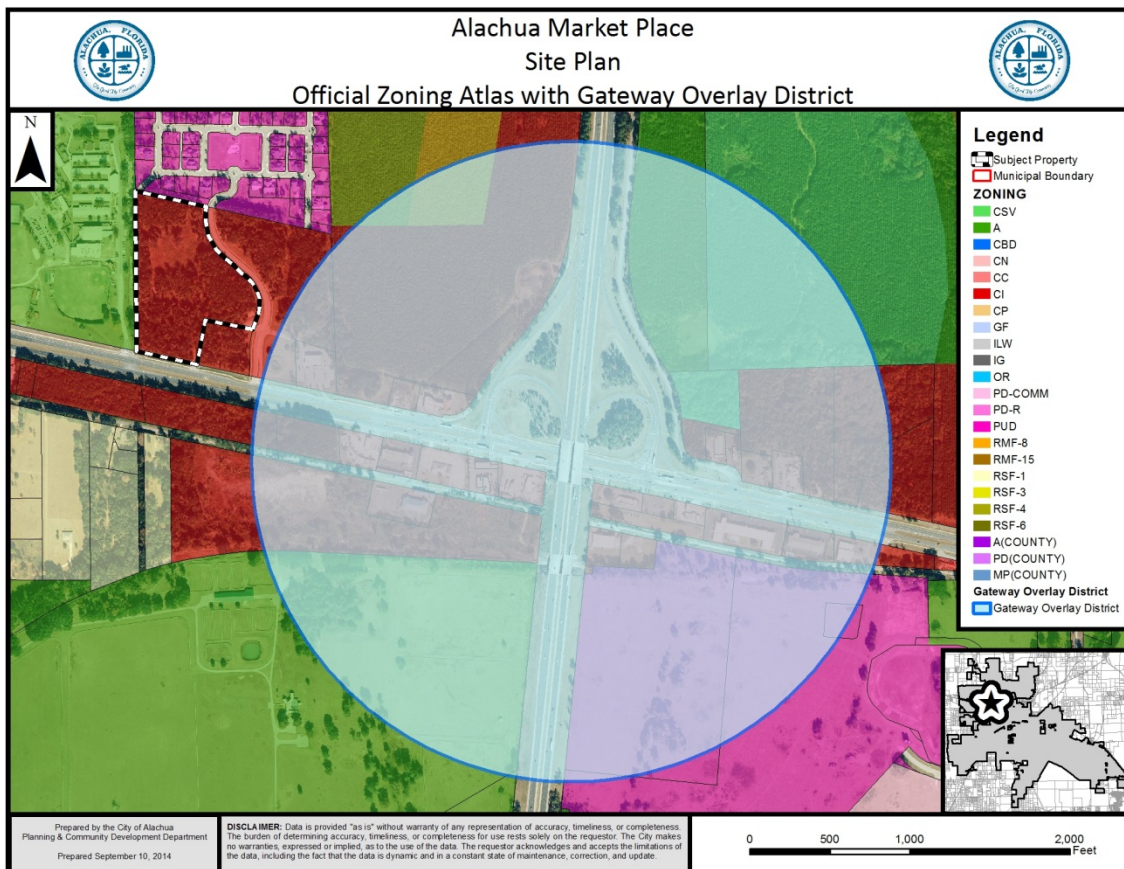
The subject property is ±12.73 acres in area and is located northwest of the intersection of NW US Highway 441 and NW 167<sup>th</sup> Boulevard, east of Santa Fe High School, south of the Heritage Oaks subdivision, and northwest of Raceway gas station. Access to the subject property would be provided primarily by two (2) ingress/egress drives connecting to NW 167<sup>th</sup> Boulevard, with a third service access along NW 167<sup>th</sup> Boulevard, and by a right-in/right-out ingress/egress connection to NW US Highway 441.

Section 3.7.2(C) of the City's Land Development Regulations (LDRs) establishes the US Highway 441/Interstate 75 Gateway Overlay District. The standards of this section apply to all lands within 2,000 feet of the radius of the center point of the interchange of US Highway 441 and Interstate 75 unless otherwise exempted by Section 3.7.2(C). While the parent tract (Tax Parcel 03053-001-001) is located within the Gateway Overlay District, the applicant has applied for and received approval of an application to divide the subject property from the parent tract pursuant to Subsection 2.4.10(B)(3)(f) of the City's LDRs.

Subsection 2.4.10(B)(3)(f) of the City's LDRs provides for the exemption of a development from subdivision review when the development consists of a multifamily, office, commercial, and/or industrial use(s) requiring site plan review pursuant to Subsection 2.4.9 of the LDRs, provided that the development does not result in the creation, relocation, or extension of any street. This site plan application is consistent with the requirements of Subsection 2.4.10(B)(3)(f). The proposed development would not result in the creation, relocation, or extension of any street. In addition, the site plan indicates the location and specifications of all utility infrastructure, including but not limited to water, wastewater, and electrical facilities, which shall serve the development.

Based upon the preceding, the subject property lies outside of the Gateway Overlay District. The subject property, zoning, and Gateway Overlay District boundary is depicted in Map 1 below.

## Map 1. Subject Property with Zoning & Gateway Overlay District



The proposed development will convey the development's stormwater runoff to three (3) proposed stormwater basins, two (2) of which would be located in the east portion of the of the subject property, adjacent to NW 167<sup>th</sup> Boulevard, and one (1) of which would be located northwest of the ingress/egress drive connecting to NW US Highway 441, east of Raceway. The applicant has submitted an application to the Suwannee River Water Management District (SRWMD) for an Environmental Resource Permit (ERP) for the proposed stormwater basins.

## SURROUNDING USES

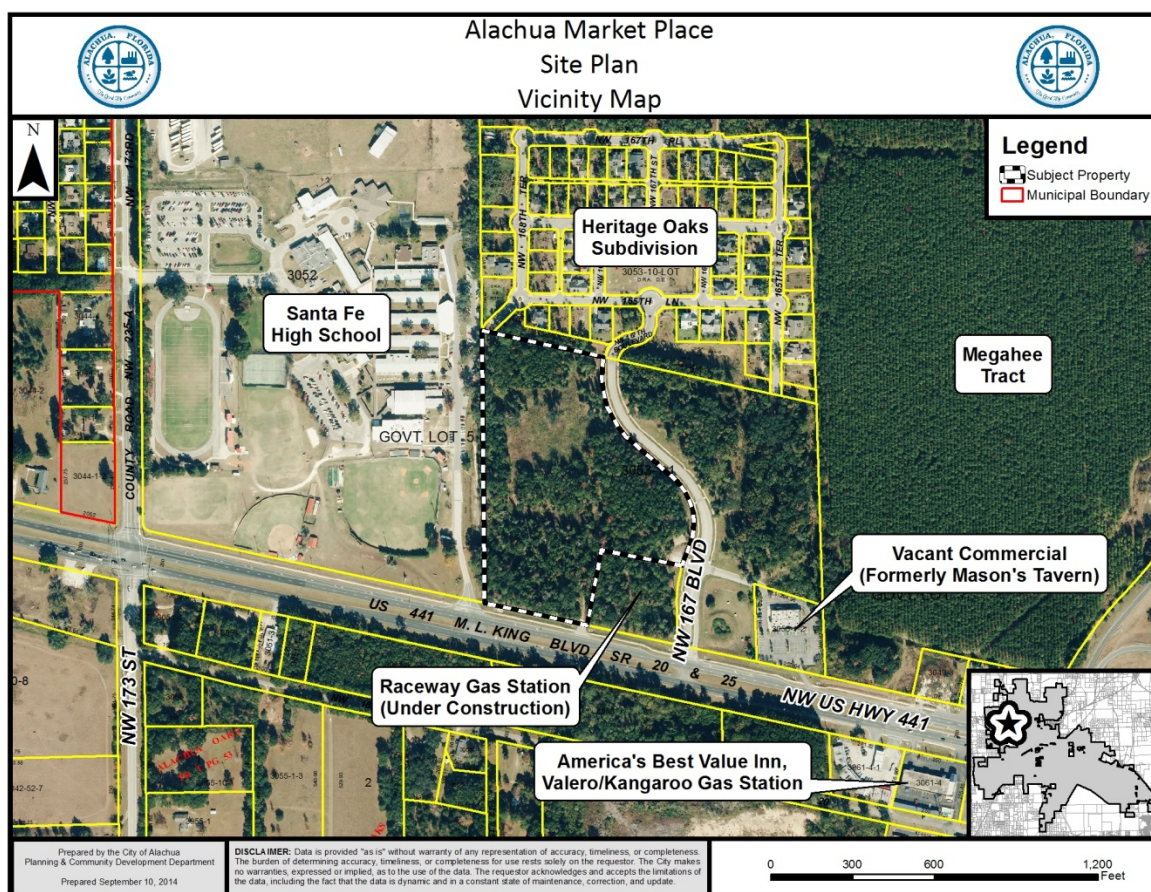
The existing uses, Future Land Use Map (FLUM) Designations, and zoning districts of the surrounding area are identified in Table 1. Map 2 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. It is not intended to be all-inclusive, and may not identify all existing uses, FLUM Designations, and/or zoning districts surrounding the subject property.)



**Table 1. Surrounding Land Uses**

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Heritage Oaks Subdivision	Moderate Density Residential	Planned Unit Development (PUD)
South	Raceway Gas Station; NW US Highway 441; Vacant Commercial Land	Commercial	Commercial Intensive (CI)
East	Vacant Commercial Building (formerly Mason's Tavern/Hungry Howie's); Vacant Commercial Land	Commercial	Commercial Intensive (CI)
West	Santa Fe High School	Public	Agriculture (A)

**Map 2. Vicinity Map**



## NEIGHBORHOOD MEETING

The purpose of a Neighborhood Meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. As required by Section 2.2.4 of the LDRs, all property owners within 400 feet of the subject property were notified of the meeting and notice of the meeting was published in a newspaper of general circulation.

A Neighborhood Meeting was held on August 20, 2014 at the Alachua Branch of the Alachua County Library. The applicant's agent was present and available to answer questions. As evidenced by materials submitted by the applicant, the meeting was attended by thirteen (13) members of the public. A summary of the discussion which occurred at the Neighborhood Meeting has been provided by the applicant and is included within the application materials.

## **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

The Goals, Objectives, and Policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

### **Vision Element**

**GOAL 1: Economic Development:** The City of Alachua has a unique business climate. The City is home to corporations, technology incubators, local businesses, and start-up companies. The City will maintain its focus on a welcoming business environment and encourage business development in the downtown area and along the U.S. 441 corridor. Alachua desires to continue to be a home to innovative businesses and an employment center where jobs are provided at every level. The City will continue to encourage the growth and development of established industries, such as biotechnology, and encourage the diversification and expansion of commercial businesses which provide integral services to the City's residents.

***Evaluation and Findings of Consistency with Goal 1:*** The proposed development will further economic development within the City of Alachua, and will provide for the expansion of commercial businesses providing integral services, such as groceries, to the City's residents.

### **Future Land Use Element**

**GOAL 1: Future Land Use Map 2025:**

The City of Alachua shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens.

**Objective 1.3: Commercial**

The City of Alachua shall establish three commercial districts: Community Commercial, Commercial and Central Business District. These districts shall provide a broad range of retail sales and services, as well as office uses, in order to provide for the availability of goods and services, both to the citizens of Alachua and to the citizens of the North Central Florida region.

**Policy 1.3.b:** Commercial: The Commercial land use category is established to provide for general commercial uses, as well as more intense commercial and highway commercial uses. This is the land use category in which large-scale, regional commercial uses may locate. The following uses are allowed within the Commercial land use category:

1. Retail sales and services;
2. Personal services;
3. Financial Institutions;
4. Outdoor recreation and entertainment;
5. Tourist-related uses;
6. Hotels, motels;
7. Commercial shopping centers;
8. Auto-oriented uses;
9. Traditional Mixed-use Neighborhood Planned Developments;
10. Employment Center Planned Developments;
11. Commercial recreation centers;
12. Office/business parks;
13. Limited industrial services;
14. Eating Establishments

***Evaluation and Findings of Consistency with Goal 1, Objective 1.3, and Policy 1.3.b:*** The subject property has a Commercial FLUM Designation, which permits sales establishments, such as grocery stores, restaurants, and general retail/personal services uses. The proposed building is consistent with the provisions of Policy 1.3.b.7, which states that commercial shopping centers are permitted within the Commercial FLUM Designation.

**Objective 2.4:** Landscaping and Tree Protection Standards: The City shall adopt landscaping and tree protection standards in order to achieve the aesthetic design values of the community and preserve tree canopies, as well as specimen protected, heritage and champion trees.

**Policy 2.4.a:** Landscaping: General – The City shall require landscaping plans to be submitted with each nonresidential and multiple family residential site plan. The minimum landscaped area shall be 30% of the development site. Landscaping designs shall incorporate principles of xeriscaping, where feasible. The City shall develop a list of preferred planting materials to assist in the landscape design. Landscape plans shall include perimeter and internal site landscaping.

**Policy 2.4.b:** Landscaping: Buffering – A buffer consists of horizontal space (land) and vertical elements (plants, berms, fences, walls) that physically separate and visually screen adjacent land uses. The City shall establish buffer yard requirements that are based on the compatibility of the adjacent uses and the desired result of the buffer.

***Evaluation and Findings of Consistency with Objective 2.4 and Policies 2.4.a and 2.4.b:*** The Site Plan includes a Landscaping Plan which demonstrates that the

proposed development will comply with all applicable landscaping and buffering standards required by the City's Comprehensive Plan and Land Development Regulations. Approximately 47.25% of the subject property will consist of landscaped areas, which exceeds the minimum 30% area required by Policy 2.4.a.

**Objective 2.5:** Open Space Standards: The City shall utilize open space requirements to preserve the rural character of Alachua, protect natural resources, and provide spaces for people to recreate and gather.

**Policy 2.5.a:** There shall be a minimum of 10% percent open space required. The City shall establish incentives for the provision of open space beyond minimum requirements.

***Evaluation and Findings of Consistency with Objective 2.5 and Policy 2.5.a:*** The site plan indicates that following the proposed development, the site will provide 6.16 acres (approximately 48.41% of the site) of open space, exceeding the minimum 10% open space requirement.

**Objective 5.1:** Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

***Evaluation and Findings of Consistency with Objective 5.1:*** An environmental conditions and site suitability analysis has been provided in this report, and indicates that the development will not adversely affect natural features.

**Objective 5.2:** Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted level of service standards are maintained.

**Policy 5.2.a:** All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, public schools, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

***Evaluation and Findings of Consistency with Objective 5.2 and Policy 5.2.a:*** An analysis of the development's impact to public facilities has been provided within this report. This analysis demonstrates that the development will not adversely affect the level of service (LOS) standard of any monitored public facilities.

**Policy 9.1:** Any new development within a Commercial or Industrial Future Land Use Map Designation within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater



Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

***Evaluation and Findings of Consistency with Policy 9.1:*** The proposed development will connect to potable water and wastewater facilities.

## **Transportation Element**

### **Objective 1.1: Level of Service**

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

***Evaluation and Findings of Consistency with Objective 1.1:*** An analysis of the development's impacts to transportation facilities has been provided within this report. The development will not adversely affect the level of service for transportation facilities.

**Policy 1.3.a:** The City shall establish minimum and maximum parking standards in order to avoid excessive amounts of underutilized parking areas.

**Policy 1.3.d:** The City shall require landscaping within parking areas, with an emphasis on canopy trees. The City shall consider establishing incentives for landscaping in excess of minimum standards.

**Policy 1.3.e:** The City shall establish standards for parking facility design that adequately separates pedestrians from vehicular traffic and delineates pedestrian crossing zones.

**Policy 1.3.f:** The City shall establish bicycle parking facility standards based on type of use within developments.

**Policy 1.3.g:** The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

***Evaluation and Findings of Consistency with Objective 1.1 and Policies 1.3.a, 1.3.d – 1.3.g:*** The site plan complies with Section 6.1, Off-street parking and loading standards, of the City's Land Development Regulations. Required landscaping materials and pedestrian crossings and connections will be provided within parking areas. The site plan also provides all required bicycle parking facilities and the minimum number of required accessible parking spaces.

## **Community Facilities & Natural Groundwater Aquifer Recharge Element**

### **Policy 1.1.d:**

The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service



- a. **Quality:** Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).
- b. **Quantity:** System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.
- c. **System capacity:** If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

***Evaluation and Findings of Consistency with Policy 1.1.d:*** An analysis of the development's impacts to sanitary sewer facilities has been provided within this report. The development will not adversely affect the level of service for sanitary sewer facilities.

**Policy 1.2.a:** The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

3. A gravity wastewater system, wastewater pumping station, or force main exists within  $\frac{1}{4}$  mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

***Evaluation and Findings of Consistency with Policy 1.2.a:*** The proposed development is located within the City's utility service area and will connect to the City's wastewater system.

**Policy 2.1.a:** The City hereby establishes the following level of service standards for solid waste disposal facilities:

<u>FACILITY TYPE</u>	<u>LEVEL OF SERVICE STANDARD</u>
Solid Waste Landfill	.73 tons per capita per year

***Evaluation and Findings of Consistency with Objective 2.1.a:*** An analysis of the development's impacts to solid waste facilities has been provided within

this report. The development will not adversely affect the level of service for solid waste facilities.

**Objective 3.1:** Ensure provision of drainage and stormwater retention through level of service standards and design requirements to minimize flooding and to protect and improve water quality.

**Policy 3.1.f:** The City shall permit the use of off-site retention facilities, if they are part of previously approved master stormwater retention or detention facility.

***Evaluation and Findings of Consistency with Objective 3.1 and Policy 3.1.f:*** The proposed development will convey the development's stormwater runoff to three (3) proposed stormwater basins, two (2) of which would be located in the east portion of the of the subject property, adjacent to NW 167<sup>th</sup> Boulevard, and one (1) of which would be located northwest of the ingress/egress drive connecting to NW US Highway 441, east of Raceway. The applicant has submitted an application to the Suwannee River Water Management District (SRWMD) for an Environmental Resource Permit (ERP) for the proposed stormwater basins.

**Policy 4.1.b:** The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

3. A water main exists within  $\frac{1}{4}$  mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

***Evaluation and Findings of Consistency with Policy 4.1.b:*** The proposed development is located within the City's utility service area and will connect to the City's potable water system.

**Policy 4.1.c:** The City establishes the following level of service standards for potable water:

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
2. Quantity: System-wide potable water distribution and treatment will be sufficient to provide a minimum of 275 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Florida Administrative Code.

3. **System Capacity:** If the volume of existing use in addition to the volume of the committed use of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

***Evaluation and Findings of Consistency with Objective 4.1.c:*** An analysis of the development's impacts to potable water facilities has been provided within this report. The development will not adversely affect the level of service for potable water facilities.

## **Conservation & Open Space Element**

### **Policy 1.2.a:**

The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

### **Policy 1.3.e:**

The City's land use designations shall offer the best possible protection to threatened and endangered species.

***Evaluation and Findings of Consistency with Policy 1.2.a and 1.3.e:*** The subject property does not contain any environmentally sensitive lands, and is not located adjacent to large tracts of land or land designated for conservation. The development therefore will encourage development practices which provide for the protection of native communities and ecosystems.

## **ENVIRONMENTAL CONDITIONS ANALYSIS**

### **Wetlands**

According to best available data, there are no wetlands located on the subject property. If any wetlands are identified on the subject property at a later time, these areas will be subject to the applicable protection standards of the City of Alachua Comprehensive Plan and the Land Development Regulations (LDRs.)

**Evaluation:** No wetlands have been identified on subject property therefore, there are no issues related to wetland protection.

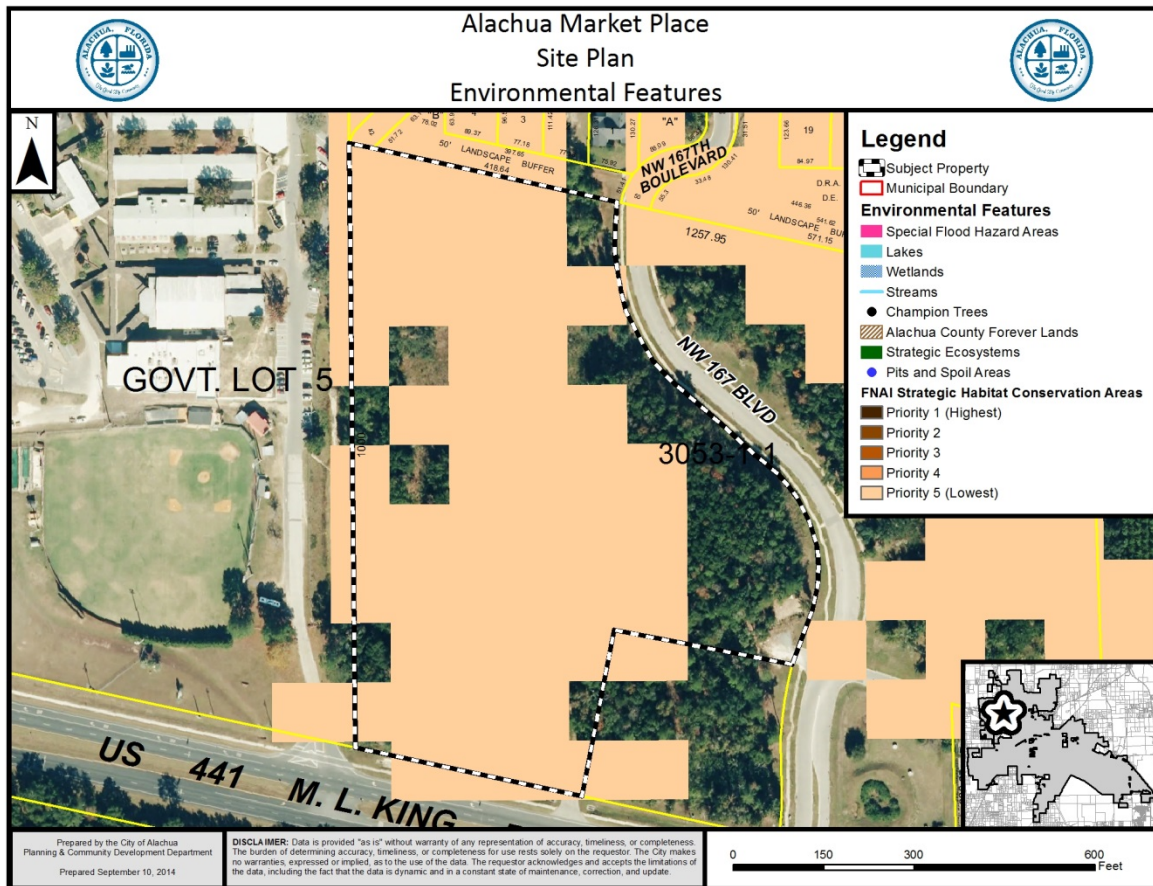
### **Strategic Ecosystems**

Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant

natural biological communities in private ownership in Alachua County. The subject property is not located within or adjacent to a Strategic Ecosystem.

**Evaluation:** The subject property is not located within or adjacent to a Strategic Ecosystem, therefore, the development will not adversely impact any Strategic Ecosystem(s) identified within the ecological inventory report.

### Map 3. Environmental Features



### Regulated Plant & Animal Species

The subject property is not known to contain any species identified as endangered, threatened, or of special concern. The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region. Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial



photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

**Evaluation:** No species identified as endangered, threatened, or of special concern are known to exist on the subject property. The property contains lands identified as “Priority 5” in the PNA data layer, which is the lowest priority category. The property historically consisted of natural vegetation, which has been partially cleared from the site. While Category 5 of the FNAI PNA data layer indicates that the property may feature habitat which could support species identified as endangered, threatened, or of special concern, this data is not intended for use in a regulatory decision making process. If a regulated plant or animal species is identified during development, the applicant must adhere to the applicable standards in the City of Alachua Comprehensive Plan and the Land Development Regulations.

## **Soil Survey**

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. “Group A” soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. “Group D” soils have very lower infiltration rates and therefore a higher runoff potential.

There are two (2) soil types found on the subject property:

*Fort Meade Fine Sand (0% – 5% slopes)*

Hydrologic Soil Group: A

This soil type is well drained and permeability is surface runoff is slow. This soil type poses only slight limitations as sites for homes and local roads.

*Kendrick Sand (2% – 5% slopes)*

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and small commercial buildings.

**Evaluation:** The soil types do not pose any significant limitations for development, therefore, there are no issues related to soil suitability.

## **Flood Potential**

Panel 0120D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006, indicates that the subject property is in Flood Zone X (areas determined to be outside of the 500-year floodplain.)

**Evaluation:** The subject property is located in Flood Zone X (areas determined to be outside of the 500-year floodplain), therefore there are no issues related to flood potential.

### **Karst-Sensitive Features**

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations. The subject property is located within an area where sinkholes may potentially allow hydrologic access to the Floridan Aquifer System, however, best available data indicates that no sinkholes or known indicators of sinkhole activity are located on the subject property.

**Evaluation:** There are no geologic features located on the subject property which indicate an increased potential for karst sensitivity.

### **Wellfield Protection Zones**

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500 foot radius area around each city-owned potable water well.

**Evaluation:** The subject property is not located within a City of Alachua wellhead protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City's Comprehensive Plan, therefore, there are no issues related to wellfield protection.

### **Historic Structures/Markers and Historic Features**

The subject property does not contain any historic structures as determined by the State of Florida and the Alachua County Historic Resources Inventory. Additionally, the subject property is not located within the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

**Evaluation:** There are no issues related to historic structures or markers.

## **COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS**

### ***SITE PLAN STANDARDS***

Section 2.4.9(E) of the City's Land Development Regulations (LDRs) establishes the standards with which all site plans must be found to be compliant. The application has been reviewed for compliance with the standards of Section 2.4.9(E.) An evaluation and findings of the application's compliance with the standards of Section 2.4.9(E) is provided below.

## **(E) Site Plan Standards**

A Site Plan shall be approved only upon a finding the applicant demonstrates all of the following standards are met:

### **(1) Consistency with Comprehensive Plan**

The development and uses in the Site Plan comply with the Goals, Objectives and Policies of the Comprehensive Plan.

**Evaluation & Findings:** An analysis of the application's consistency with the Comprehensive Plan has been provided in this report.

### **(2) Use Allowed in Zone District**

The use is allowed in the zone district in accordance with Article 4: *Use Regulations*.

**Evaluation & Findings:** The subject property is zoned Commercial Intensive (CI.) The site plan proposes a new ±56,431 square foot building (±46,031 square foot grocery store and ±10,400 square foot retail.) Table 4.1-1 of the LDRs establishes the allowable uses within each zoning district, and indicates that this zoning district permits sales establishments, such as grocery stores, restaurants, and general retail/personal services uses.

### **(3) Zone District Use-Specific Standards**

The development and uses in the Site Plan comply with Section 4.3, *Use-Specific Standards*.

**Evaluation & Findings:** The primary use type proposed by the development is the "sales establishment" use type, which includes grocery stores and general retail/personal services uses anticipated within the retail building. There are no Use-Specific Standards which apply to the "sales establishment" use type.

### **(4) Development and Design Standards**

The development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 6: *Development Standards*.

**Evaluation & Findings:** The application has been reviewed for and is found to be in compliance with all relevant provisions of Article 6, *Development Standards*, including but not limited to *Section 6.1*, Off Street Parking & Loading Standards, *Section 6.2*, Tree Protection/Landscape/Xeriscape Standards, *Section 6.3*, Fencing Standards, *Section 6.4*, Exterior Lighting Standards, *Section 6.7*, Open Space Standards, *Section 6.8*, Design Standards for Business Uses, and *Section 6.9*, Environmental Protection Standards. Compliance with the relevant provisions of the aforementioned LDR sections is demonstrated within the Site Plan.

**(5) *Subdivision Standards***

In cases where a subdivision has been approved or is pending, the development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 7: *Subdivision Standards*.

**Evaluation & Findings:** Section 2.4.10(B)(3)(f) of the City's LDRs provides for the exemption of a development from subdivision review when the development consists of a multifamily, office, commercial, and/or industrial use(s) requiring site plan review pursuant to Subsection 2.4.9 of the LDRs, provided that the development does not result in the creation, relocation, or extension of any street. The site plan for such development is required to indicate the location and specifications of all utility infrastructure, including but not limited to water, wastewater, and electrical facilities, which shall serve the development. The applicant has applied for and received approval of an application to divide the subject property from the parent tract pursuant to Subsection 2.4.10(B)(3)(f) of the City's LDRs. This action was approved in a letter dated September 30, 2014, to Sergio Reyes, PE, of eda engineers-surveyors-planners, inc. (attached within the supporting documentation to this report.)

**(6) *Complies with All Other Relevant Laws and Ordinances***

The proposed site plan development and use complies with all other relevant City laws and ordinances, state and federal laws, and regulations.

**Evaluation & Findings:** The application is consistent with all other relevant City ordinances and regulations.

***COMPLIANCE WITH SECTION 6.8, DESIGN STANDARDS FOR BUSINESS USES***

Section 6.8 of the City's Land Development Regulations (LDRs) establishes design standards for business uses. The standards established within Section 6.8.2 apply to business use types, except for single tenant retail sales and services uses greater than or equal to 20,000 square feet or unless otherwise exempted within Subsection 6.8.1(B.) Uses exempt from the design standards pursuant to Subsection 6.8.1(B) include use types within the industrial services, manufacturing and production, warehouse and freight movement, waste-related services, and wholesale sales use categories. The standards established within Section 6.8.3 apply to single tenant retail sales and services uses greater than 20,000 square feet.

The application has been reviewed for compliance with the standards of Section 6.8. Given the proposed development's configuration, the standards of Section 6.8.3 are applicable to the proposed ±46,031 square foot grocery store, while the standards of Section 6.8.2 are applicable to the remaining portion of the building (the ±10,400 square foot retail building.) An evaluation and findings of the application's compliance with the standards of Section 6.8 is provided below.



6.8.2 *Design standards for business uses.*

(A) *Façade and Material Design.*

- (1) *Generally.* All façades facing a street, lands containing existing residential uses, or vacant land classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8, or RMF-15, shall be subject to the standards set forth in Subsection 6.8.2(A)(2).
- (2) *Standards.*
  - (a) *Glazing.*
    - (i) Glazing of the front facade in the following amounts:
      - a. Twenty percent of the ground floor façade area when it faces a street or a publicly-accessible parking area which is a part of the development and consists of 15 percent or more of the development's minimum off-street parking requirement pursuant to Section 6.1.4(B);
      - b. Fifteen percent of the ground floor façade area when it faces any vacant land classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15, or lands containing existing residential uses.
    - (ii) For the purposes of this section, the ground floor façade area of single-story buildings shall be calculated by measuring the applicable building wall between the finished grade and the underside of the roof, wall, or parapet of the facade. For buildings with more than one story, the ground floor façade area shall be calculated by measuring the applicable building wall between the finished grade and the underside of the floor above the ground level floor.

**Evaluation & Findings:** The front facade provides 31.43% percent glazing of the ground floor façade area of the south elevation (facing the parking lot) and 20.64 percent glazing of the ground floor façade area of the east elevation (facing NW 167<sup>th</sup> Boulevard.) The north building elevation is screened from view from residential areas to the north by a six foot (6') wood fence which is located near the subject property's north property line.

- (b) *Façade Massing.*
  - (i) **Offset Required.** Front facades and street-facing facades shall incorporate wall offsets of at least two feet in depth (projections or recesses) a minimum of every 30 feet. Each required offset shall have a minimum width of ten feet.
  - (ii) **Offset Alternatives.** The following alternatives can be used in place of the required front façade offsets:
    - a. Façade color changes following the same dimensional standards as the offset requirements;
    - b. Pilasters having a minimum depth of one foot, a minimum width of one foot, and a minimum height of 80 percent of the façade's height; and/or

- c. Roofline changes when coupled with correspondingly aligned façade material changes.

**Evaluation & Findings:** The front façade (south elevation) incorporates pilasters in accordance with the provisions of Section 6.8.2(A)(2)(b)(ii)(b), while the side elevation (east elevation) incorporates roofline changes coupled with correspondingly aligned façade material changes.

(c) *Material Design.*

- (i) A minimum of twenty-five percent of the materials utilized for each side facade and the rear façade shall be the same as the materials utilized for the front or street-facing façade(s).

**Evaluation & Findings:** The side and rear elevations utilize stucco within greater than twenty-five percent of the façade area. Matching stucco is utilized within the front elevation.

(d) *Prohibited materials.* The following materials shall be prohibited:

- (i) Metal siding in more than 50 percent of any façade when visible from a street, lands classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15, or lands containing existing residential uses;
- (ii) Exposed smooth finished concrete block when visible from a street, lands classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15, or lands containing existing residential uses; and,
- (iii) Exposed split face concrete block in more than 60 percent of any façade.

**Evaluation & Findings:** The building plans do not propose metal siding, smooth finished concrete block, or exposed split face block in any of the facades.

- (3) *Screening of mechanical equipment.* Mechanical equipment shall be fully concealed from visibility from a street, lands classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15, or lands containing existing residential uses.

**Evaluation & Findings:** Mechanical equipment will be screened from view from NW 167<sup>th</sup> Boulevard and from residential areas to the north.

- (4) *Connections to sidewalk system.* When a sidewalk system exists within a right of way which is contiguous to the development, a minimum of one pedestrian connection to the sidewalk system shall be provided. On-site pedestrian circulation patterns shall be configured to provide safe and convenient access from the off-site sidewalk system to the main entrance(s) of the building(s). Sidewalks shall be constructed in accordance with Subsection 7.3.2(B), Configuration.

**Evaluation & Findings:** The proposed development provides four (4) connections to the contiguous sidewalk system.

6.8.3 *Design standards for single tenant retail sales and service uses greater than or equal to 20,000 square feet.*

(A) *Facade and material design.*

(1) *Generally.* All facades facing a street, lands containing existing residential uses, or vacant land classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8, or RMF-15, shall be subject to the standards set forth in Subsection 6.8.3(B)(2).

(2) *Standards.*

(a) *Glazing.*

(i) Glazing of the front façade in the following amounts:

- a. 30 percent of the ground floor facade area when it faces a street or a publicly-accessible parking area which is a part of the development and consists of 15 percent or more of the development's minimum off-street parking requirement pursuant to Section 6.1.4(B);
- b. 20 percent of the ground floor facade area when it faces any vacant land classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15, or lands containing existing residential uses.

(ii) For the purposes of this section, the ground floor facade area of single-story buildings shall be calculated by measuring the applicable building wall between the finished grade and the underside of the roof, wall, or parapet of the facade. For buildings with more than one story, the ground floor façade area shall be calculated by measuring the applicable building wall between the finished grade and the underside of the floor above the ground level floor.

(iii) Windows shall not use reflective or heavily tinted glass that obstructs views into the building .

(iv) *Glazing alternatives.* The amount of glazing required pursuant to Subsection 6.8.3(A)(2)(a)(i)a. may be reduced to a minimum of 20 percent when the façade incorporates all of the following architectural elements:

- a. The use of natural brick, a natural brick product, natural stone, or a natural stone product in at least 20 percent of the façade, and;
- b. Window shutters/plantation-style shutters or a canopy/portico in accordance with the following:
  - i. Window shutters or plantation-style shutters which span a minimum of 10 percent of the length of the façade, or;
  - ii. A canopy or portico which provides a covered pedestrian walkway adjacent to the façade which

spans a minimum of 50 percent of the length of the facade, and;

- c. Customer entrances which include no less than six of the design features provided in Subsection 6.8.3(C)(2).d. The amount of glazing required pursuant to this subsection may be further reduced by up to 5 percent when the façade incorporates a corresponding increase in the percentage of natural brick, natural brick product, natural stone, or natural stone product in addition to the minimum amount required pursuant to Subsection 6.8.3(A)(2)(a)(iv)a.

**Evaluation & Findings:** The proposed building design utilizes the glazing alternatives as established in Sections 6.8.3(A)(2)(a)(iv) and 6.8.3(A)(2)(a)(iv)(c), which permit a reduction in the amount of glazing required to no less than 15 percent. The front facade provides 15.10 percent glazing of the ground floor façade area of the south elevation (facing the parking lot.) To reduce the glazing below 20 percent, the development is required to provide a corresponding increase in natural brick product in addition to the minimum amount of natural brick product required (a minimum 20 percent natural brick product is required) and the incorporation of no less than six specified customer entrance design criteria. The proposed development provides 26.64 percent natural brick product in the ground floor façade area of the south elevation (facing the parking lot) and has provided six (6) of the defined customer entrance design criteria (see Staff's analysis of compliance with Section 6.8.3(C)(2) below.) The north building elevation is screened from view from residential areas to the north.

(b) *Facade massing.*

- (i) *Offset required.* Front facades 60 feet wide or wider shall incorporate wall offsets of at least two feet in depth (projections or recesses) a minimum of every 40 feet. Each required offset shall have a minimum width of 20 feet.
- (ii) *Offset alternatives.* The following alternatives can be used in place of the required front facade offsets:
  - a. Facade color changes following the same dimensional standards as the offset requirements;
  - b. Pilasters having a minimum depth of one foot, a minimum width of one foot, and a minimum height of 80 percent of the facade's height; and/or
  - c. Roofline changes when coupled with correspondingly aligned facade material changes.

**Evaluation & Findings:** The front façade (south elevation) incorporates roof line changes coupled with correspondingly aligned façade material changes in accordance with the provisions of Section 6.8.3(A)(2)(b)(ii)(b.)



(c) *Roof line changes.*

- (i) Roof line changes shall include changes in roof planes or changes in the top of a parapet wall, such as extending the top of pilasters above the top of the parapet wall.
- (ii) When roofline changes are included on a facade that incorporates wall offsets or material or color changes, roofline changes shall be vertically aligned with the corresponding wall offset or material or color changes.

**Evaluation & Findings:** The building incorporates changes in the height of the parapet wall throughout the façade area. Roofline changes are vertically aligned with corresponding wall offsets or material/color changes.

- (d) *Colors.* Facade colors shall be in accordance with the City's adopted color palate. This palate features colors that are low reflectance, subtle, neutral, and/or earth tone colors, while high-intensity colors, bright colors, metallic colors, or black or fluorescent colors are prohibited except for building trim.

**Evaluation & Findings:** Façade colors are neutral and/or earth tone in character. No high-intensity, bright, metallic, black, or fluorescent colors are proposed.

(e) *Prohibited materials.* The following materials shall be prohibited:

- (i) Metal siding and exposed smooth-finished concrete block, when visible from a street, existing single-family attached or detached dwellings, or vacant land classified as CSV, A, RSF-1, RSF-3, and RSF-4; and
- (ii) Synthetic stucco (EIFS) within two feet of the grade level and within two feet of any exterior door jamb.

**Evaluation & Findings:** Exposed smooth-finished concrete block used within the north elevation (rear elevation) and east elevation (side elevation) will be screened from view from residential areas to the north and from NW 167<sup>th</sup> Boulevard by a six foot (6') wood fence located near the subject property's north and east property lines. Synthetic stucco is not proposed within two feet of grade level, or within two feet of any exterior door jamb.

- (f) *Vinyl siding.* Vinyl siding shall be limited to 60 percent or less of any single facade, and all vinyl siding shall have a smooth surface with no visible grained pattern.

**Evaluation & Findings:** Vinyl siding is not proposed within any façade.

(B) *Roofs.*

- (1) *Roof planes.* Except for mansard roofs, cupolas and steeples, sloped roofs shall include two or more sloping roof planes with greater than or equal to

one foot of vertical rise for every three feet of horizontal run, and less than or equal to one foot of vertical rise for every one foot of horizontal run.

- (2) *Flat roofs.* When flat roofs are used, parapet walls with three-dimensional cornice treatments shall conceal them. The cornice shall include a perpendicular projection a minimum of eight inches from the parapet facade plane.

**Evaluation & Findings:** Parapet walls with cornice treatments will be provided around the roof.

- (3) *Roof penetrations and equipment.* All roof-based mechanical equipment, as well as vents, pipes, antennas, satellite dishes and other roof penetrations (with the exception of chimneys), shall be located on the rear elevations or screened with a parapet wall having a three-dimensional cornice treatment so as to have a minimal visual impact as seen from:

- (a) A public street;
- (b) Vacant land classified as CSV, A, RSF-1, RSF-3, RSF-4, RSF-6, RMH-5, RMH-P, RMF-8 or RMF-15; and
- (c) Lands containing single-family detached, attached, townhouse or two- to four-family dwelling developments.

**Evaluation & Findings:** All roof-based equipment is either located on the rear elevation or has been screened with a parapet wall with cornice treatment.

(C) *Customer entrances.*

- (1) *Required entrances.* Each side of a building facing a public street shall include at least one customer entrance, except that no large retail establishment shall be required to provide entrances on more than two sides of the structure which face public streets.

**Evaluation & Findings:** Only one side of the single tenant retail sales and services use greater than 20,000 square feet in area faces a public street (NW US Highway 441.) A customer entrance is provided on the side of the building facing NW US Highway 441.

- (2) *Entrance design.* Buildings shall have clearly-defined, highly visible customer entrances that include no less than three of the following design features:

- (a) Canopies/porticos above the entrance;
- (b) Roof overhangs above the entrance;
- (c) Entry recesses/projections;
- (d) Arcades that are physically integrated with the entrance;
- (e) Raised corniced parapets above the entrance;
- (f) Gabled roof forms or arches above the entrance;
- (g) Outdoor plaza adjacent to the entrance having seating and a minimum depth of 20 feet;
- (h) Display windows that are directly adjacent to the entrance;

- (i) Architectural details, such as tile work and moldings, that are integrated into the building structure and design and are above and/or directly adjacent to the entrance; or
- (j) Integral planters or wing walls that incorporate landscaped areas or seating areas. A wing wall is a wall secondary in scale projecting from a primary wall and not having a roof.

**Evaluation & Findings:** The building design incorporates the following design features into customer entrances: canopies/porticos above the entrance; entry recesses/projections; arcades that are physically integrated with the entrance; raised corniced parapets above the entrance; display windows that are directly adjacent to the entrance; and architectural details, such as tile work and moldings, that are integrated into the building structure and design and are above and/or directly adjacent to the entrance.

(D) *Off-street parking.*

- (1) *Location.* No more than 50 percent of the required off-street parking shall be located between the building's primary facade and the street it fronts.

**Evaluation & Findings:** The proposed grocery store requires a minimum of 183 off-street parking spaces, therefore, no more than 92 off-street parking spaces dedicated to this use may be located within the use's primary facade and the street it fronts. A portion of the parking required for the proposed retail/restaurant building, which is required to provide a minimum of 60 off-street parking spaces, may also be located in front of the proposed grocery store. Given the minimum amount of off-street parking spaces required for each use, the proposed development complies with the provisions of Section 6.8.3(D), and is demonstrated on Sheet C0.00 of the site plan.

- (2) *Screening.* Off-street surface parking areas serving a large retail establishment shall be screened in accordance with Section 6.2, in addition to the following:
  - (a) In cases where a wall or fence is provided in lieu of a continuous opaque screen of shrub material, such fence or wall shall have a minimum height of 36 inches, and be constructed of stone, brick, stucco, wood or similar material designed to resemble such materials;
  - (b) Any fence or wall shall be located at least four feet from the edge of the lot line; and
  - (c) All required canopy and understory/ornamental trees shall be located between the fence or wall and the edge of the street right-of-way.

**Evaluation & Findings:** The development proposes screening of off-street parking areas in accordance with Section 6.2. No fences or walls are proposed in lieu of a continuous shrub.

(E) *Pedestrian circulation.*

- (1) *Sidewalks required.* New large retail establishments shall provide sidewalks constructed in accordance with Subsection 7.3.2(B), Configuration, on all sides of the lot which abut a public street.
- (2) *Pedestrian pathways.* The on-site pedestrian circulation system shall comply with the standards in Subsection 6.1.10(A), Required improvements, and Subsection 7.3.2(C), Connection.
- (3) *Connection to public sidewalk system.* In the case of corner lots, a connection shall be made to the sidewalk of both streets.
- (4) *Distinguished from driving surfaces.* All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low-maintenance surface materials such as pavers, bricks, or scored/stamped concrete or asphalt to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways.

**Evaluation & Findings:** The proposed development provides sidewalk connections to NW US Highway 441 and NW 167<sup>th</sup> Boulevard. The proposed development will provide the minimum number of connections required by Section 7.3.2(C) (a minimum of four connections) and the minimum width required by Section 6.1.10(A) (minimum width of five feet.) All internal pedestrian walkways are distinguished from driving surfaces.

## PUBLIC FACILITIES IMPACT

### Traffic Impact

**Table 2. Affected Comprehensive Plan Roadway Segments<sup>1</sup>**

Segment Number <sup>2, 3</sup>	Segment Description	Lanes	Functional Classification	Area Type	LOS
1 (7)	I-75 (from north city limits to US 441)	6/D	Freeway	COMM	C
2 (6)	I-75 (from US 441 to south city limits)	6/D	Principle Arterial	COMM	C
5 (13, 14, 15)	US 441 (from SR 235 to north city limits)	4/D	Principle Arterial	Urban Trans	E
N/A	CR 235A (North Segment) (from north city limits to US 441)	2/U	County Maintained Collector	Urban Trans	D
N/A	CR 235A (South Segment) (from US 441 to CR 235)	2/U	County Maintained Collector	Urban Trans	D

<sup>1</sup> Source: City of Alachua Comprehensive Plan, Transportation Element.

<sup>2</sup> For developments generating more than 1,000 trips, affected roadway segments are identified as those on which the development's impacts are five percent or greater of the maximum service volume of the roadway and all roadway segments located partially or wholly within ½ mile of the development's ingress/egress [Section 2.4.14(H)(2) of the LDRs.]

<sup>3</sup> FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.



**Table 3. Trip Generation<sup>1</sup>**

Land Use	AADT (Enter/Exit) <sup>2</sup>	AM Peak Hour (Enter/Exit) <sup>2</sup>	PM Peak Hour (Enter/Exit) <sup>2</sup>
Supermarket (ITE Code 850)	4,706 (2,353/2,353)	157 (97/60)	436 (222/214)
Specialty Retail Center (ITE Code 826)	403 (201/202)	62 (30/32)	25 (11/14)
Total Trips	5,109 (2,554/2,555)	219 (127/92)	461 (233/228)
Pass-By Trips (25% of Total)	1,277 (639/639)	55 (32/23)	115 (58/57)
Total Net New Trips	3,832 (1,915/1,916)	164 (95/69)	346 (175/171)

<sup>1</sup> Source: ITE Trip Generation, 8th Edition.

<sup>2</sup> Formulas: ITE Code 850 – AADT – 102.24 trips per 1,000 square feet x 46,031 square feet (50% entering/50% exiting); AM Peak Hour – 3.40 trips per 1,000 square feet x 46,031 square feet (62% entering/38% exiting); PM Peak Hour – 9.48 trips per 1,000 square feet x 46,031 square feet (51% entering/49% exiting); ITE Code 826 – AADT – 44.32 trips per 1,000 square feet x 9,100 square feet (50% entering/50% exiting); AM Peak Hour – 6.84 trips per 1,000 square feet x 9,100 square feet (48% entering/52% exiting); PM Peak Hour – 2.71 trips per 1,000 square feet x 9,100 square feet (44% entering/56% exiting).

**Table 4a. Projected Impact on Affected Comprehensive Plan Roadway Segments (AADT)**

Traffic System Category	I-75 Segment 1 (7) <sup>1</sup>	I-75 Segment 2 (6) <sup>1</sup>	US 441 Segment 5 (13, 14, 15) <sup>1</sup>	CR 235A North Seg.	CR 235A South Seg.
Average Annual Daily Trips					
Maximum Service Volume <sup>2</sup>	85,600	85,600	35,500	14,580	14,580
Existing Traffic <sup>3</sup>	35,505	56,000	23,000	1,589	4,642
Reserved Trips <sup>4</sup>	580	580	3,701	0	119
Available Capacity <sup>4</sup>	49,515	29,020	8,799	12,991	9,819
Increase/Decrease in Daily Trips Generated by Development <sup>5</sup>	77	613	2,261	77	498
<b>Residual Capacity After Development's Impacts<sup>6</sup></b>	49,438	28,407	6,538	12,914	9,321

<sup>1</sup> FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

<sup>2</sup> Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas.

<sup>3</sup> Florida State Highway System Level of Service Report 2013, Florida Department of Transportation, District II, August 2014.

<sup>4</sup> Source: City of Alachua August 2014 Development Monitoring Report.

<sup>5</sup> Trip Distribution: Segment 1 – 2%; Segment 2 – 16%; Segment 5 – 59%; CR 235A North Segment – 2%; CR 235A South Segment – 13%.

<sup>6</sup> The application is for a Final Development Order. Facility capacity and concurrency will be reserved.

**Table 4b. Projected Impact on Affected Comprehensive Plan Roadway Segments (Peak Hour)**

Traffic System Category	I-75 Segment 1 (7) <sup>1</sup>	I-75 Segment 2 (6) <sup>1</sup>	US 441 Segment 5 (13, 14, 15) <sup>1</sup>	CR 235A North Seg.	CR 235A South Seg.
<b>PM Peak Hour Trips</b>					
Maximum Service Volume <sup>2</sup>	7,710	7,710	3,200	1,314	1,314
Existing Traffic <sup>3</sup>	3,728	5,880	2,185	151	441
Reserved Trips <sup>4</sup>	48	48	315	0	10
Available Capacity <sup>4</sup>	3,934	1,782	700	1,163	863
Increase/Decrease in PM Peak Hour Trips Generated by Development <sup>5</sup>	7	55	204	7	45
<b>Residual Capacity After Development's Impacts<sup>6</sup></b>	<b>3,927</b>	<b>1,727</b>	<b>496</b>	<b>1,156</b>	<b>818</b>
<sup>1</sup> FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. <sup>2</sup> Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas. <sup>3</sup> Florida State Highway System Level of Service Report 2013, Florida Department of Transportation, District II, August 2014. <sup>4</sup> Source: City of Alachua August 2014 Development Monitoring Report. <sup>5</sup> Trip Distribution: Segment 1 – 2%; Segment 2 – 16%; Segment 5 – 59%; CR 235A North Segment – 2%; CR 235A South Segment – 13%. <sup>6</sup> The application is for a Final Development Order. Facility capacity and concurrency will be reserved.					

**Evaluation:** The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

## **Potable Water Impacts**

**Table 5. Potable Water Impacts**

System Category	Gallons Per Day
Current Permitted Capacity <sup>1</sup>	2,300,000
Less Actual Potable Water Flows <sup>1</sup>	1,140,000
Reserved Capacity <sup>2</sup>	95,193
Available Capacity	
Projected Potable Water Demand from Application <sup>3</sup>	4,295
<b>Residual Capacity</b>	<b>1,064,807</b>
<b>Percentage of Permitted Design Capacity Utilized</b>	<b>53.89%</b>
Sources: <sup>1</sup> City of Alachua Public Services Department, April 2014. <sup>2</sup> City of Alachua August 2014 Development Monitoring Report. <sup>3</sup> Source: Chapter 64E-6, Florida Administrative Code; Water Demand for Grocery Store Tenants, provided by Applicant. Formula: Retail: 10 gallons per day per 100 square feet x 10,400 square feet; Grocery Store: 0.07 gallons per square foot x 46,500 square feet.	

**Evaluation:** The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

## Sanitary Sewer Impacts

**Table 6. Sanitary Sewer Impacts**

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity	1,230,000
Less Actual Treatment Plant Flows <sup>1</sup>	595,000
Reserved Capacity <sup>2</sup>	68,743
Available Capacity	566,257
Projected Sanitary Sewer Demand from Application <sup>3</sup>	4,295
<b>Residual Capacity</b>	<b>561,962</b>
<b>Percentage of Permitted Design Capacity Utilized</b>	<b>54.31%</b>
<i>Sources:</i> <sup>1</sup> City of Alachua Public Services Department, April 2014. <sup>2</sup> City of Alachua August 2014 Development Monitoring Report. <sup>3</sup> Source: Chapter 64E-6, Florida Administrative Code; Water Demand for Grocery Store Tenants, provided by Applicant. Formula: Retail: 10 gallons per day per 100 square feet x 10,400 square feet; Grocery Store: 0.07 gallons per square foot x 46,500 square feet.	

**Evaluation:** The impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

## Solid Waste Impacts

**Table 7. Solid Waste Impacts**

System Category	Pounds Per Day	Tons Per Year
Demand from Existing Development <sup>1</sup>	37,200	6,789.00
Reserved Capacity <sup>2</sup>	3,678.22	671.28
Demand Generated by Application <sup>3</sup>	672	122.64
New River Solid Waste Facility Capacity <sup>4</sup>	50 years	
<div>Sources:</div> <div><div>1</div><div>University of Florida, Bureau of Economic &amp; Business Research, Estimates of Population by County and City in Florida, January 15, 2014; Policy 2.1.a, CFNGAR Element (Formula: 9,300 persons x 0.73 tons per person per year).</div></div> <div><div>2</div><div>City of Alachua August 2014 Development Monitoring Report.</div></div> <div><div>3</div><div>Sincero and Sincero; Environmental Engineering: A Design Approach. Prentice Hall, New Jersey, 1996</div></div> <div><div>4</div><div>New River Solid Waste Facility, April 2013.</div></div>		

**Evaluation:** The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

## Recreation Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

**Public School Facilities**

The proposed development is a nonresidential development. Therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public school facilities.

CONDITIONS: