

Planning and Zoning Board Agenda March 14, 2017

Chair Gary Thomas
Vice Chair Dayna Miller
Member Fred Hilton
Member Anthony Wright
Member Virginia Johns
School Board Member Rob Hyatt

City Manager Traci L. Gresham

Planning and Zoning Board At 6:00 PM

Meeting Date: March 14, 2017

Meeting Location: James A. Lewis Commission Chambers, City Hall

Notice given pursuant to Section 286.0105, Florida Statutes. In order to appeal any decision made at this meeting, you will need a verbatim record of the proceedings. It will be your responsibility to ensure such a record is made.

PLANNING AND ZONING BOARD MEETING AGENDA

CALL TO ORDER

INVOCATION

PLEDGE TO THE FLAG

APPROVAL OF THE AGENDA

I. OLD BUSINESS

II. NEW BUSINESS

- A. Approval of the Minutes of the February 14, 2017 PZB Meeting
- B. Large Scale Comprehensive Plan Amendment: A request by Jamie Poulos, of Poulos & Bennett,

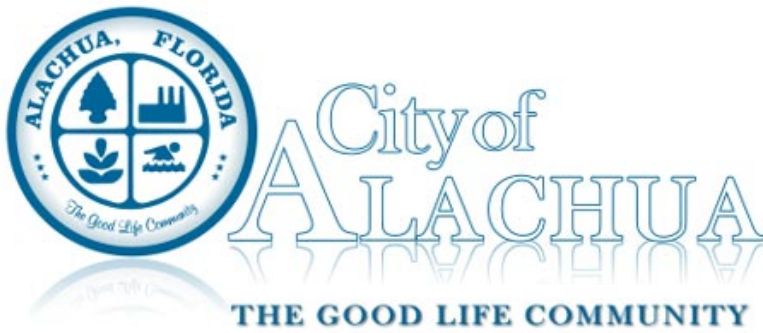
LLC, applicant and agent, for RL REGI Florida, LLC, property owner, to amend the FLUM from Medium Density Residential to Moderate Density Residential on a ±35.82 acre subject property. Consisting of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006 (Legislative Hearing).

- C. Site Plan - Farm Bureau Insurance: A request by Chris Gmuer, P.E., of Gmuer Engineering, Inc, applicant and agent for Hipp Investments, LLC, property owner, for consideration of a Site Plan for the construction of a ±5,560 square foot building on a ±1.66 acre subject property. Tax Parcel No. 03053-001-001 (Quasi-Judicial)

III. BOARD COMMENTS/DISCUSSION

IV. CITIZENS COMMENTS

ADJOURN



Board/Committee Agenda Item

MEETING DATE: 3/14/2017

SUBJECT: Approval of the Minutes of the February 14, 2017 PZB Meeting

PREPARED BY: Justin Tabor, AICP, Principal Planner

RECOMMENDED ACTION:

Approve the minutes of the February 14, 2017 Planning & Zoning Board (PZB) Meeting.

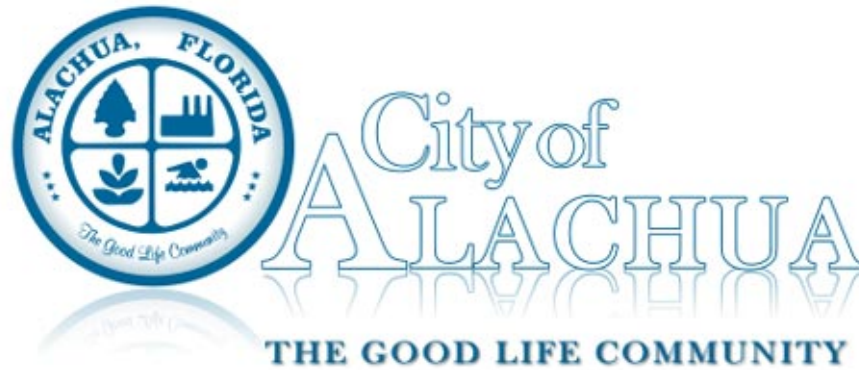
Summary

Approve the minutes of the February 14, 2017 Planning & Zoning Board (PZB) Meeting.

ATTACHMENTS:

Description

▢ PZB Minutes 2/14/2017



Planning and Zoning Board Minutes February 14, 2017

Chair Gary Thomas

City Manager Traci L. Gresham

Vice Chair Dayna Miller

Member Fred Hilton

Member Anthony Wright

Member Virginia Johns

School Board Member Rob Hyatt

**Planning and Zoning Board
At 6:00 PM**
to address the item(s) below.

Meeting Date: February 14, 2017

Meeting Location: James A. Lewis Commission Chambers, City Hall

<p>Notice given pursuant to Section 286.0105, Florida Statutes. In order to appeal any decision made at this meeting, you will need a verbatim record of the proceedings. It will be your responsibility to ensure such a record is made.</p>
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<h3>PLANNING AND ZONING BOARD MEETING MINUTES</h3>

CALL TO ORDER

Chair Gary Thomas called the meeting to order. Members Virginia Johns and Anthony Wright were absent.

INVOCATION

Chair Gary Thomas led the invocation.

PLEDGE TO THE FLAG

The Board led the Pledge of Allegiance.

APPROVAL OF THE AGENDA

There were no changes to the Agenda.

Member Fred Hilton motioned to accept the agenda as published; seconded by Vice Chair Dayna Miller. Passed by unanimous consent.

I. OLD BUSINESS

None.

II. NEW BUSINESS

- A. Approval of the Minutes of the January 10, 2017 PZB Meeting

Vice Chair Dayna Miller motioned to accept the minutes; seconded by Member Fred Hilton. Passed by unanimous consent.

- B. Certificate of Appropriateness: A Request by Derek Hickman of Hickman Metal Roofing, Applicant and Agent for Patricia Utter, Property Owner, for Alterations to an Existing Structure, located at 14806 NW 142nd Terrace (Tax Parcel No. 03640-001-000) (Quasi-Judicial Hearing)

Assistant Deputy City Clerk Melanie Anne Westmoreland swore in parties entering testimony during the hearing.

Principal Planner Justin Tabor, AICP, presented the Staff Report.

Don Hickman, of Hickman Metal Roofing, Applicant and Agent for the property owner, availed himself for questions.

Vice Chair Dayna Miller asked for clarification concerning the number of structures on the property.

Don Hickman responded to the question.

Member Fred Hilton moved that based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the application for a Certificate of Appropriateness; seconded by Vice Chair Dayna Miller.

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Motion Passed 3-0 on a roll call vote.

- C. Site Plan: Copeland Park, Phase 1: A request by Daniel Young, P.E., LEED A.P., of Causseaux, Hewett, & Walpole, Inc., applicant and agent for ADC Development & Investment Group, LLC, property owner, for consideration of a Site Plan for the construction of a ±13,330 square foot building and a ±11,750 square foot building, consisting of a ±5.26 acre subject property. A portion of Tax Parcel Number 03230-002-000 and a portion of Tax Parcel Number 03927-000-000 (Quasi-Judicial Hearing).

Assistant Deputy City Clerk Melanie Anne Westmoreland swore in parties entering testimony during the hearing.

Principal Planner Justin Tabor, AICP, presented the Staff Report.

Daniel Young, P.E., LEED AP, of Causseaux, Hewett, & Walpole, Inc., Applicant and Agent for the

property owner, acknowledged the applicant's agreement to the conditions recommended by Staff and availed himself for questions.

Vice Chair Dayna Miller asked for clarification concerning the applicability of the exemption from the subdivision standards and the proposed lot split/reconfiguration, and if there is a known occupant for the buildings.

Daniel Young, P.E., LEED AP, responded to the questions.

Vice Chair Dayna Miller moved that based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the four (4) conditions provided in Exhibit "A" and located on page 19 of the February 14, 2017 Staff Report to the Planning & Zoning Board; seconded by Member Fred Hilton.

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Motion Passed 3-0 on a roll call vote.

III. BOARD COMMENTS/DISCUSSION

Planning & Community Development Director Kathy Winburn, AICP, stated that a Planning & Zoning Board Meeting will be held on March 14.

Member Fred Hilton asked if there may be a mechanism that could be implemented to permit administrative review of certain proposals to alter structures within the Historic Overlay District.

City Attorney Marian Rush responded to the question, and upon consultation with the Planning & Community Development Director it was stated that Staff can research if such a mechanism could be implemented.

IV. CITIZENS COMMENTS

None.

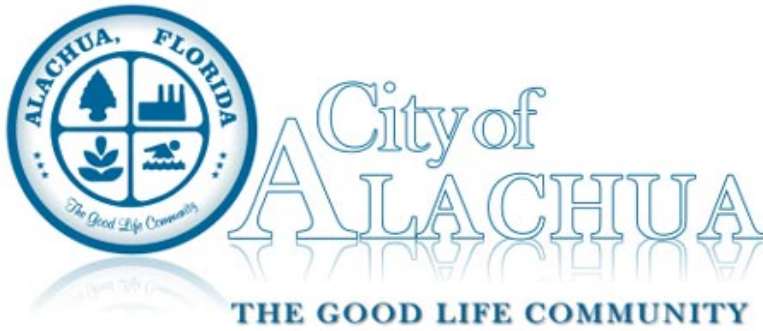
ADJOURN

ATTEST:

PLANNING AND ZONING BOARD OF THE
CITY OF ALACHUA, FLORIDA

Presiding Officer

Staff Liaison



Board/Committee Agenda Item

MEETING DATE: 3/14/2017

SUBJECT: Large Scale Comprehensive Plan Amendment: A request by Jamie Poulos, of Poulos & Bennett, LLC, applicant and agent, for RL REGI Florida, LLC, property owner, to amend the FLUM from Medium Density Residential to Moderate Density Residential on a ±35.82 acre subject property. Consisting of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006 (Legislative Hearing).

PREPARED BY: Justin Tabor, AICP, Principal Planner

RECOMMENDED ACTION:

Staff recommends that the Planning & Zoning Board transmit the proposed Large Scale Comprehensive Plan Amendment to the City Commission with a recommendation of approval, upon making the following motion:

Based upon the presentation before this Board and Staff's recommendation, this Board finds the application for a Large Scale Comprehensive Plan Amendment to be consistent with the City of Alachua Comprehensive Plan and transmits the application to the City Commission, with a recommendation to approve.

Summary

The proposed Large Scale Comprehensive Plan Amendment (LSCPA) is a request by Jamie Poulos, of Poulos & Bennett, LLC, applicant and agent for RL REGI Florida, LLC, property owner, for the consideration of a Large Scale Comprehensive Plan Amendment (LSCPA) to the City of Alachua Future Land Use Map (FLUM), to amend the FLUM of the subject property from Medium Density Residential (4 – 8 units per acre) to Moderate Density Residential (0 – 4 units per acre). The subject property is comprised of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006, and is approximately 35.82 acres in size.

The subject property is located west of NW 173rd Street (also known as County Road 235A), approximately 1,000 feet south of the intersection of NW US Highway 441 and NW 173rd Street. The subject property is currently undeveloped, except for one dilapidated barn on site.

The subject property presently has a Medium Density Residential FLUM Designation. The proposed amendment would change the FLUM Designation to Moderate Density Residential, which permits residential development at a density lower than the density permitted by the current FLUM Designation. The Medium Density Residential FLUM Designation permits a density of 4 – 8 dwelling units per acre (a maximum of 286 dwelling units for the subject property); the Moderate Density Residential permits a density of 0 – 4 dwellings per acre (a maximum of 143 dwelling units for the subject property).

Policy 1.2.a of the Future Land Use Element establishes the Moderate Density Residential land use category, and states that this category allows residential development at a maximum density of 4 dwelling units per acre. The following uses are examples of uses permitted within the Moderate Density Residential land use category: single family, conventional dwelling units; accessory dwelling units; residential planned developments; and supporting community services, such as schools, houses of worship, parks, and community centers.

and community centers.

ATTACHMENTS:

- | | Description |
|---|--|
| ▢ | Staff Report |
| ▢ | Exhibit A- Staff Supporting Materials |
| ▢ | Application and Supporting Attachments |
| ▢ | Ordinance 17-08 (Draft) |
| ▢ | 3/14/2017 PZB Public Notice Materials |



City of Alachua

Planning & Community Development Department Staff Report

Planning & Zoning Board Hearing Date: Legislative Hearing

March 14, 2017

SUBJECT: A request to amend the Future Land Use Map (FLUM) Designation from Medium Density Residential to Moderate Density Residential on a ±35.82 acre subject property.

APPLICANT/AGENT: Jamie Poulos, Poulos & Bennett, LLC.

PROPERTY OWNER: RL REGI Florida, LLC

LOCATION: Approximately 1,000 feet south of the intersection of NW US Highway 441 and NW 173rd Street (CR 235A)

PARCEL ID NUMBER(S): 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006

ACREAGE: ±35.82

PROJECT PLANNER: Justin Tabor, AICP

RECOMMENDATION: Staff recommends that the Planning & Zoning Board transmit the proposed Large Scale Comprehensive Plan Amendment to the City Commission with a recommendation of Approval.

RECOMMENDED MOTION: *Based upon the presentation before this Board and Staff's recommendation, this Board finds the application for a Large Scale Comprehensive Plan Amendment to be consistent with the City of Alachua Comprehensive Plan and transmits the application to the City Commission, with a recommendation to approve.*

SUMMARY

The proposed Large Scale Comprehensive Plan Amendment (LSCPA) is a request by Jamie Poulos, of Poulos & Bennett, LLC, applicant and agent for RL REGI Florida, LLC, property owner, for the consideration of a Large Scale Comprehensive Plan Amendment (LSCPA) to the City of Alachua Future Land Use Map (FLUM), to amend the FLUM of the subject property from Medium Density Residential (4 – 8 units per acre) to Moderate Density Residential (0 – 4 units per acre). The subject property is comprised of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006, and is approximately 35.82 acres in size. The subject property is located west of NW 173rd Street (also known as County Road 235A), approximately 1,000 feet south of the intersection of NW US Highway 441 and NW 173rd Street. The subject property is currently undeveloped, except for one dilapidated barn on site.

The subject property presently has a Medium Density Residential FLUM Designation. The proposed amendment would change the FLUM Designation to Moderate Density Residential, which permits residential development at a density lower than the density permitted by the current FLUM Designation. The Medium Density Residential FLUM Designation permits a density of 4 – 8 dwelling units per acre (a maximum of 286 dwelling units for the subject property); the Moderate Density Residential permits a density of 0 – 4 dwellings per acre (a maximum of 143 dwelling units for the subject property).

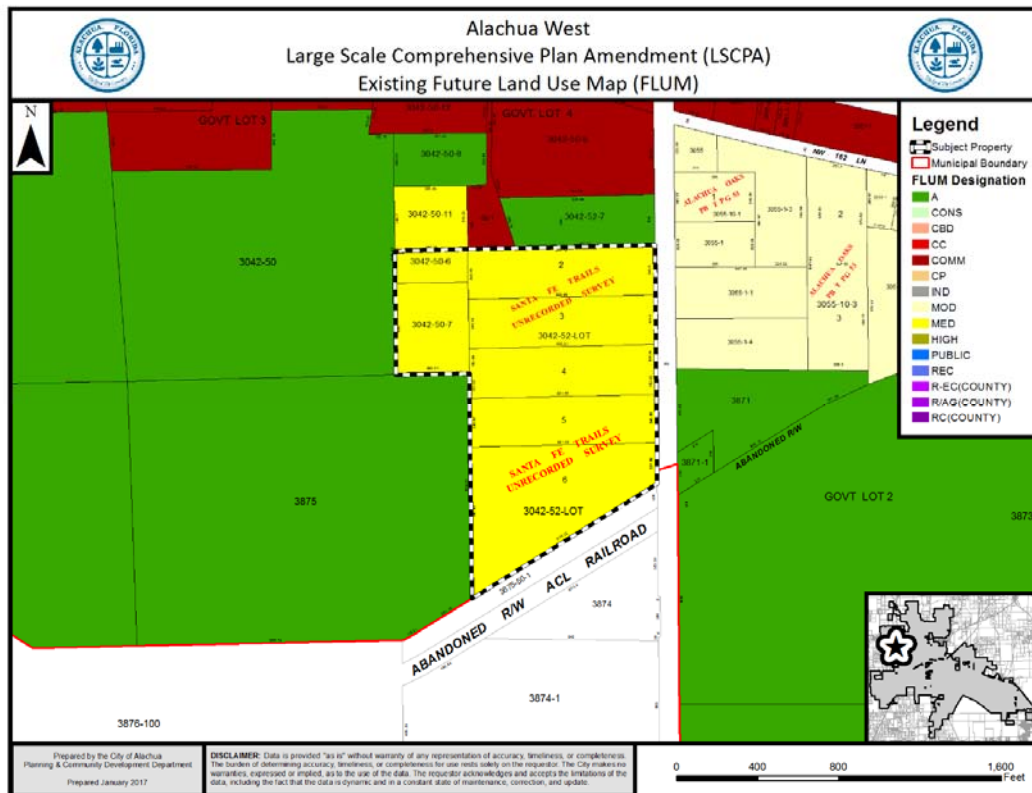
Policy 1.2.a of the Future Land Use Element establishes the Moderate Density Residential land use category, and states that this category allows residential development at a maximum density of 4 dwelling units per acre. The following uses are examples of uses permitted within the Moderate Density Residential land use category: single family, conventional dwelling units; accessory dwelling units; residential planned developments; and supporting community services, such as schools, houses of worship, parks, and community centers.

FLUM DESIGNATION COMPARISON

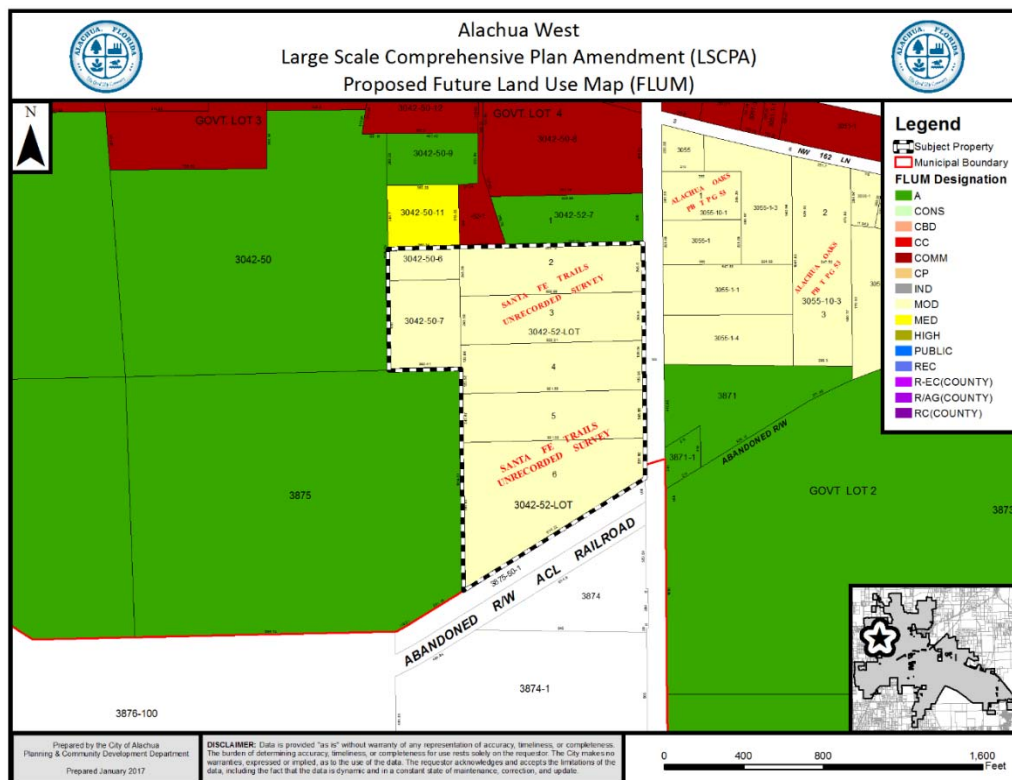
The matrix below provides an analysis of the maximum gross density, floor area ratio, and typical uses permitted within the existing and proposed Future Land Use Map (“FLUM”) Designations:

	Existing FLUM Designation	Proposed FLUM Designation
FLUM District:	Medium Density Residential	Moderate Density Residential
Max. Gross Density:	4 – 8 dwellings/acre 286 dwelling units	0 – 4 dwellings/acre 143 dwelling units
Floor Area Ratio:	N/A	N/A
Typical Uses*:	Single Family Dwelling Units (attached and detached), Accessory Dwelling Units, Manufactured Homes, Duplexes, Quadplexes, Apartments, Townhomes, Live/Work Units, Residential Planned Unit Developments, Traditional Mixed-Use Neighborhood Planned Developments, Supporting Community Services such as Schools, Parks, Houses of Worship	Single Family Dwelling Units, Accessory Dwelling Units, Manufactured Homes, Duplexes, Quadplexes, Townhomes, Residential Planned Unit Developments, Supporting Community Services such as Schools, Parks, Houses of Worship
* The typical uses identified do not reflect all uses permitted within the FLUM Designation. For a complete list, reference the Future Land Use Element of the Comprehensive Plan.		

Map 1. Future Land Use Map with Subject Property



Map 2. Proposed Amendment to the Future Land Use Map



Policy 1.2.b of the City of Alachua Comprehensive Plan Future Land Use Element (FLUE) establishes the Medium Density Residential FLUM Designation, and states the following:

Policy 1.2.b: *Medium density residential (4 to 8 dwelling units per acre): The medium density residential land use category allows residential development at a density of 4 dwelling units per acre to 8 dwelling units per acre, as well as small-scale neighborhood commercial and mixed use developments. The following uses are allowed in the medium density land use category:*

- 1. Single family, conventional dwelling units and single family, attached dwelling units;*
- 2. Accessory dwelling units;*
- 3. Manufactured or modular homes meeting certain design criteria;*
- 4. Mobile homes only within mobile home parks;*
- 5. Duplexes and quadplexes;*
- 6. Apartments and townhomes;*
- 7. Live/work units;*
- 8. Residential Planned Unit Developments;*
- 9. Traditional Mixed-use Neighborhood Planned Developments;*
- 10. Supporting community services, such as schools, houses of worship, parks, and community centers*

Policy 1.2.a of the City of Alachua Comprehensive Plan Future Land Use Element (FLUE) establishes the Moderate Density Residential FLUM Designation, and states the following:

Policy 1.2.a: *Moderate density residential (0 to 4 dwelling units per acre): The moderate density residential land use category allows residential development at a maximum density of 4 dwelling units per acre. The following uses are allowed in the moderate density residential land use category:*

- 1. Single family, conventional dwelling units;*
- 2. Accessory dwelling units;*
- 3. Manufactured or modular homes meeting certain design criteria*
- 4. Mobile homes only within mobile home parks;*
- 5. Duplexes and quadplexes;*
- 6. Townhomes;*
- 7. Residential Planned Developments;*
- 8. Supporting community services, such as schools, houses of worship, parks, and community centers*

EXISTING USES

The subject property is currently undeveloped, except for one dilapidated barn on site.

SURROUNDING USES

The subject property is located west of NW 173rd Street (also known as County Road 235A), approximately 1,000 feet south of the intersection of NW US Highway 441 and NW 173rd Street.

The existing uses, Future Land Use Map (“FLUM”) Designations, and zone districts of the surrounding area are identified in Table 1. Map 3 provides an overview of the vicinity of the subject property.

NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. It is not intended to be all-inclusive, and may not identify all existing uses, FLUM Designations, and/or zoning districts surrounding the subject property.

Map 3. Vicinity Map

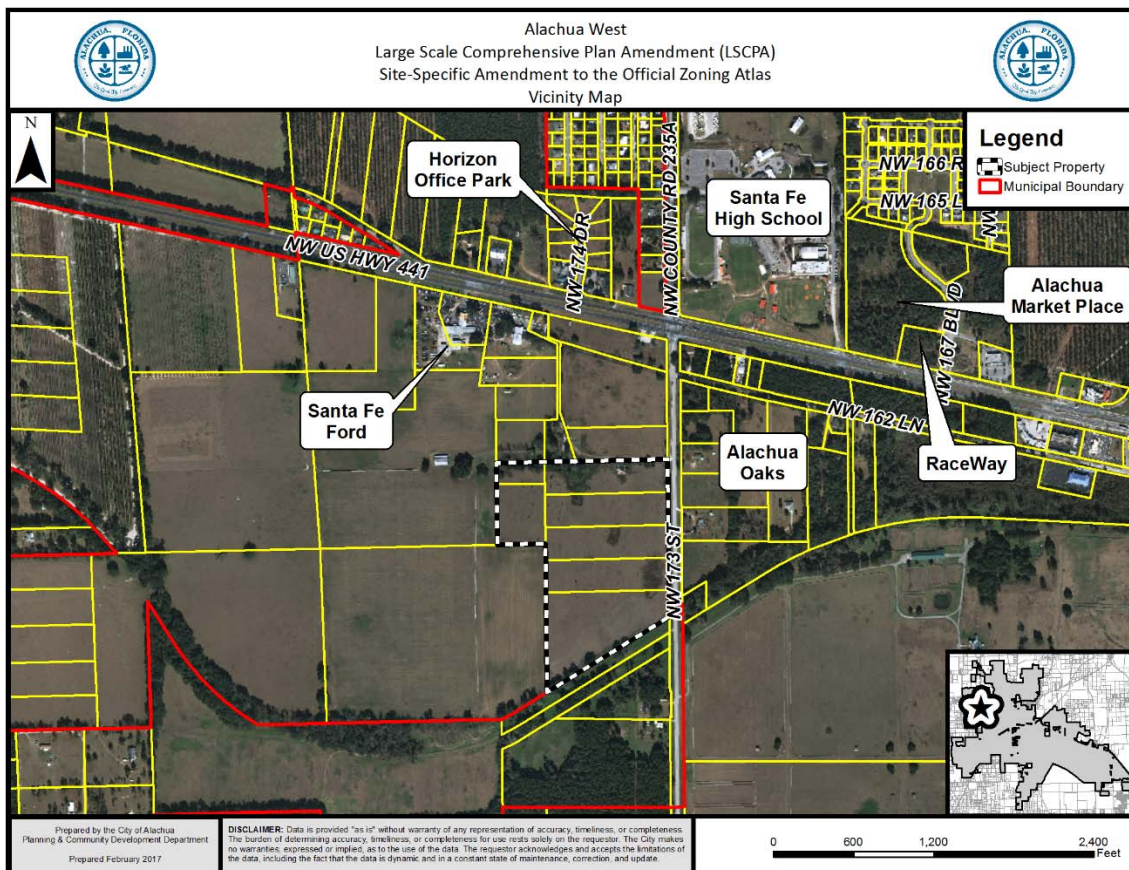


Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Vacant Lands	Agriculture; Commercial; Medium Density Residential	Agriculture (A); Commercial Intensive (CI)
South	Vacant Lands; Single Family Residence	Rural/Agriculture (County)	Agricultural (County)
West	Vacant Lands	Agriculture	Agriculture (A)
East	Vacant Lands; Single Family Residences	Agriculture; Moderate Density Residential	Agriculture (A); Residential Single Family – 1 (RSF-1)

Table 2. Parcels Subject to this Comprehensive Plan Amendment

Parcel No.	Existing Use(s)	Existing FLUM Designation	Proposed FLUM Designation	Acreage
03042-050-006	Vacant	Medium Density Residential	Moderate Density Residential	±1.33
03042-050-007	Vacant	Medium Density Residential	Moderate Density Residential	±3.72
03042-052-002	Vacant	Medium Density Residential	Moderate Density Residential	±5.2
03042-052-003	Vacant	Medium Density Residential	Moderate Density Residential	±5.2
03042-052-004	Vacant	Medium Density Residential	Moderate Density Residential	±5.2
03042-052-005	Vacant	Medium Density Residential	Moderate Density Residential	±5.15
03042-052-006	Vacant	Medium Density Residential	Moderate Density Residential	±10.01

NEEDS ANALYSIS

Per Chapter 163.3177, Florida Statutes, need shall be based upon the amount of land designated for future uses and shall:

- 1) Provide a balance of uses that foster vibrant, viable communities and economic opportunities and address outdated development patterns, such as antiquated subdivisions; and,
- 2) Allow the operation of real estate markets to provide adequate choices for residents and business, with the amount of land designated for future use not limited solely by the projected population. The minimum amount of land use required to accommodate at least a 10-year planning period must be included in the comprehensive plan.

The applicant cites the Growth Trends Analysis performed by the City in September 2016, which estimates the population of the City will increase by 5,528 people from 2015 to 2025. Using an average number of persons per household of 2.6 persons (2010 US Census, US Census Bureau) for the City of Alachua, this population growth would demand 2,126 new

housing units. The applicant also cites expanding growth within the nonresidential sector, including the biotechnology industry and new employment centers, as creating a demand for residential development which could be accommodated by the proposed amendment.

URBAN SPRAWL ANALYSIS

Section 163.3177, Florida Statutes, requires that any amendment to the Future Land Use Element to discourage the proliferation of urban sprawl. Section 163.3177(6)(a)9.a., Florida Statutes, identifies 13 primary urban sprawl indicators and states that, “[t]he evaluation of the presence of these indicators shall consist of an analysis of the plan or plan amendment within the context of features and characteristics unique to each locality...”

An evaluation of each primary indicator is provided below.

- (I) Promotes, allows, or designates for development substantial areas of the jurisdiction to develop as low-intensity, low-density, or single-use development or uses.

Evaluation & Findings: The subject property is presently designated for residential use. The proposed amendment would change the FLUM Designation of the property from Medium Density Residential to Moderate Density Residential, which permits residential development at a density of 0 – 4 dwellings per acre.

- (II) Promotes, allows, or designates significant amounts of urban development to occur in rural areas at substantial distances from existing urban areas while not using undeveloped lands that are available and suitable for development.

Evaluation & Findings: The subject property is located approximately 1,000 feet of the intersection of NW US Highway 441 and NW 173rd Street (CR 235A), and is within one (1) mile of the US 441/I-75 interchange. Residential development exists along NW 173rd Street to the east of the subject property, and areas proximate to the site along NW US Highway 441 and along NW 173rd Street to the south of the subject property are developed.

- (III) Promotes, allows, or designates urban development in radial, strip, isolated, or ribbon patterns generally emanating from existing urban developments.

Evaluation & Findings: The subject property is located between developed areas of the City and presently has a FLUM Designation that permits residential uses.

- (IV) Fails to adequately protect and conserve natural resources, such as wetlands, floodplains, native vegetation, environmentally sensitive areas, natural groundwater aquifer recharge areas, lakes, rivers, shorelines, beaches, bays, estuarine systems, and other significant natural systems.

Evaluation & Findings: The applicant has provided an environmental assessment of the site, entitled “Listed Species and Habitat Study”, prepared by McAlpine Environmental Consulting, Inc., dated December 2016. The report identified one (1) active and two (2) or three (3) potentially occupied gopher tortoise burrows within

the subject property. The gopher tortoise (*Gopherus polyphemus*) is listed by the Florida Fish and Wildlife Commission (FWC) as threatened. The report recommends that within approximately 60 days of beginning construction of the project that the gopher tortoise survey be updated and a permit be obtained from the FWC to relocate the tortoises offsite.

With the exception of the preceding, there are no other concerns pertaining to natural resources. Prior to any construction activity occurring on site, the applicant will be required to confirm if any protected species exist on site and to obtain applicable permits from regulatory agencies for any relocation of protected species found on site.

- (V) Fails to adequately protect adjacent agricultural areas and activities, including silviculture, active agricultural and silvicultural activities, passive agricultural activities, and dormant, unique, and prime farmlands and soils.

Evaluation & Findings: The subject property presently has a Medium Density Residential FLUM Designation. The proposed amendment would change the FLUM Designation to Moderate Density Residential, which permits residential development at a density lower than the density permitted by the current FLUM Designation. The reduction in permitted density would lessen the potential impacts any development of the subject property may cause to surrounding agricultural areas.

- (VI) Fails to maximize use of existing public facilities and services.

Evaluation & Findings: Existing water and wastewater infrastructure are located along NW 173rd Street (CR 235A).

- (VII) Fails to maximize use of future public facilities and services.

Evaluation & Findings: Existing water and wastewater infrastructure are located along NW 173rd Street (CR 235A). Any development of the subject property will be required by the City's Comprehensive Plan to connect to potable water and wastewater services.

- (VIII) Allows for land use patterns or timing which disproportionately increase the cost in time, money, and energy of providing and maintaining facilities and services, including roads, potable water, sanitary sewer, stormwater management, law enforcement, education, health care, fire and emergency response, and general government.

Evaluation & Findings: The subject property is located proximate to existing residential development and other developed areas along NW US Highway 441 and NW 173rd Street (CR 235A). Utility services and lines, including service and lines for water, wastewater, and electric, are located proximate to the subject property.

- (IX) Fails to provide a clear separation between rural and urban uses.

Evaluation & Findings: The proposed amendment would result in a reduction in residential density permitted on the subject property, thereby increasing compatibility of its development with surrounding agricultural uses.

- (X) Discourages or inhibits infill development or the redevelopment of existing neighborhoods and communities.

Evaluation & Findings: The subject property is located along NW 173rd Street proximate to existing residential development, and is located near developed areas near the US 441-I-75 interchange and surrounding area to the west of the interchange. The subject property is located north of the Dollar General, Sysco, and Wal-Mart distribution centers and other lower-density residential uses.

- (XI) Fails to encourage a functional mix of uses.

Evaluation & Findings: The subject property is surrounded by a mix of commercial and residential uses.

- (XII) Results in poor accessibility among linked or related land uses.

Evaluation & Findings: The subject property fronts NW 173rd Street (CR 235A), which is classified as a collector road by the City's Comprehensive Plan. NW 173rd Street intersects with NW US Highway 441 approximately 1,000 feet north of the subject property, providing access between the subject property and nearby commercial areas.

- (XIII) Results in the loss of significant amounts of functional open space.

Evaluation & Findings: The subject property is currently designated for residential uses. Any development of the property will be required to provide open space in accordance with the requirements of the City's Land Development Regulations (LDRs).

In addition to the preceding urban sprawl indicators, Section 163.3177 also establishes eight (8) "Urban Form" criteria. An amendment to the Future Land Use Map is presumed to not be considered urban sprawl if it meets four (4) of the (8) urban form criteria. These urban form criteria, and an evaluation of each as each may relate to this application, are provided below. The applicant has provided an analysis of the application's consistency with Section 163.3177 within the application materials, and contends that the proposed amendment will not encourage urban sprawl by showing it meets four of the eight urban form criteria.

1. Directs or locates economic growth and associated land development to geographic areas of the community in a manner that does not have an adverse impact on and protects natural resources and ecosystems.

Evaluation & Findings: According to the best available data, the subject property is located with Flood Zone “X” (Areas outside the 500-year flood). The National Wetlands Inventory indicates wetlands are not present on the subject property. The subject property does not appear to contain sink holes or pits and spoils areas. The applicant has provided an environmental assessment of the site, entitled “Listed Species and Habitat Study”, prepared by McAlpine Environmental Consulting, Inc., dated December 2016. The report identified one (1) active and two (2) or three (3) potentially occupied gopher tortoise burrows within the subject property. The gopher tortoise (*Gopherus polyphemus*) is listed by the Florida Fish and Wildlife Commission (FWC) as threatened. The report recommends that within approximately 60 days of beginning construction of the project that the gopher tortoise survey be updated and a permit be obtained from the FWC to relocate the tortoises offsite.

If any environmentally sensitive lands are found prior to the development of the site, applicable protection standards must be followed for any development within those environmentally sensitive lands. Prior to any construction activity occurring on site, the applicant will be required to confirm if any protected species exist on site and to obtain applicable permits from regulatory agencies for any relocation of protected species found on site.

2. Promotes the efficient and cost-effective provision or extension of public infrastructure and services.

Evaluation & Findings: The subject property is located proximate to existing public facilities. Any development that may occur on the subject property will be required to connect to City Potable Water and Sanitary Sewer at the time of development. In addition, the subject property fronts NW 173rd Street (CR 235A), which is classified as a collector road by the City’s Comprehensive Plan. The adoption of the proposed amendment would not create undue cost to the City in the extension of City infrastructure and/or services.

3. Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that will support a range of housing choices and a multimodal transportation system, including pedestrian, bicycle, and transit, if available.

Evaluation & Findings: The proposed amendment would provide for residential development opportunities near employment centers in an area of the City where limited opportunities presently exist.

4. Promotes conservation of water and energy.

Comment: The proposed amendment would result in a reduction of the number of residential dwellings permitted on the subject property, thereby resulting in a potential reduction in the impact the development of the property would cause to water and energy resources. The City of Alachua has applicable standards in the Housing Element, Community Facilities and Natural Groundwater Aquifer Recharge Element, and Conservation and Open Space Element that will promote the conservation of water and energy resources. Further,

applicable protection and conservation standards for water and energy are established within the City of Alachua Land Development Regulations (LDRs).

5. Preserves agricultural areas and activities, including silviculture, and dormant, unique, and prime farmlands and soils.

Evaluation & Findings: *No current agricultural activities take place on the property.*

6. Preserves open space and natural lands and provides for public open space and recreation needs.

Evaluation & Findings: *The proposed amendment would not result in the loss of functional open space nor would it result in the functional loss of recreational space. The applicable protection standards set forth in the Conservation and Open Space Element of the Comprehensive Plan for natural lands and open space requirements will further preserve open space and natural lands and provide for public open space and recreational areas.*

7. Creates a balance of land uses based upon demands of the residential population for the nonresidential needs of an area.

Evaluation & Findings: *The City of Alachua population is growing and will require adequate housing opportunities to accommodate the increased population. The proposed amendment would provide for additional residential lands in an area of the City where limited residential lands presently exist, located proximate to existing commercial and industrial development.*

8. Provides uses, densities, and intensities of use and urban form that would remediate an existing or planned development pattern in the vicinity that constitutes sprawl or if it provides for an innovative development pattern such as transit-oriented developments or new towns as defined in s. 163.3164.

Evaluation & Findings: *The proposed amendment would result in a reduction of the permitted residential density of the subject property, reducing potential impacts of any development of the subject property to surrounding agricultural uses. The application does not constitute transit-oriented development or a new town.*

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The applicant proposes to amend the FLUM Designation from Medium Density Residential to Moderate Density Residential on the subject property. The following Comprehensive Plan Elements have Goals, Objectives, and Policies (GOPs) that support the proposed amendment to the Future Land Use Map of the City of Alachua's Comprehensive Plan:

- Future Land Use Element
- Transportation Element
- Housing Element

- Recreation Element
- Community Facilities Natural Groundwater Aquifer Recharge Element
- Conservation and Open Space Element

The applicant has provided an analysis of the proposed amendment's consistency with the Comprehensive Plan. Based upon the applicant's Comprehensive Plan Consistency Analysis and information presented below, staff finds the application consistent with the Comprehensive Plan and the Goals, Objectives, and Policies (GOPs) therein.

Future Land Use Element

Objective 1.2: Residential

The City of Alachua shall establish three Residential land use categories to ensure an orderly urban growth pattern that makes the best use of available lands for residential development.

Policy 1.2.a: Moderate density residential (0 to 4 dwelling units per acre): The moderate density residential land use category allows residential development at a maximum density of 4 dwelling units per acre. The following uses are allowed in the moderate density residential land use category:

1. Single family, conventional dwelling units;
2. Accessory dwelling units;
3. Manufactured or modular homes meeting certain design criteria
4. Mobile homes only within mobile home parks;
5. Duplexes and quadplexes;
6. Townhomes;
7. Residential Planned Developments;
8. Supporting community services, such as schools, houses of worship, parks, and community centers

Analysis of Consistency with Objective 1.2, and Policy 1.2.a: The proposed amendment would result in a reduction of the maximum permitted density of the subject property (from 286 dwelling units to 143 dwelling units). Development at a lower density than presently permitted on the subject property furthers compatibility with existing surrounding agricultural uses and lower-density residential uses.

Objective 5.1: Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Policy 5.1.a: Topography: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new

development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

- Policy 5.1.b: Soils: The City shall ensure soil protection and intervention measures are included in the development review process.
- Policy 5.1.c: Flood prone areas: The City shall require as part of the development review process the identification of FEMA flood zone areas. Where necessary, base flood elevations and minimum finished floor elevations shall be established. The City shall also require finished floor elevations on subdivision plats, site plans and building permit plans when necessary to determine compliance with flood prone area regulations. The City shall establish standards for a limitation on filling in flood prone areas.
- Policy 5.1.d: Wetlands: The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.
- Policy 5.1.e: Habitat: The City shall require as part of the development review process, an inventory of listed species for all new developments in areas identified as known habitat for listed species if listed species are known to exist in close proximity to the development. The survey shall include detailed information regarding type, quantity, location, and habitat requirements for any listed species identified. A de minimus threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Analysis of Consistency with Objective 5.1 and Policies 5.1.a – e: The applicant has provided an environmental assessment of the site, entitled "Listed Species and Habitat Study", prepared by McAlpine Environmental Consulting, Inc., dated December 2016. The report identified one (1) active and two (2) or three (3) potentially occupied gopher tortoise burrows within the subject property. The gopher tortoise (*Gopherus polyphemus*) is listed by the Florida Fish and Wildlife Commission (FWC) as threatened. The report recommends that within approximately 60 days of beginning construction of the project that the gopher tortoise survey be updated and a permit be obtained from the FWC to relocate the tortoises offsite.

With the exception of the preceding, there are no other concerns pertaining to natural resources. Prior to any construction activity occurring on site, the applicant will be required to confirm if any protected species exist on site and to obtain applicable permits from regulatory agencies for any relocation of protected species found on site.

An environmental conditions and site suitability analysis has been provided separately in this report. Future development of the site must comply with the environmental protections established in the City of Alachua Comprehensive Plan and Land Development Regulations.

Objective 5.2: Availability of facilities and services: All new development shall be planned and constructed concurrently with the availability of facilities and services necessary for the development.

Analysis of Consistency with Objective 5.2: The subject property is located within the City's potable water and wastewater service areas, as defined in Policies 1.2.a and 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the Comprehensive Plan, and will be required to connect to the City of Alachua's potable water and wastewater system.

GOAL 9: Water and Wastewater Service:

The City will ensure that new development within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Policy 9.2: Any new residential subdivision within the corporate limits, where potable water service is available, as defined in Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, regardless of size, that is within either a Residential or Agriculture Future Land Use Map Designation shall connect to the City of Alachua's potable water system. Any new residential subdivision within the corporate limits, where wastewater service is available, as defined in Policy 1.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, regardless of size, that is within a Residential Future Land Use Map Designation shall connect to the City of Alachua's wastewater system.

Analysis of Consistency with Goal 9 and Policy 9.2: The subject property is within the potable water and wastewater service area. Any development of the subject property will be required to connect to the potable water and wastewater systems at the time of development.

Housing Element

Policy 1.1.a: The City shall encourage development of a variety of housing types including conventional single family homes, accessory dwelling units, multi-family units, group homes, assisted living facilities, foster care facilities, mobile homes and manufactured housing, and shall ensure that appropriate land use designations and zoning districts exist to accommodate each type.

Analysis of Consistency with Policy 1.1.a: This project would support additional housing within the City, thereby furthering Policy 1.1.a.

Recreation Element

Policy 1.2.b: The City shall adhere to a minimum level of service of five (5.0) acres of community, neighborhood or pocket park, per 1,000 persons, with a minimum of 20 percent of this in improved, passive parks.

Analysis of Consistency with Policy 1.2.b: An analysis of the impacts to recreation facilities has been provided within this report. The proposed amendment would result in a net reduction in the permitted density of the subject property, thereby reducing impacts to recreational facilities.

Transportation Element

Objective 1.1: Level of Service: The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

Analysis of Consistency with Objective 1.1: An analysis of the impacts to transportation facilities has been provided within this report. The proposed amendment would result in a net reduction in the permitted density of the subject property, thereby reducing impacts to transportation facilities.

Community Facilities & Natural Groundwater Aquifer Recharge Element

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

1. A gravity wastewater system, wastewater pumping station, or force main exists within $\frac{1}{4}$ mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Analysis of Consistency with Policy 1.2.a: The subject property is located within the wastewater service area, and any future development on the subject property will be required to connect to the wastewater system.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:

<u>FACILITY TYPE</u>	<u>LEVEL OF SERVICE STANDARD</u>
Solid Waste Landfill	.73 tons per capita per year

Analysis of Consistency with Objective 2.1.a: An analysis of the impacts to solid waste facilities has been provided within this report. The proposed amendment would result in a net reduction in the permitted density of the subject property, thereby reducing impacts to solid waste facilities.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

1. A water main exists within $\frac{1}{4}$ mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Analysis of Consistency with Policy 4.1.b: The subject property is located within the potable water service area, and any future development on the subject property will be required to connect to the potable water system.

Conservation and Open Space Element

OBJECTIVE 1.3: Listed Species

The City shall protect species listed by State and Federal agencies as endangered, threatened or of special concern, and their habitats.

Policy 1.3.a: The City shall ensure that its ordinances, regulations and policies protect listed species and their habitats.

Policy 1.3.b: The City shall utilize the development review process, land acquisition programs, environmental regulatory partnerships, stewardship programs and public education to protect listed species and their habitat, and prevent extinction of or reduction in populations of listed species.

Policy 1.3.c: The City shall obtain data from the Florida Fish and Wildlife Conservation Commission, Alachua County Environmental Protection Department, Florida Department of Environmental Protection, to maintain a periodically updated inventory of listed species and habitats located within City limits or immediately adjacent to City limits. The City will use the Florida Natural Areas Inventory as a base inventory.

Policy 1.3.d: The City shall require prior to development approval, an inventory of listed species for all new developments in areas identified as known habitat for listed species. The inventory shall include detailed information regarding type, quantity, location and habitat

requirements for any listed species identified. De minimus threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Policy 1.3.e: The City's land use designations shall provide for the protection of threatened and endangered species.

Analysis of Consistency with Objective 1.3 and Policies 1.3.a - e: The applicant has provided an environmental assessment of the site, entitled "Listed Species and Habitat Study", prepared by McAlpine Environmental Consulting, Inc., dated December 2016. The report identified one (1) active and two (2) or three (3) potentially occupied gopher tortoise burrows within the subject property. The gopher tortoise (*Gopherus polyphemus*) is listed by the Florida Fish and Wildlife Commission (FWC) as threatened. The report recommends that within approximately 60 days of beginning construction of the project that the gopher tortoise survey be updated and a permit be obtained from the FWC to relocate the tortoises offsite.

With the exception of the preceding, there are no other concerns pertaining to natural resources. Prior to any construction activity occurring on site, the applicant will be required to confirm if any protected species exist on site and to obtain applicable permits from regulatory agencies for any relocation of protected species found on site.

An environmental conditions and site suitability analysis has been provided separately in this report. Future development of the site must comply with the environmental protections established in the City of Alachua Comprehensive Plan and Land Development Regulations.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to National Wetlands Inventory, no potential wetlands are located on the subject property. Any wetlands identified must be delineated and protected in accordance with the applicable protection standards.

Evaluation: No wetlands have been identified on subject property. If wetlands are identified on subject property at a later time, the applicable standards in the City's Comprehensive Plan, Land Development Regulations, and Suwannee River Water Management District (SRWMD) regulations would apply to those areas identified as wetlands; therefore, there are no issues related to wetland protection.

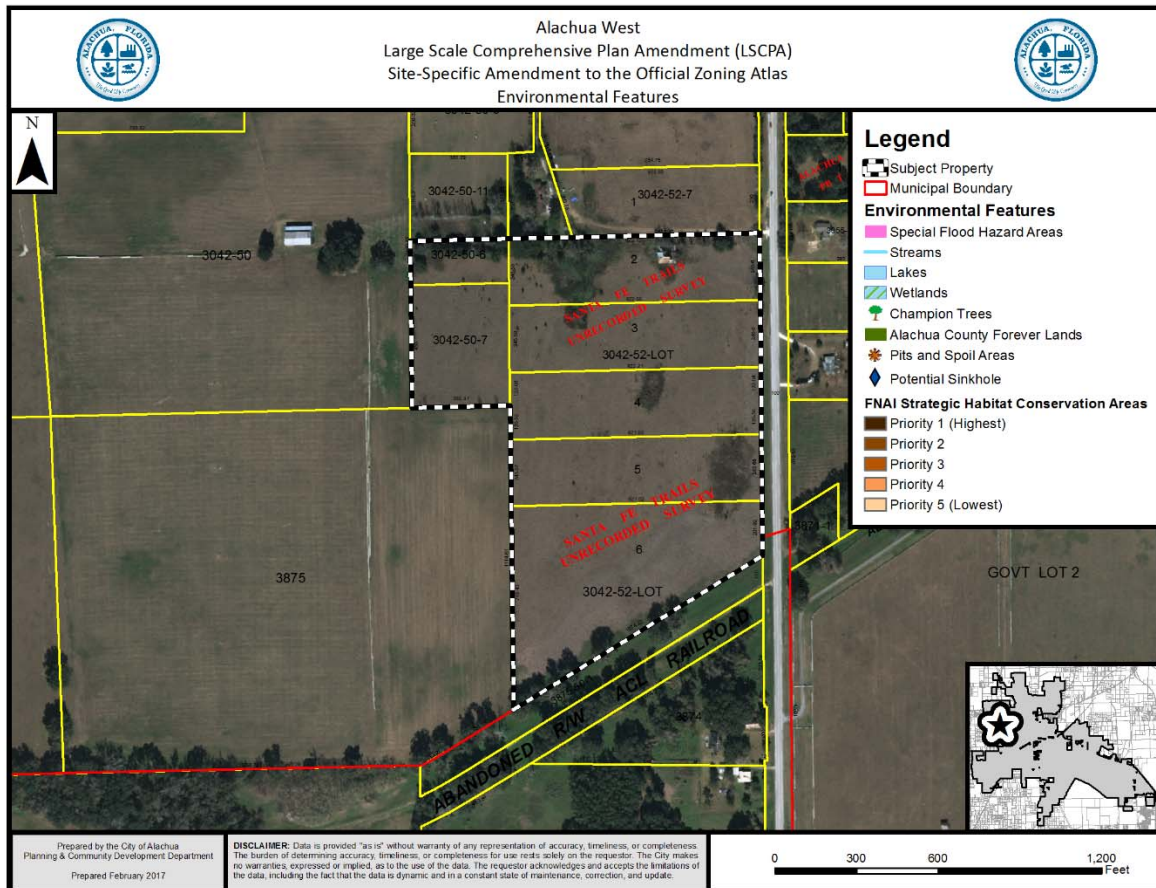
Strategic Ecosystems

Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1996. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the

most significant natural biological communities in private ownership in Alachua County.

Evaluation: The subject property is not located within or adjacent to a Strategic Ecosystem, therefore, the development will have no impact upon any Strategic Ecosystem(s) identified within the ecological inventory report.

Map 4. Environmental Features



Regulated Plant & Animal Species

The applicant has provided an environmental assessment of the site, entitled "Listed Species and Habitat Study", prepared by McAlpine Environmental Consulting, Inc., dated December 2016. The report identified one (1) active and two (2) or three (3) potentially occupied gopher tortoise burrows within the subject property. The gopher tortoise (*Gopherus polyphemus*) is listed by the Florida Fish and Wildlife Commission (FWC) as threatened. The report recommends that within approximately 60 days of beginning construction of the project that the gopher tortoise survey be updated and a permit be obtained from the FWC to relocate the tortoises offsite.

Evaluation: With the exception of the preceding, there are no other concerns pertaining to natural resources. Prior to any construction activity occurring on site, the applicant will be required to confirm if any protected species exist on site and to obtain applicable permits from regulatory agencies for any relocation of protected species found on site.

Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff). There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

There are four (4) soil types found on the subject property:

Arredondo Fine Sand (0-5% slopes)

Hydrologic Group: A

This soil is well drained with slow surface runoff and rapid permeability. This soil poses only slight limitations for dwellings and local roads.

Arredondo Fine Sand (5% – 8% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and local roads and moderate limitations for small commercial buildings.

Fort Meade Fine Sand (0% – 5% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is surface runoff is slow. This soil type poses only slight limitations as sites for homes and local roads.

Norfolk Loamy Fine Sand (5-8% slopes)

Hydrologic Soil Group: B

This soil type is well drained with rapid surface runoff and rapid permeability. This soil poses only slight limitations for dwellings and local roads.

Evaluation: The soil types located within the subject property do not pose any significant limitations for development. Therefore, there are no issues related to soil suitability. Any future development would require that any soil limitations be addressed at the time of development.

Flood Potential

Panels 0120D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006, indicates that the subject property contains areas with Flood Zone "X" designations (areas determined to be outside of the 500-year floodplain).

Evaluation: The subject property is located in Flood Zone "X" (areas determined to be outside of the 500-year floodplain. Therefore, there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations. The subject property is located within an area where sinkholes may potentially allow hydrologic access to the Floridan Aquifer System, however, best available data indicates that no sinkholes or known indicators of sinkhole activity are located on the subject property.

Evaluation: There are no geologic features located on the subject property which indicate an increased potential for karst sensitivity.

Wellfield Protection Zone

Policy 7.2.1 of the Future Land Use Element of the Comprehensive Plan establishes a 500 foot radial buffer around city-owned potable water well.

Evaluation: The subject property is not located within a City of Alachua wellhead protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the Comprehensive Plan, therefore, there are no issues related to wellfield protection.

Historic Structures and Markers

The subject property does not contain any historic structures or markers as determined by the State of Florida and the Alachua County Historic Resources Inventory.

Evaluation: There are no issues related to historic markers or structures.

PUBLIC FACILITIES IMPACT

The existing maximum development potential and proposed maximum development potential is provided within the following matrix:

	Existing FLUM Designation	Proposed FLUM Designation
FLUM Designation:	Medium Density Residential	Moderate Density Residential
Max. Gross Density:	4 – 8 dwelling units/acre	0 – 4 dwelling units/acre
Floor Area Ratio:	N/A	N/A
Maximum Density	286 dwelling units	143 dwelling units

The analysis of each public facility provided below represents an analysis of the net change in impacts generated by the proposed FLUM Designation. Existing and proposed impacts are based upon the maximum development potential.

At present, the total impacts generated by the amendment are acceptable and are not anticipated to degrade the Level of Service (LOS) of any public facility. If development is proposed in the future, the applicant will be required to provide a comprehensive analysis of the impacts generated by such development upon public facilities. Facility capacity must be available to support the proposed development prior to the issuance of a final development order.

Traffic Impact

Table 3. Affected Comprehensive Plan Roadway Segments¹

Segment Number ^{2, 3}	Segment Description	Lanes	Functional Classification	Area Type	LOS
NA	CR 235A South (CR 235A South of US 441)	2U	County Maintained Major Collector	N/A	D
5 (107/1407)	US 441 (from SR 235 to North City Limits)	4/D	Principle Arterial	Urban Trans	D

¹ Source: City of Alachua Comprehensive Plan, Traffic Circulation Element.
² For developments generating 1,000 trips or greater, affected roadway segments are identified as all those wholly or partially located within ½ mile of the development's ingress/egress, or to the nearest intersecting major street, whichever is greater, and all roadway segments for which the proposed development's impacts are 5% or greater on the Maximum Service Volume (MSV) of the roadway [Section 2.4.14(H)(2)(b) of the LDRs].
³ FDOT roadway segment number shown in parenthesis. For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 4. Potential Trip Generation¹

	Land Use	AADT (Enter/Exit)	AM Peak Hour (Enter/Exit)	PM Peak Hour (Enter/Exit)
Existing FLUM Designation	Residential Condominium/Town homes ² (ITE Code 230)	1,662 (831/831)	126 (21/105)	149 (100/49)
Proposed FLUM Designation	Single-Family Detached Housing ³ (ITE Code 220)	1,361 (680/681)	107 (27/80)	143 (67/76)
Net Reduction in Potential Trips		-302 (-151/-150)	-19 (6/-25)	-6 (-33/27)

¹ Source: ITE Trip Generation, 9th Edition.
² Formulas: AADT – 5.81 trips per dwelling unit x 286 dwelling units (50% entering/50% exiting); AM Peak Hour – 0.44 trips per dwelling unit x 286 dwelling units (17% entering/83% exiting); PM Peak Hour – 0.52 trips per dwelling unit x 286 dwelling units (67% entering/33% exiting).
³ Formulas: AADT – 9.52 trips per dwelling unit x 143 dwelling units (50% entering/50% exiting); AM Peak Hour – 0.75 trips per dwelling unit x 143 dwelling units (25% entering/75% exiting); PM Peak Hour – 1.00 trips per dwelling unit x 143 dwelling units (63% entering/37% exiting).

Table 5. Potential Impact on Affected Comprehensive Plan Roadway Segments

Traffic System Category	CR 235A South (South of US 441) ¹	US 441 Segment 5 (107/1407) ¹
Maximum Service Volume ²	14,580	35,500
Existing Traffic ³	3,780	24,411
Reserved Trips ⁴	102	2,260
Available Capacity ⁴	10,698	8,829
Potential Impact Generated by Proposed FLUM Designation	1,361	1,361
Residual Capacity after Proposed Amendment⁵	9,337	7,468
PM Peak Hour Traffic Analysis	CR 235A South (South of US 441) ¹	US 441 Segment 5 (107/1407) ¹
Maximum Service Volume ²	1,314	3,200
Existing Traffic ³	359	2,319
Reserved Trips ⁴	11	214
Available Capacity ⁴	944	667
Potential Impact Generated by Proposed FLUM Designation	143	143
Residual Capacity after Proposed Amendment⁵	801	524

¹ FDOT roadway segment number shown in parenthesis. For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.
² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas.
³ Florida State Highway System Level of Service Report 2015, Florida Department of Transportation, District Two (published September 2016).
⁴ Source: City of Alachua February 2017 Development Monitoring Report.
⁵ The application is for a Preliminary Development Order. Facility capacity and concurrency will not be reserved.

Evaluation: As shown in Table 4, the maximum potential trips would be decreased by approximately 302 average daily trips and by 6 PM peak hour trips. It is anticipated that the proposed amendment will not adversely affect the Level of Service (“LOS”) for the affected roadway segments, and the potential impact of 143 single-family residential dwellings is therefore acceptable. This analysis is based on the maximum development potential of 143 single-family residential dwellings. Concurrency and impacts to the City’s transportation network will be reevaluated at the preliminary plat review stage.

Potable Water Impacts

Table 6. Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity*	2,300,000
Less Actual Potable Water Flows*	1,190,000
Reserved Capacity*	139,670
Potential Potable Water Demand from Proposed Amendment **	39,325
Residual Capacity	931,005
Percentage of Permitted Design Capacity Utilized	59.52%
<i>Sources:</i> * City of Alachua February 2017 Development Monitoring Report **City of Alachua Comprehensive Plan Potable Water Level of Service of 275 gallons/du/ day	

Evaluation: The proposed amendment would reduce the maximum potential demand from the development of the subject property from 78,650 gallons per day to 39,325 gallons per day. This analysis is based on the maximum development potential of 143 single-family residential dwellings that would be permitted by the proposed FLUM Designation. Concurrency and impacts to the City's utility systems will be reevaluated at the preliminary plat review stage. It is anticipated that the proposed amendment will not adversely affect the Level of Service ("LOS") for potable water facilities, and the impacts are therefore acceptable.

Sanitary Sewer Impacts

Table 7. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity*	1,500,000
Less Actual Treatment Plant Flows*	615,000
Reserved Capacity*	100,080
Projected Potential Wastewater Demand from Proposed Amendment **	35,750
Residual Capacity	749,170
Percentage of Permitted Design Capacity Utilized	50.06%
<i>Sources:</i> * City of Alachua February 2017 Development Monitoring Report **City of Alachua Comprehensive Plan Potable Water Level of Service of 250 gallons/du/ day	

Evaluation: The proposed amendment would reduce the maximum potential demand from the development of the subject property from 71,500 gallons per day to 35,750 gallons per day. This analysis is based on the maximum development potential of 143 single-family residential dwellings that would be permitted by the proposed FLUM Designation. Concurrency and impacts to the City's utility systems will be reevaluated at the preliminary plat review stage. It is anticipated that the proposed amendment will not adversely affect the Level of Service ("LOS") for sanitary sewer facilities, and the impacts are therefore acceptable.

Recreational Impacts

Table 8a. Recreational Impacts

System Category	Acreage
Existing City of Alachua Recreation Acreage ¹	88.60
Acreage Required to Serve Existing Population ²	49.46
Reserved Capacity ¹	0.60
Potential Demand Generated by Development ³	1.86
Residual Recreational Capacity After Impacts	36.68
Sources: ¹ City of Alachua February 2017 Development Monitoring Report. ² University of Florida, Bureau of Economic & Business Research, Estimates of Population by County and City in Florida, April 1, 2016; Policy 1.2.b, Recreation Element (Formula: 9,892 persons / [5 acres/1,000 persons]) ³ US Census Bureau; Policy 1.2.b, Recreation Element (Formula: 2.37 persons per dwelling x 143 dwellings / [5 acres/1,000 persons])	

Table 8b. Improved Passive Park Space Analysis

Minimum Improved Passive Park Space Required to Serve Existing Population & Reserved Capacity ¹	10.01 acres
Acreage Required to Serve Demand Generated by Development ²	0.37 acres
Total Area Required to Serve Existing Population, Reserved Capacity, & Demand Generated by Development	10.38 acres
Existing Improved Passive Park Space ¹	27.73 acres
Improved, Passive Park Space Utilized by Existing Population, Reserved Capacity, & Demand Generated by Development³	37.43%
Sources: ¹ Source: City of Alachua February 2017 Development Monitoring Report. ² Formula: Recreation Demand Generated by Development (1.86 acres) x 20%. ³ Formula: Total Improved Passive Park Space / (Acreage Required to Serve Existing Population + Reserved Capacity + Acreage Required to Serve Demand Generated by Development.)	

Evaluation: The proposed amendment would reduce the maximum potential demand from the development of the subject property from 3.72 acres of recreational acres to 1.86 acres, and for passive park space, from 0.74 acres to 0.37 acres. Concurrency and impacts to the City's recreation system will be reevaluated at the preliminary plat review stage. It is anticipated that the proposed amendment will not adversely affect the Level of Service ("LOS") of recreational facilities; therefore, the impacts are acceptable.

Solid Waste Impacts

Table 9. Solid Waste Impacts

System Category	Lbs Per Day	Tons Per Year
Existing Demand ¹	39,568.00	7,221.16
Reserved Capacity ²	6,671.81	1,217.61
Projected Solid Waste Demand from Application ³	1,355.62	247.40
New River Solid Waste Facility Capacity⁴	50 years	
Sources: ¹ University of Florida, Bureau of Economic & Business Research, Estimates of Population by County and City in Florida, April 1, 2016; Policy 2.1.a, CFNGAR Element (Formula: 9,892 persons x 0.73 tons per year) ² City of Alachua February 2017 Development Monitoring Report ³ Policy 2.1.a, CFNGAR Element (Formula: 2.37 persons per dwelling x 143 dwellings x 0.73 tons per year) ⁴ New River Solid Waste Facility, March 2016		

Evaluation: The proposed amendment would reduce the maximum potential demand from the development of the subject property from 494.8 tons per year to 247.4 tons per year. Concurrency and

impacts to the solid waste system will be reevaluated at the preliminary plat review stage. It is anticipated that the proposed amendment will not adversely affect the Level of Service (“LOS”) of recreational facilities; therefore, the impacts are acceptable.

Public School Impact

The School Board of Alachua County (SBAC) issued a School Capacity Review determination for the proposed amendment. This determination, dated February 8, 2017, was issued in accordance with the City’s Comprehensive Plan, specifically Policies 1.1.b, 1.1.c, 1.1.e, and 1.1.f of the Public School Facilities Element.

The determination concludes that the students generated by the proposed amendment can be reasonably accommodated for the five, ten, and twenty year planning periods at the elementary, middle, and high school levels.

Upon submittal of a final subdivision plat, the development will be subject to a concurrency review and determination of the availability of school capacity at the time of such review.

EXHIBIT “A”

TO

**RL REGI FLORIDA, LLC
LARGE SCALE COMPREHENSIVE PLAN AMENDMENT APPLICATION
STAFF REPORT**

POULOS & BENNETT

Poulos & Bennett, LLC • 2602 E. Livingston Street • Orlando, Florida 32803 • (407) 487-2594 • www.poulosandbennett.com

February 6, 2017

RECEIVED

Mr. Justin Tabor, AICP, Principal Planner
City of Alachua Planning & Zoning Department
15100 N.W. 142nd Terrace
Alachua, FL 32615

FEB 07 2017
Per AK

RE: Alachua West Comprehensive Plan Amendment Application – Response to DRT Comments

Dear Justin:

Below, please find responses to those comments issued by the Development Review Team on January 24, 2017.

Miscellaneous

1. Throughout the application materials, including but not limited to the Concurrency Impact Analysis and the Comprehensive Plan Consistency Analysis, the applicant identifies a maximum density of 120 dwelling units. The maximum density which would be permitted by the Moderate Density Residential FLUM Designation is 143 dwelling units. Clarify throughout the mechanism that would limit future development of the subject property to 120 dwellings.

The maximum density permitted by the Moderate Density Residential FLUM Designation should also be stated when application materials state the proposed density of 120 dwellings.

Response: All application materials, including the Comprehensive Plan Amendment report and analyses have been updated to reflect a maximum of 143 dwelling units.

2. Ensure all references throughout application materials states the correct proposed zoning designation of the companion rezoning application.

Response: All references to the proposed zoning have been updated to reflect a proposed zoning designation of Planned Development – Residential (PD-R).

Concurrency Impact Analysis

3. Section 2.4.14(H) of the City's LDRs establishes the criteria for determining affected roadway segments. For developments generating more than 1,000 external average daily trips, affected roadway segments are those on which the development's impacts are five percent or greater of the maximum service volume of the roadway; and all roadway segments located partially or wholly within one-half mile of the development's ingress/egress, or to the nearest major intersection (whichever is greater).

- a. Segment 5 (US Highway 441, from SR 235 to the North City Limits) is within one-half mile of the development's ingress/egress, and is therefore an affected roadway segment. Please provide an analysis of the project's impacts to Segment 5.

Response: Segment 5 of US 441 has been added to the analysis. It should be noted that the potential impacts illustrated reflect a 100% impact on this segment of US 441, which is inaccurate. While a large majority of the traffic generated by the development will impact this section, the exact potential impact cannot be determined without a Traffic Study, which as discussed with Staff, was not required for this request as the potential density onsite is being reduced by half.

4. Table 5, Solid Waste Impact Calculations:

- a. Verify potential population of existing FLUM (appears to be 744 persons, based upon utilized rate of 2.6 persons per household). Revise potential solid waste generated by existing FLUM and net reduction in potential impacts accordingly.

Response: The table has been revised to reflect the correct population.

5. Table 6, Recreational Impact Calculations:

- a. Verify potential population of existing FLUM (appears to be 744 persons, based upon utilized rate of 2.6 persons per household). Revise potential recreation area needed to serve existing FLUM, available recreation acreage after impacts of existing FLUM, and net reduction in potential impacts accordingly.

Response: The table has been revised to reflect the correct population.

6. Throughout the Concurrency Impact Analysis, the applicant states the proposed amendment would result in a net reduction in impacts/trips to public facilities as a result of the adoption of the proposed amendment. Please clarify this is a net reduction in potential impacts/trips.

Response: The word “potential” has been included in all table totals and impact summaries in Section 4 of the CPA Application Package.

Needs Analysis

7. Further analysis of how the application would support increases in housing demand over at least a 10-year planning period should be provided within the Needs Analysis. This may include an analysis of the number of additional housing units needed to serve population increases over at least a 10-year planning period. Such information should specifically consider and respond to Chapter 163.3177(1)(f)3., which states, “The comprehensive plan shall be based upon permanent and seasonal population estimates and projections, which shall either be those published by the Office of Economic and Demographic Research or generated by the local government based upon a professionally acceptable methodology. The plan must be based on at least the minimum amount of land required to accommodate the medium projections as published by the Office of Economic and Demographic Research for at least a 10-year planning period unless otherwise limited under s. 380.05, including related rules of the Administration Commission. Absent physical limitations on population growth, population projections for each municipality, and the unincorporated area within a county must, at a minimum, be reflective of each area’s proportional share of the total county population and the total county population growth.”

Response: The Needs Analysis has been updated to reflect the population projected for 2025, which is a 10-year planning horizon from the last population update performed in 2015. This projection reflects an increase in population by 5,528 people. Using the reported average population per unit of 2.6 people, this results in a need for an additional 2,216 residential units.

Completeness Review Comments

8. The applicant must address the following comments, as issued in a letter dated January 9, 2017, and as follows:

Comprehensive Plan Amendment Application, Section C.: The applicant has not completed Section C. of the Comprehensive Plan Amendment Application.

Action Needed to Address Deficiency: Complete Section C., stating if there is any additional contract for sale of, or options to purchase the subject property, and if so, listing the names of all parties involved, and if the contract/option is contingent or absolute.

Response: A list of all parties involved has been included under section C. Per our discussion, the section related to whether the contract is contingent or absolute may be left blank.

CPA Attachment #7

Three (3) sets of mailing labels for all property owners within 400' of subject property boundaries – even if property within 400 feet falls outside of City limits.

Action Needed to Address Deficiency: In addition to the mailing labels for the property owners within 400' of subject property, the City also requires mailing labels for those organizations and persons registered to receive public notice. Please submit three sets of mailing labels of organizations/persons registered to receive public notice. The current public notification list can be found on the City of Alachua's website at this location: [http://www.cityofalachua.com/images/](http://www.cityofalachua.com/images/Departments/Planning_Community_Dev/Public_Notice_Mailing_List_2016_04_21.xls)

[Departments/Planning_Community_Dev/Public_Notice_Mailing_List_2016_04_21.xls](http://www.cityofalachua.com/images/Departments/Planning_Community_Dev/Public_Notice_Mailing_List_2016_04_21.xls)

Response: Three (3) sets of labels including the Alachua Notification list have been included with this submittal.

CPA Attachment #8: If the application includes any Future Land Use Map Designation which permits residential uses, Public School Student Generation Form.

Action Needed to Address Deficiency: (1) The number of dwelling units identified on the Form is 120 single-family dwellings. The maximum number of dwellings permitted, based upon the maximum density of 4 dwelling units per acre, is 143 dwellings (35.82 acres x 4 units/acre). The number of dwellings identified on the Form must be based upon the maximum potential of 4 units per acre (unless a companion rezoning application proposes a Planned Development zoning district, with a lower development potential identified by the proposed Planned Development). Revise the Form and resubmit. (2) The Form states the proposed zoning designation is RSF-4. In communication with the applicant, Staff understands the applicant may request a Planned Development zoning designation. Revise as may be needed.

Response: The Public School Student Generation form has been updated to reflect the maximum number of units at 143 and a zoning designation of PD-R.

CPA Attachment #9: Legal description with tax parcel number.

The legal descriptions provided for each parcel

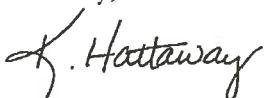
Action Needed to Address Deficiency: The applicant has provided the descriptions of each tax parcel available from the Alachua County Property Appraiser's Office. A legal description that describes the entire property subject to the proposed amendment is needed.

Response: A revised legal description for the overall property has been provided with this submittal.

Included in this submittal package are three (3) hard copies of the revised application package, and one copy on a CD-ROM.

Please let me know if you have any questions regarding our application package or require additional information. I may be reached at the number above, or at khattaway@poulosandbennett.com.

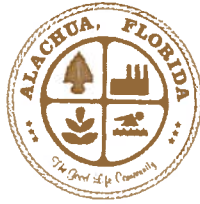
Sincerely,



Kathy Hattaway
Planning Group Leader

Enclosures

c: David McDaniel



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 24, 2017

Also sent by electronic mail to khattaway@poulosandbennett.com

Ms. Kathy Hattaway
Poulos & Bennett, LLC
2602 E. Livingston Street
Orlando, FL 32803

RE: Development Review Team (DRT) Summary for:
Alachua West Large Scale Comprehensive Plan Amendment (LSCPA)

Dear Ms. Hattaway:

On December 27, 2016, the City of Alachua received your application for a Large Scale Comprehensive Plan Amendment (LSCPA), which proposes to amend the Future Land Use Map (FLUM) from Medium Density Residential to Moderate Density Residential on a ±35.82 acre property, consisting of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006. A letter concerning the application's completeness was issued to you on January 9, 2017.

The application has been reviewed for compliance with the applicable review standards, including the City's Comprehensive Plan and Land Development Regulations (LDRs). Based upon Staff's review, revisions must be made to the application before it may be scheduled for a public hearing before the City's Planning & Zoning Board (PZB). Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed by **4:00 PM on Tuesday, February 7, 2017**. A total of three (3) copies of the complete application package (i.e., all application materials and attachments) and a CD containing a PDF of all application materials must be provided by this date. Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved, if any, before the item may be scheduled for a public hearing before the PZB.

Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide 13 *double-sided, three-hole punched sets* of each application package and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

Please address the following insufficiencies:

Miscellaneous

1. Throughout the application materials, including but not limited to the Concurrency Impact Analysis and the Comprehensive Plan Consistency Analysis, the applicant identifies a maximum density of 120 dwelling units. The maximum density which would be permitted by the Moderate Density Residential FLUM Designation is 143 dwelling units. Clarify throughout the mechanism that would limit future development of the subject property to 120 dwellings.

The maximum density permitted by the Moderate Density Residential FLUM Designation should also be stated when application materials state the proposed density of 120 dwellings.

2. Ensure all references throughout application materials states the correct proposed zoning designation of the companion rezoning application.

Concurrency Impact Analysis

3. Section 2.4.14(H) of the City's LDRs establishes the criteria for determining affected roadway segments. For developments generating more than 1,000 external average daily trips, affected roadway segments are those on which the development's impacts are five percent or greater of the maximum service volume of the roadway; and all roadway segments located partially or wholly within one-half mile of the development's ingress/egress, or to the nearest major intersection (whichever is greater).
 - a. Segment 5 (US Highway 441, from SR 235 to the North City Limits) is within one-half mile of the development's ingress/egress, and is therefore an affected roadway segment. Please provide an analysis of the project's impacts to Segment 5.
4. Table 5, Solid Waste Impact Calculations:
 - a. Verify potential population of existing FLUM (appears to be 744 persons, based upon utilized rate of 2.6 persons per household). Revise potential solid waste generated by existing FLUM and net reduction in potential impacts accordingly.
5. Table 6, Recreational Impact Calculations:
 - a. Verify potential population of existing FLUM (appears to be 744 persons, based upon utilized rate of 2.6 persons per household). Revise potential recreation area needed to serve existing FLUM, available recreation acreage after impacts of existing FLUM, and net reduction in potential impacts accordingly.
6. Throughout the Concurrency Impact Analysis, the applicant states the proposed amendment would result in a net reduction in impacts/trips to public facilities as a result of the adoption of the proposed amendment. Please clarify this is a net reduction in potential impacts/trips.

Needs Analysis

7. Further analysis of how the application would support increases in housing demand over at least a 10-year planning period should be provided within the Needs Analysis. This may include an analysis of the number of additional housing units needed to serve population increases over at least a 10-year planning period. Such information should specifically consider and respond to Chapter 163.3177(1)(f)3., which states, "*The comprehensive plan shall be based upon permanent and seasonal population estimates and projections, which shall either be those published by the Office of Economic and Demographic Research or generated by the local government based upon a professionally acceptable methodology. The plan must be based on at least the minimum amount of land required to accommodate the medium projections as published by the Office of Economic and Demographic Research for at least a 10-year planning period unless otherwise limited under s. 380.05, including related rules of the Administration Commission. Absent physical limitations on population growth, population projections for each municipality, and the unincorporated area within a county must, at a minimum, be reflective of each area's proportional share of the total county population and the total county population growth.*"

Completeness Review Comments

8. The applicant must address the following comments, as issued in a letter dated January 9, 2017, and as follows:

Comprehensive Plan Amendment Application, Section C.: The applicant has not completed Section C. of the Comprehensive Plan Amendment Application.

Action Needed to Address Deficiency: Complete Section C., stating if there is any additional contract for sale of, or options to purchase the subject property, and if so, listing the names of all parties involved, and if the contract/option is contingent or absolute.

CPA Attachment #7

Three (3) sets of mailing labels for all property owners within 400' of subject property boundaries – even if property within 400 feet falls outside of City limits.

Action Needed to Address Deficiency: In addition to the mailing labels for the property owners within 400' of subject property, the City also requires mailing labels for those organizations and persons registered to receive public notice. Please submit three sets of mailing labels of organizations/persons registered to receive public notice. The current public notification list can be found on the City of Alachua's website at this location: http://www.cityofalachua.com/images/Departments/Planning_Community_Dev/Public_Notice_Mailing_List_2016_04_21.xls

CPA Attachment #8: If the application includes any Future Land Use Map Designation which permits residential uses, Public School Student Generation Form.

Action Needed to Address Deficiency: (1) The number of dwelling units identified on the Form is 120 single-family dwellings. The maximum number of dwellings permitted, based upon the maximum density of 4 dwelling units per acre, is 143 dwellings (35.82 acres x 4 units/acre). The number of dwellings identified on the Form must be based upon the maximum potential of 4 units per acre (unless a companion rezoning application proposes a Planned Development zoning district, with a lower development potential identified by the proposed Planned Development). Revise the Form and resubmit. (2) The Form states the proposed zoning designation is RSF-4. In communication with the applicant, Staff understands the applicant may request a Planned Development zoning designation. Revise as may be needed.

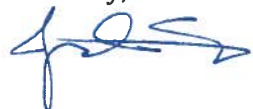
CPA Attachment #9: Legal description with tax parcel number.

The legal descriptions provided for each parcel

Action Needed to Address Deficiency: The applicant has provided the descriptions of each tax parcel available from the Alachua County Property Appraiser's Office. A legal description that describes the entire property subject to the proposed amendment is needed.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

cc: Kathy Winburn, AICP, Planning & Community Development Director
Adam Hall, AICP, Planner
Project File

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Alachua West

APPLICATION TYPE: Large Scale Comprehensive Plan Amendment (LSCPA), to amend the Future Land Use Map (FLUM) from Medium Density Residential (4 – 8 units/acre) to Moderate Density Residential (0 – 4 units/acre)

APPLICANT/AGENT: Jamie Poulos, Poulos & Bennett, LLC.

PROPERTY OWNER: RI REGI Florida, LLC

DRT MEETING DATE: January 24, 2017

DRT MEETING TYPE: Staff

CURRENT FLUM DESIGNATION: Medium Density Residential (4 – 8 units/acre)

PROPOSED FLUM DESIGNATION: Moderate Density Residential (0 – 4 units/acre)

CURRENT ZONING: Residential Multiple Family – 8 (RMF-8)

PROPOSED ZONING: Planned Development – Residential (PD-R)

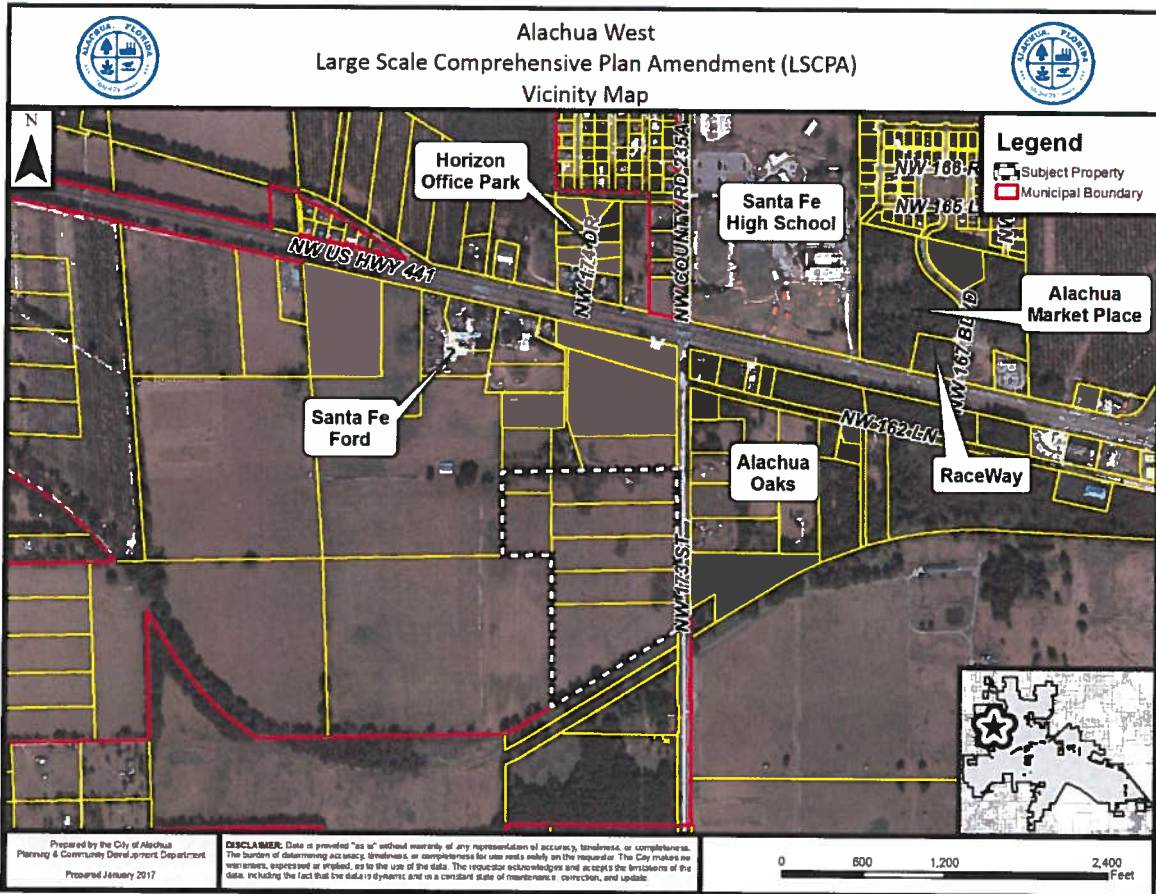
OVERLAY: N/A

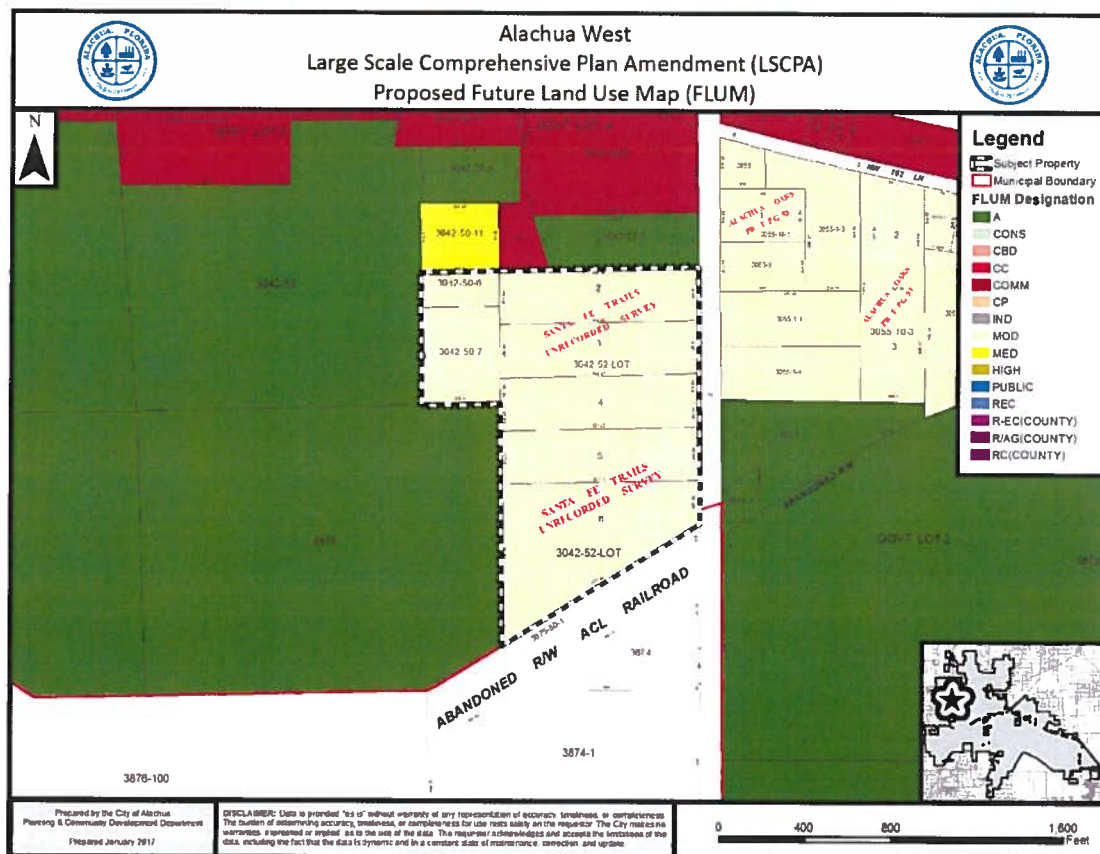
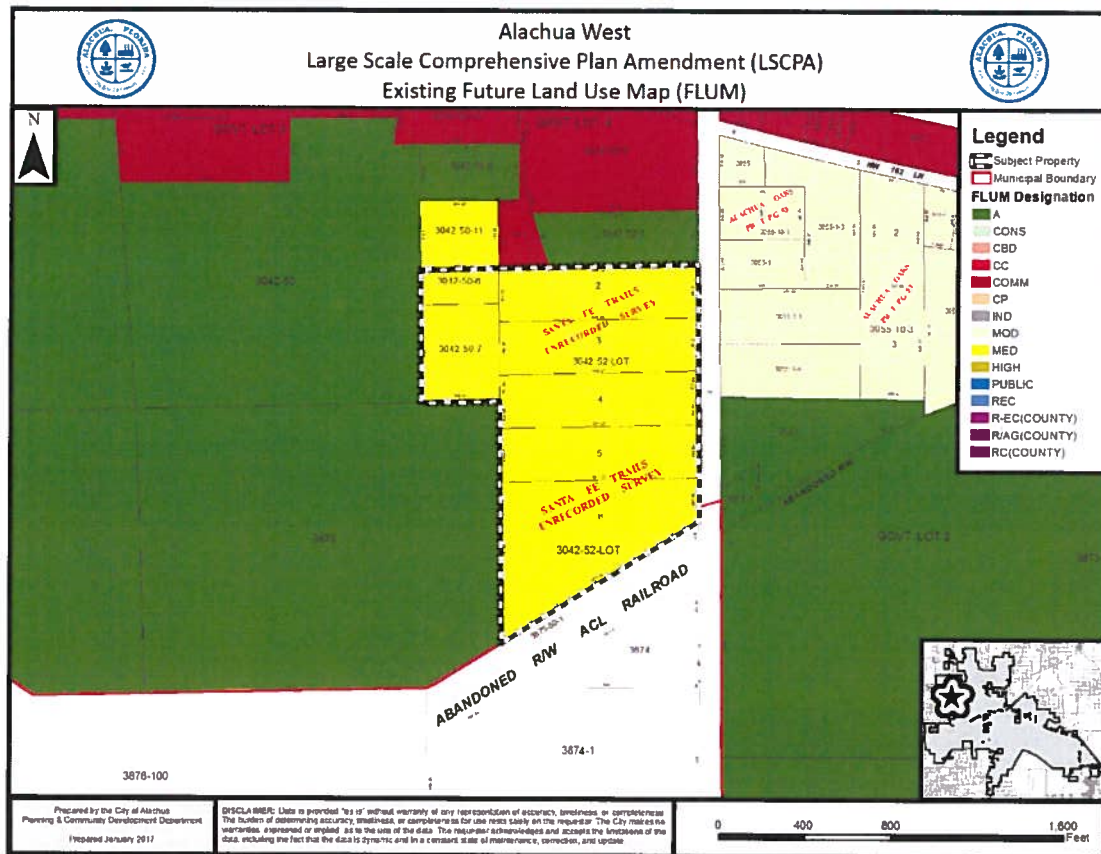
ACREAGE: ±35.82 acres

PARCELS: 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006

PROJECT SUMMARY: Large Scale Comprehensive Plan Amendment (LSCPA), to amend the Future Land Use Map (FLUM) from Medium Density Residential (4 – 8 units/acre) to Moderate Density Residential (0 – 4 units/acre).

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before **4:00 PM on Tuesday, February 7, 2017.**





Deficiencies to be Addressed

Miscellaneous

1. Throughout the application materials, including but not limited to the Concurrency Impact Analysis and the Comprehensive Plan Consistency Analysis, the applicant identifies a maximum density of 120 dwelling units. The maximum density which would be permitted by the Moderate Density Residential FLUM Designation is 143 dwelling units. Clarify throughout the mechanism that would limit future development of the subject property to 120 dwellings. The maximum density permitted by the Moderate Density Residential FLUM Designation should also be stated when application materials state the proposed density of 120 dwellings.
2. Ensure all references throughout application materials states the correct proposed zoning designation of the companion rezoning application.

Concurrency Impact Analysis

3. Section 2.4.14(H) of the City's LDRs establishes the criteria for determining affected roadway segments. For developments generating more than 1,000 external average daily trips, affected roadway segments are those on which the development's impacts are five percent or greater of the maximum service volume of the roadway; and all roadway segments located partially or wholly within one-half mile of the development's ingress/egress, or to the nearest major intersection (whichever is greater).
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6. Throughout the Concurrency Impact Analysis, the applicant states the proposed amendment would result in a net reduction in impacts/trips to public facilities as a result of the adoption of the proposed amendment. Please clarify this is a net reduction in **potential** impacts/trips.

Needs Analysis

7. Further analysis of how the application would support increases in housing demand over at least a 10-year planning period should be provided within the Needs Analysis. This may include an analysis of the number of additional housing units needed to serve population increases over at least a 10-year planning period. Such information should specifically consider and respond to Chapter 163.3177(1)(f)3., which states, "*The comprehensive plan shall be based upon permanent and seasonal population estimates and projections, which shall either be those published by the Office of Economic and Demographic Research or generated*

by the local government based upon a professionally acceptable methodology. The plan must be based on at least the minimum amount of land required to accommodate the medium projections as published by the Office of Economic and Demographic Research for at least a 10-year planning period unless otherwise limited under s. 380.05, including related rules of the Administration Commission. Absent physical limitations on population growth, population projections for each municipality, and the unincorporated area within a county must, at a minimum, be reflective of each area's proportional share of the total county population and the total county population growth."

Completeness Review Comments

8. The applicant must address the following comments, as issued in a letter dated January 9, 2017, and as follows:

Comprehensive Plan Amendment Application, Section C.: The applicant has not completed Section C. of the Comprehensive Plan Amendment Application.

Action Needed to Address Deficiency: Complete Section C., stating if there is any additional contract for sale of, or options to purchase the subject property, and if so, listing the names of all parties involved, and if the contract/option is contingent or absolute.

CPA Attachment #7

Three (3) sets of mailing labels for all property owners within 400' of subject property boundaries – even if property within 400 feet falls outside of City limits.

Action Needed to Address Deficiency: In addition to the mailing labels for the property owners within 400' of subject property, the City also requires mailing labels for those organizations and persons registered to receive public notice. Please submit three sets of mailing labels of organizations/persons registered to receive public notice. The current public notification list can be found on the City of Alachua's website at this location:

http://www.cityofalachua.com/images/Departments/Planning_Community Dev/Public Notice Mailing List 2016 04 21.xls

CPA Attachment #8: If the application includes any Future Land Use Map Designation which permits residential uses, Public School Student Generation Form.

Action Needed to Address Deficiency: (1) The number of dwelling units identified on the Form is 120 single-family dwellings. The maximum number of dwellings permitted, based upon the maximum density of 4 dwelling units per acre, is 143 dwellings (35.82 acres x 4 units/acre). The number of dwellings identified on the Form must be based upon the maximum potential of 4 units per acre (unless a companion rezoning application proposes a Planned Development zoning district, with a lower development potential identified by the proposed Planned Development). Revise the Form and resubmit. (2) The Form states the proposed zoning designation is RSF-4. In communication with the applicant, Staff understands the applicant may request a Planned Development zoning designation. Revise as may be needed.

CPA Attachment #9: Legal description with tax parcel number.
The legal descriptions provided for each parcel

Action Needed to Address Deficiency: The applicant has provided the descriptions of each tax parcel available from the Alachua County Property Appraiser's Office. A legal description that describes the entire property subject to the proposed amendment is needed.

Development Review Team (DRT) Meeting

Meeting Date: January 24, 2017 (Staff Meeting)

Name _____

Email

Mailing Address

Phone

[illegible]



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

INTER-OFFICE COMMUNICATION

Date: January 11, 2017
To: Development Review Team (DRT) Members
From: Justin Tabor, AICP, Principal Planner
Re: Alachua West (2017)
Large Scale Comprehensive Plan Amendment (LSCPA)

Development Review Team (DRT) Meetings are scheduled to discuss the following project:

Alachua West (2017)
Large Scale Comprehensive Plan Amendment (LSCPA)

Plans are accessible via the X: Drive at: X:\Planning and Community Development\
Planning Division\Development Applications\CPAs - Large Scale\Alachua West LSCPA
(2017)\Submittals\2016_12_27

Please provide written comments concerning the application no later than:

Monday, January 23, 2017

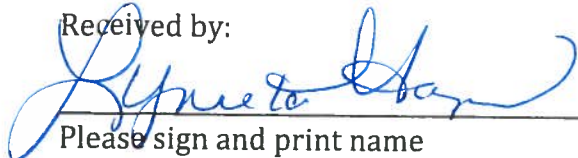
STAFF DRT MEETING:

Tuesday, January 24, 2017, @ 11:00 AM in the Planning Conference Room.

APPLICANT DRT MEETING:

TBD

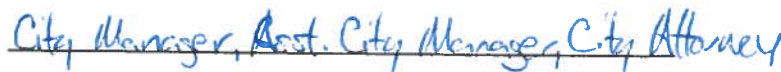
Received by:


Please sign and print name

Date

1/11/2017

On behalf of:


City Manager, Asst. City Manager, City Attorney



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

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Planning Division\Development Applications\CPAs - Large Scale\Alachua West LSCPA
(2017)\Submittals\2016_12_27

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Monday, January 23, 2017

STAFF DRT MEETING:

Tuesday, January 24, 2017, @ 11:00 AM in the Planning Conference Room.

APPLICANT DRT MEETING:

TBD

Received by:

Please sign and print name

Date

On behalf of:

Public Services



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 9, 2017

Also sent by electronic mail to khattaway@poulosandbennett.com

Ms. Kathy Hattaway
Poulos & Bennett, LLC
2602 E. Livingston Street
Orlando, FL 32803

RE: Completeness Review of Alachua West Large Scale Comprehensive Plan Amendment (LSCPA)

Dear Ms. Hattaway:

On December 27, 2016, the City of Alachua received your application for a Large Scale Comprehensive Plan Amendment (LSCPA), which proposes to amend the Future Land Use Map (FLUM) from Medium Density Residential to Moderate Density Residential on a ±35.82 acre property, consisting of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. **The time frame and cycle for review shall be based upon the date the application is determined to be complete.** If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the application shall be considered withdrawn.

The comments below are based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will be performed, and the findings of the in-depth review will be discussed at a Development Review Team (DRT) Meeting. A DRT Meeting will be scheduled upon satisfaction of the application's completeness review deficiencies, as indicated below.

In order to provide a complete application, you must address the following:

Comprehensive Plan Amendment Application, Section C.: The applicant has not completed Section C. of the Comprehensive Plan Amendment Application.

Action Needed to Address Deficiency: Complete Section C., stating if there is any additional contract for sale of, or options to purchase the subject property, and if so, listing the names of all parties involved, and if the contract/option is contingent or absolute.

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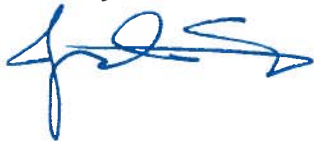
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If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com.

Sincerely,



Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director
Adam Hall, AICP, Planner
Project File

POULOS & BENNETT

Poulos & Bennett, LLC • 2602 E. Livingston Street • Orlando, Florida 32803 • (407) 487-2594 • www.poulosandbennett.com

December 23, 2016

Ms. Kathy Winburn, AICP, Director
City of Alachua Planning & Zoning Department
15100 N.W. 142nd Terrace
Alachua, FL 32615

F
DEC 27 2016
Per *[Signature]*

RE: Alachua West Comprehensive Plan Amendment Application

Dear Kathy:

On behalf of the property owner RL Regi Florida, LLC, and the developer, David McDaniel, Poulos & Bennett is pleased to submit the enclosed Large-Scale Comprehensive Plan Amendment for the 35.82 acre Alachua West property.

The Comprehensive Plan Amendment request is to change the Future Land Use Map designation of the property from Medium Density Residential to Moderate Density Residential. The property is located on the west side of County Road 235A, approximately 900 feet south of the intersection with US 441.

Included in this submittal package are eight (8) hard copies of the application package, and one copy on a CD-ROM.

Please let me know if you have any questions regarding our application package or require additional information for the review. I may be reached at the number above, or at khattaway@poulosandbennett.com.

Sincerely,



Kathy Hattaway
Planning Group Leader

Enclosures

c: David McDaniel



Poulos & Bennett, LLC • 2602 E. Livingston Street • Orlando, Florida 32803 • (407) 487-2594 • www.poulosandbennett.com

February 6, 2017

Mr. Justin Tabor, AICP, Principal Planner
City of Alachua Planning & Zoning Department
15100 N.W. 142nd Terrace
Alachua, FL 32615

RE: Alachua West Comprehensive Plan Amendment Application – Response to DRT Comments

Dear Justin:

Below, please find responses to those comments issued by the Development Review Team on January 24, 2017.

Miscellaneous

1. Throughout the application materials, including but not limited to the Concurrency Impact Analysis and the Comprehensive Plan Consistency Analysis, the applicant identifies a maximum density of 120 dwelling units. The maximum density which would be permitted by the Moderate Density Residential FLUM Designation is 143 dwelling units. Clarify throughout the mechanism that would limit future development of the subject property to 120 dwellings.

The maximum density permitted by the Moderate Density Residential FLUM Designation should also be stated when application materials state the proposed density of 120 dwellings.

Response: All application materials, including the Comprehensive Plan Amendment report and analyses have been updated to reflect a maximum of 143 dwelling units.

2. Ensure all references throughout application materials states the correct proposed zoning designation of the companion rezoning application.

Response: All references to the proposed zoning have been updated to reflect a proposed zoning designation of Planned Development – Residential (PD-R).

Concurrency Impact Analysis

3. Section 2.4.14(H) of the City's LDRs establishes the criteria for determining affected roadway segments. For developments generating more than 1,000 external average daily trips, affected roadway segments are those on which the development's impacts are five percent or greater of the maximum service volume of the roadway; and all roadway segments located partially or wholly within one-half mile of the development's ingress/egress, or to the nearest major intersection (whichever is greater).

- a. Segment 5 (US Highway 441, from SR 235 to the North City Limits) is within one-half mile of the development's ingress/egress, and is therefore an affected roadway segment. Please provide an analysis of the project's impacts to Segment 5.

Response: Segment 5 of US 441 has been added to the analysis. It should be noted that the potential impacts illustrated reflect a 100% impact on this segment of US 441, which is inaccurate. While a large majority of the traffic generated by the development will impact this section, the exact potential impact cannot be determined without a Traffic Study, which as discussed with Staff, was not required for this request as the potential density onsite is being reduced by half.

4. Table 5, Solid Waste Impact Calculations:

- a. Verify potential population of existing FLUM (appears to be 744 persons, based upon utilized rate of 2.6 persons per household). Revise potential solid waste generated by existing FLUM and net reduction in potential impacts accordingly.

Response: The table has been revised to reflect the correct population.

5. Table 6, Recreational Impact Calculations:

- a. Verify potential population of existing FLUM (appears to be 744 persons, based upon utilized rate of 2.6 persons per household). Revise potential recreation area needed to serve existing FLUM, available recreation acreage after impacts of existing FLUM, and net reduction in potential impacts accordingly.

Response: The table has been revised to reflect the correct population.

6. Throughout the Concurrency Impact Analysis, the applicant states the proposed amendment would result in a net reduction in impacts/trips to public facilities as a result of the adoption of the proposed amendment. Please clarify this is a net reduction in potential impacts/trips.

Response: The word “potential” has been included in all table totals and impact summaries in Section 4 of the CPA Application Package.

Needs Analysis

7. Further analysis of how the application would support increases in housing demand over at least a 10-year planning period should be provided within the Needs Analysis. This may include an analysis of the number of additional housing units needed to serve population increases over at least a 10-year planning period. Such information should specifically consider and respond to Chapter 163.3177(1)(f)3., which states, “The comprehensive plan shall be based upon permanent and seasonal population estimates and projections, which shall either be those published by the Office of Economic and Demographic Research or generated by the local government based upon a professionally acceptable methodology. The plan must be based on at least the minimum amount of land required to accommodate the medium projections as published by the Office of Economic and Demographic Research for at least a 10-year planning period unless otherwise limited under s. 380.05, including related rules of the Administration Commission. Absent physical limitations on population growth, population projections for each municipality, and the unincorporated area within a county must, at a minimum, be reflective of each area’s proportional share of the total county population and the total county population growth.”

Response: The Needs Analysis has been updated to reflect the population projected for 2025, which is a 10-year planning horizon from the last population update performed in 2015. This projection reflects an increase in population by 5,528 people. Using the reported average population per unit of 2.6 people, this results in a need for an additional 2,216 residential units.

Completeness Review Comments

8. The applicant must address the following comments, as issued in a letter dated January 9, 2017, and as follows:

Comprehensive Plan Amendment Application, Section C.: The applicant has not completed Section C. of the Comprehensive Plan Amendment Application.

Action Needed to Address Deficiency: Complete Section C., stating if there is any additional contract for sale of, or options to purchase the subject property, and if so, listing the names of all parties involved, and if the contract/option is contingent or absolute.

Response: A list of all parties involved has been included under section C. Per our discussion, the section related to whether the contract is contingent or absolute may be left blank.

CPA Attachment #7

Three (3) sets of mailing labels for all property owners within 400' of subject property boundaries – even if property within 400 feet falls outside of City limits.

Action Needed to Address Deficiency: In addition to the mailing labels for the property owners within 400' of subject property, the City also requires mailing labels for those organizations and persons registered to receive public notice. Please submit three sets of mailing labels of organizations/persons registered to receive public notice. The current public notification list can be found on the City of Alachua's website at this location: [http://www.cityofalachua.com/images/](http://www.cityofalachua.com/images/Departments/Planning_Community_Dev/Public_Notice_Mailing_List_2016_04_21.xls)

[Departments/Planning_Community_Dev/Public_Notice_Mailing_List_2016_04_21.xls](http://www.cityofalachua.com/images/Departments/Planning_Community_Dev/Public_Notice_Mailing_List_2016_04_21.xls)

Response: Three (3) sets of labels including the Alachua Notification list have been included with this submittal.

CPA Attachment #8: If the application includes any Future Land Use Map Designation which permits residential uses, Public School Student Generation Form.

Action Needed to Address Deficiency: (1) The number of dwelling units identified on the Form is 120 single-family dwellings. The maximum number of dwellings permitted, based upon the maximum density of 4 dwelling units per acre, is 143 dwellings (35.82 acres x 4 units/acre). The number of dwellings identified on the Form must be based upon the maximum potential of 4 units per acre (unless a companion rezoning application proposes a Planned Development zoning district, with a lower development potential identified by the proposed Planned Development). Revise the Form and resubmit. (2) The Form states the proposed zoning designation is RSF-4. In communication with the applicant, Staff understands the applicant may request a Planned Development zoning designation. Revise as may be needed.

Response: The Public School Student Generation form has been updated to reflect the maximum number of units at 143 and a zoning designation of PD-R.

CPA Attachment #9: Legal description with tax parcel number.

The legal descriptions provided for each parcel

Action Needed to Address Deficiency: The applicant has provided the descriptions of each tax parcel available from the Alachua County Property Appraiser's Office. A legal description that describes the entire property subject to the proposed amendment is needed.

Response: A revised legal description for the overall property has been provided with this submittal.

Included in this submittal package are three (3) hard copies of the revised application package, and one copy on a CD-ROM.

Please let me know if you have any questions regarding our application package or require additional information. I may be reached at the number above, or at khattaway@poulosandbennett.com.

Sincerely,



Kathy Hattaway
Planning Group Leader

Enclosures

c: David McDaniel

Alachua West

Comprehensive Plan Amendment

Application Package

City of Alachua, Florida

Prepared For

3M Development

250 Killarney Drive
Winter Park, FL 32789

Date

December 27, 2016

Revised

February 6, 2017



2602 E. Livingston Street | Orlando, Florida 32803 | Tel: 407.487.2594 | www.poulosandbennett.com
FBPE Certificate of Authorization No. 2856

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SECTION 1: APPLICATION DOCUMENTS

- 1. City of Alachua Comprehensive Plan Amendment Application**
- 2. Legal Description**
- 3. Certificate of Title**
- 4. Proof of Taxes Paid**
- 5. Property Owner Affidavit**



City of Alachua Comprehensive Plan Amendment Application

FOR PLANNING USE ONLY

Case #: _____
Application Fee: \$ _____
Filing Date: _____ Acceptance Date: _____
Review Type: P&Z, CC

- ☒ **Large Scale Comprehensive Plan Amendment** (greater than 10 acres)
☐ **Small Scale Comprehensive Plan Amendment** (10 acres or less)

NOTE: It is the burden of the applicant to be familiar with the requirements of Chapter 163, Florida Statutes, which are related to Comprehensive Plan Amendments. Requirements for Comprehensive Plan Amendments may change with each Legislative Session. Please contact the Planning and Community Development Department if you need assistance with locating this information.

A. PROJECT

1. Project Name: Alachua West
2. Address of Subject Property: None
3. Parcel ID Number(s): 03042-05-006, 03042-05-007, 03042-05-002, 03042-05-003, 03042-05-004, 03042-05-005, 03042-05-006
4. Existing Use of Property: Vacant
5. Existing Future Land Use Map Designation: Medium Density Residential
6. Proposed Future Land Use Map Designation: Moderate Density Residential
7. Acreage: 35.82 Acres

B. APPLICANT

1. Applicant's Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s) or Contact Person(s): Kathy Hattaway Title: Planning Team Leader
Company (if applicable): Poulos & Bennett, LLC
Mailing address: 2602 E. Livingston Street
City: Orlando State: FL ZIP: 32803
Telephone: () 407-487-2594 FAX: () NA e-mail: khattaway@poulosandbennett.com
3. If the applicant is agent for the property owner*:
Name of Owner (title holder): RI Regi Florida, LLC
Mailing Address: 700 NW 107th Avenue, Suite 200
City: Miami State: FL ZIP: 33172

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property? ☒ Yes ☐ No
If yes, list names of all parties involved: David and Peter McDaniel, M3 Development, LLC
If yes, is the contract/option contingent or absolute? ☐ Contingent ☐ Absolute

D. ATTACHMENTS

1. Statement of proposed change and maps which illustrate the proposed change.
2. Urban Sprawl Analysis which evaluates as to whether the plan amendment incorporates a development pattern or urban form that achieves four or more of the following eight criteria:
 - (I) Directs growth and development to areas of the community in a manner that does not adversely impact natural resources;
 - (II) Promotes the efficient and cost effective provision or extension of public infrastructure and services;
 - (III) Promotes walkable and connected communities and provides for compact development and a mix of uses at densities and intensities that support a range of housing choices and a multimodal transportation system;
 - (IV) Promotes conservation of water and energy;
 - (V) Preserves agricultural areas and activities;

City of Alachua ♦ Planning and Community Development Department
PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

- (VI) Preserves open space and natural lands and provides for public open space and recreation needs;
 - (VII) Creates a balance of land uses based on demands of residential population for the nonresidential needs of an area; and,
 - (VIII) Provides uses, densities and intensities of use and urban form that would remediate an existing or planned sprawl development pattern or provides for an innovative development pattern such as transit oriented development or new towns.
3. Concurrency Impact Analysis which considers the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools in accordance with Article 2.4.14 of the Land Development Regulations.
 4. Needs Analysis which demonstrates the necessity for the proposed increase in the proposed Future Land Use Map Designation. This analysis may consist, in whole or part, of a market impact study or real estate needs analysis.
 5. Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)
 6. A current aerial map of the property (may be obtained from the Alachua County Property Appraiser).
 7. Three (3) sets of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits. (Obtain from the Alachua County Property Appraiser).
 8. If the application includes any Future Land Use Map Designation which permits residential uses, Public School Student Generation Form.
 9. Legal description with tax parcel number.
 10. Proof of ownership.
 11. Proof of payment of taxes.
 12. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any necessary technical review will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any legislative and/or quasi-judicial action of any kind on the petition, appeal, or development application.

All 12 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.

K. Hattaway
Signature of Applicant

Signature of Co-applicant

Kathy Hattaway
Typed or printed name and title of applicant

Typed or printed name of co-applicant

State of Florida County of Orange

The foregoing application is acknowledged before me this 6th day of February, 2017, by Kathy Hattaway, who is/are personally known to me, or who has/have produced _____ as identification.

NOTARY SEAL



Cheryl Burch
Signature of Notary Public, State of Florida

ALACHUA WEST PROPERTY LEGAL DESCRIPTION

Parcels: 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, 03042-052-006

A tract of land situated in Sections 8 and 17, Township 8 South, Range 18 East, Alachua County, Florida, being more particularly described as follows:

Commence at the southeast corner of Section 8, being the northeast corner of Section 17, Township 8 South, Range 18 East, and run S.87°26'55"W., along the section line, a distance of 50.01 Feet to the west right of way line of County Road No. 235-A (100 foot right of way) and the point of beginning; Thence run S.01°45'18"E., along said right of way line, a distance of 571.16 feet to the north right of way line of the former Seaboard Coastline Railroad; Thence run S.57°03'28"W., along said north right of way line, a distance of 1074.22 feet; thence run N.01°54'18"W., parallel with and one foot west of the west right of way line of the 20 foot wide American Telephone and Telegraph Company Easement as described in Official Records Book 415, Page 139 of the Public Records of Alachua County, Florida, a distance of 1114.62 feet to the south line of Section 8; Thence run S.87°26'55"W., along said south line, a distance of 360.41 feet; Thence run N.01°54'18"W., a distance of 611.28 feet to the southwest corner of the lands described in Official Records Book 2918, Page 1475 of said Public Records; Thence run N.87°27'04"E., along the south line of said lands, and along the south line of the lands described in Official Records Book 2241, Page 1384 of said Public Records, a distance of 1283.53 feet to the aforementioned west right of way line of County Road No. 235-A; Thence run S.01°47'55"E., along said right of way line, a distance of 611.24 feet to the point of beginning.

IN THE CIRCUIT COURT, EIGHTH
JUDICIAL CIRCUIT, IN AND FOR
ALACHUA COUNTY, FLORIDA

CASE NO.: 01-10-CA-2954
DIVISION: J

RL REGI FLORIDA, LLC, a Florida limited
liability company,

Plaintiff,

v.

235A PARTNERS, LLC, a Florida limited
liability company, MICHAEL D. MESIANO,
an individual, KEVIN L. TROUP, an
individual, WILLIAM T. PYBURN, III, an
individual, LAWRENCE R. TOWERS, an
individual, and WARROOM PARTNERS,
LLC, a Florida limited liability company,

Defendants.

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2611638 4 PG(S)
November 17, 2010 10:20:29 AM
Book 3995 Page 1521
J. K. IRBY, Clerk Of Circuit Court
ALACHUA COUNTY, Florida



CERTIFICATE OF TITLE

The undersigned Clerk of the Court certifies that she executed and filed a Certificate of Sale in this action on November 2, 2010, ^{and} an Amended and Corrected Certificate of Sale in this action on November 10th, 2010, for the Property described herein and that no objections to the sale have been filed within the time allowed for filing objections. The real and personal property located in Alachua County, Florida as more particularly described in **Exhibit A** and **Exhibit B** attached hereto (the "Property"), was sold to the Plaintiff, RL REGI Florida, LLC, a Florida limited liability company, whose address for noticing purposes is 700 NW 107th Avenue, Suite 200, Miami, FL 33172, pursuant to the Order Granting Plaintiff's Motion Pursuant to Rule 1.540(a) to Correct Clerical Mistake or Scrivener's Error in Plaintiff's Name and to Order Clerk of Court to Issue Amended and Corrected Certificate of Sale dated November 8, 2010

WITNESS my hand and the seal of this court on this 15th day of November, 2010.

J.K. "BUDDY" IRBY
Clerk of the Circuit Court

By: 

Deputy Clerk

Doc. St. Amt. \$0.70

J.K. "Buddy" Irby, Clerk of Circuit Court
Alachua County



{JA574880.1}

FILED
OK 46

2010 NOV 15 AM 10:46

J.K. "BUDDY" IRBY
CLERK OF COURTS
ALACHUA COUNTY, FL.

Exhibit A

The Real Property

A tract of land situated in Sections 8 and 17, Township 8 South, Range 18 East, Alachua County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 8, being the Northeast corner of Section 17, Township 8 South, Range 18 East, and run S. 87°26'55"W., along the section line, a distance of 50.01 feet to the West right of way line of County Road No. 235-A (100 foot right of way) and the Point of Beginning; thence run S.01°45'18"E., along said right of way line, a distance of 571.16 feet to the North right of way line of the former Seaboard Coastline Railroad; thence run S.57°03'28"W., along said North right of way line, a distance of 1074.22 feet; thence run N.01°54'18"W., parallel with and one foot West of the West right of way line of the 20 foot wide American Telephone and Telegraph Company easement as described in Official Records Book 415, page 139 of the Public Records of Alachua County, Florida, a distance of 1114.62 feet to the South line of said Section 8; thence run S.87°26'55"W., along said South line, a distance of 360.41 feet; thence run N.01°54'18"W., a distance of 611.28 feet to the Southwest corner of the lands described in Official Records Book 2918, page 1475 of the Public Records; thence run N.87°27'04"E., along the South line of said lands, and along the South line of the lands described in Official Records Book 2241, page 1384 of said Public Records, a distance of 1283.53 feet to the aforementioned West right of way line of County Road No. 235-A; thence run S.01°47'55"E., along said right of way line, a distance of 611.24 feet to the Point of Beginning.

Exhibit B

The Personal Property

1.

All buildings, structures, and other improvements now or hereafter located on the Real Property more particularly described on Exhibit A hereto and by this reference incorporated herein, or any part thereof (the "Real Property"); together with

All rights-of-way, streets, alleys, passages, riparian and littoral rights, waters, water courses, sewer rights, rights, liberties, privileges, tenements, hereditaments, easements, and appurtenances thereunto belonging or in anyway appertaining, whether now owned or hereafter acquired by 235A Partners, and including all rights of ingress and egress to and from the Real Property and all adjoining property (whether such rights now exist or subsequently arise), together with the reversion or reversions, remainder and remainders, rents, issues and profits thereof; together with

All machinery, apparatus, equipment, fittings, and fixtures, whether actually or constructively attached to the Real Property and all building materials of every kind and nature, and all trade, domestic, and ornamental fixtures and all personal property now or hereafter located in, upon, over, or under the Real Property or any part thereof on or off-site benefiting the Real Property and used or usable or intended to be used in connection with any present or future operation of said Real Property, including, but without limiting the generality of the foregoing: all heating, air-conditioning, lighting, incinerating, and power equipment; all engines, compressors, pipes, pumps, tanks, motors, conduits and switchboards; all plumbing, lifting, cleaning, fire prevention, fire extinguishing, refrigerating, ventilating, and communications apparatus; all boilers, furnaces, oil burners, vacuum cleaning systems, elevators, and escalators; all built-in stoves, ovens, ranges, disposal units, dishwashers, water heaters, exhaust systems, refrigerators, cabinets, and partitions; all rugs and carpets; laundry equipment; together with all contract rights to acquire any of the foregoing and all deposits and payments made under contracts for the acquisition of same; together with all additions and accessions thereto and replacements thereof and proceeds therefrom.

* * *

2.

a. All contracts, now existing or hereafter executed, with general contractors, subcontractors, surveyors, materialmen, suppliers and/or laborers in connection with or pertaining to the construction of buildings or any other improvements on the Real Property;

b. Any agreements for architectural/engineering services between 235A Partners and any architect/engineer which is hereinafter entered into with respect to the construction of improvements on the Real Property;

c. Drawings, plans and specifications prepared by any architect/engineer in connection with the construction of improvements on the Real Property;

d. Any and all building permits, governmental permits, licenses or other governmental authorizations in favor of or in the name of 235A Partners now existing or hereafter executed, authorizing the construction of the improvements on the Real Property, including, but not limited to, stormwater permits, water distribution system permits, Department of Transportation permits, sewage collection system permits, and concurrency reservation certificates;

e. Any and all utility service agreements wherein a utility company, utility provider and/or the appropriate governmental entity has agreed to provide utilities to the Real Property;

f. All contracts, binders or other agreements between 235A Partners and a buyer of the Real Property for the purchase and sale of the Real Property or an individual lot(s) within the Real Property and further including such contract binders or other agreements which may hereafter come into existence with respect to any portion of the Real Property and including all deposits, letters of credit and other monies paid or payable under any of the above.

* * *

3.

All entire interest in and to any and all leases, rental agreements and agreements for the use and/or occupancy of any part of the Real Property (said leases, rental agreements and other agreements are herein referred to as the "Leases") now existing or hereafter entered into which affect the Real Property or any part thereof, together with all rents, income and profits arising from said Leases and renewals thereof and all rents, income and profits for use and occupation of the Real Property and from all such Leases upon said Real Property and to any and all monies, rents, issues and profits of every kind and nature whether arising from Leases or otherwise.

ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
03042 050 006		1700

APPLICABLE VALUES AND EXEMPTIONS BELOW

Unassigned Location RE

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

COM SE COR SEC W 50.01 FT N 450 FT
POB N 812.96 FT WL
See Additional Legal on Tax Roll

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.9290	13,600	0	13,600	121.43
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0750	13,600	0	13,600	1.02
LIBRARY GENERAL	1.3371	13,600	0	13,600	18.18
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP32 PROJECT (S01)	1.5000	13,600	0	13,600	20.40
SCHL DISCRNRY & CN (S01)	0.7480	13,600	0	13,600	10.17
SCHL GENERAL	4.6880	13,600	0	13,600	63.76
SCHOOL VOTED (S01)	1.0000	13,600	0	13,600	13.60
SUWANNEE RIVER WATER MGT DIST	0.4093	13,600	0	13,600	5.57
17 CITY OF ALACHUA	5.9900	13,600	0	13,600	81.46

TOTAL MILLAGE 24.6764

AD VALOREM TAXES

\$335.59

WANT TO RECEIVE YOUR BILL ELECTRONICALLY NEXT YEAR? VISIT www.AlachuaCollector.com AND SIGN UP FOR E-BILLS!

PAY ONLINE WITH E-CHECK



SCAN TO PAY

PAY ONLY ONE AMOUNT.

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	UNIT	RATE	AMOUNT
R710 710 BOCC SOLID WASTE MGMT	1.000	@ 16.4700	16.47
NON-AD VALOREM ASSESSMENTS			\$16.47

COMBINED TAXES AND ASSESSMENTS \$352.06

If Paid By
Please Pay **Nov 30, 2016**
\$0.00

JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

1011315

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03042 050 006	Unassigned Location RE	

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

IF PAID BY

PLEASE PAY

<input type="checkbox"/> Nov 30, 2016	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

ACCOUNT NUMBER	ESCROW CD		MILLAGE CODE
03042 050 007		APPLICABLE VALUES AND EXEMPTIONS BELOW	1700

Unassigned Location RE

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

COM SE COR SEC W 50.01 FT POB W
1282.39 FT N 450 FT E
See Additional Legal on Tax Roll

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.9290	23,200	0	23,200	207.15
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0750	23,200	0	23,200	1.74
LIBRARY GENERAL	1.3371	23,200	0	23,200	31.02
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP32 PROJECT (S01)	1.5000	23,200	0	23,200	34.80
SCHL DISCRNRY & CN (S01)	0.7480	23,200	0	23,200	17.35
SCHL GENERAL	4.6880	23,200	0	23,200	108.76
SCHOOL VOTED (S01)	1.0000	23,200	0	23,200	23.20
SUWANNEE RIVER WATER MGT DIST	0.4093	23,200	0	23,200	9.50
17 CITY OF ALACHUA	5.9900	23,200	0	23,200	138.97

TOTAL MILLAGE	24.6764	AD VALOREM TAXES	\$572.49
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WANT TO RECEIVE YOUR BILL ELECTRONICALLY NEXT YEAR? VISIT www.AlachuaCollector.com AND SIGN UP FOR E-BILLS!

PAY ONLINE WITH E-CHECK



SCAN TO PAY

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

PAY ONLY ONE AMOUNT.

COMBINED TAXES AND ASSESSMENTS	\$572.49
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If Paid By Please Pay	Nov 30, 2016 \$0.00				
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JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

**2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS**

1011316

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03042 050 007	Unassigned Location RE	

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

IF PAID BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2016	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

ACCOUNT NUMBER	ESCROW CD		MILLAGE CODE
03042 052 002		APPLICABLE VALUES AND EXEMPTIONS BELOW	1700

Unassigned Location RE

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

COM SE COR W 50.01 FT N 365.64 FT POB
N 245.60 FT W 9
See Additional Legal on Tax Roll

AD VALOREM TAXES						
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED	
BOARD OF COUNTY COMMISSIONERS						
CNTY GENERAL	8.9290	26,000	0	26,000		232.15
ALACHUA CNTY LIBRARY DISTRICT						
LIBRARY BONDS	0.0750	26,000	0	26,000		1.95
LIBRARY GENERAL	1.3371	26,000	0	26,000		34.76
SCHOOL BOARD OF ALACHUA COUNTY						
SCHL CAP32 PROJECT (S01)	1.5000	26,000	0	26,000		39.00
SCHL DISCRNRY & CN (S01)	0.7480	26,000	0	26,000		19.45
SCHL GENERAL	4.6880	26,000	0	26,000		121.89
SCHOOL VOTED (S01)	1.0000	26,000	0	26,000		26.00
SUWANNEE RIVER WATER MGT DIST	0.4093	26,000	0	26,000		10.64
17 CITY OF ALACHUA	5.9900	26,000	0	26,000		155.74
TOTAL MILLAGE	24.6764		AD VALOREM TAXES			\$641.58

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SCAN TO PAY

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

PAY ONLY ONE AMOUNT. 

COMBINED TAXES AND ASSESSMENTS	\$641.58
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If Paid By Please Pay	Nov 30, 2016 \$0.00				
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JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

**2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS**

1011327

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03042 052 002	Unassigned Location RE	

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

IF PAID BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2016	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
03042 052 003		1700

APPLICABLE VALUES AND EXEMPTIONS BELOW

Unassigned Location RE

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

COM SE COR SEC W 50.01 FT N 120.04 FT
POB N 245.60 FT
See Additional Legal on Tax Roll

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.9290	21,800	0	21,800	194.65
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0750	21,800	0	21,800	1.64
LIBRARY GENERAL	1.3371	21,800	0	21,800	29.15
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP32 PROJECT (S01)	1.5000	21,800	0	21,800	32.70
SCHL DISCRNRY & CN (S01)	0.7480	21,800	0	21,800	16.31
SCHL GENERAL	4.6880	21,800	0	21,800	102.20
SCHOOL VOTED (S01)	1.0000	21,800	0	21,800	21.80
SUWANNEE RIVER WATER MGT DIST	0.4093	21,800	0	21,800	8.92
17 CITY OF ALACHUA	5.9900	21,800	0	21,800	130.58
TOTAL MILLAGE					24.6764
AD VALOREM TAXES					\$537.95

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SCAN TO PAY

PAY ONLY ONE AMOUNT.

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

COMBINED TAXES AND ASSESSMENTS \$537.95

If Paid By Please Pay	Nov 30, 2016 \$0.00				
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JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

1011328

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03042 052 003	Unassigned Location RE	

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

IF PAID BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2016	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

ACCOUNT NUMBER	ESCROW CD		MILLAGE CODE
03042 052 004		APPLICABLE VALUES AND EXEMPTIONS BELOW	1700

Unassigned Location RE

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

COM SE COR SEC 8 W 50.01 FT POB N
120.04 FT W 922.21
See Additional Legal on Tax Roll

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.9290	21,800	0	21,800	194.65
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0750	21,800	0	21,800	1.64
LIBRARY GENERAL	1.3371	21,800	0	21,800	29.15
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP32 PROJECT (S01)	1.5000	21,800	0	21,800	32.70
SCHL DISCRNRY & CN (S01)	0.7480	21,800	0	21,800	16.31
SCHL GENERAL	4.6880	21,800	0	21,800	102.20
SCHOOL VOTED (S01)	1.0000	21,800	0	21,800	21.80
SUWANNEE RIVER WATER MGT DIST	0.4093	21,800	0	21,800	8.92
17 CITY OF ALACHUA	5.9900	21,800	0	21,800	130.58

TOTAL MILLAGE	24.6764	AD VALOREM TAXES	\$537.95
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PAY ONLINE WITH E-CHECK



SCAN TO PAY

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

PAY ONLY ONE AMOUNT.

COMBINED TAXES AND ASSESSMENTS \$537.95

If Paid By Please Pay	Nov 30, 2016 \$0.00				
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JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

1011329

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03042 052 004	Unassigned Location RE	

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

IF PAID BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2016	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

ACCOUNT NUMBER	ESCROW CD		MILLAGE CODE
03042 052 005		APPLICABLE VALUES AND EXEMPTIONS BELOW	1700

Unassigned Location RE

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

COM NE COR SEC W 50.01 FT S 125.56 FT
POB W 921.65 FT
See Additional Legal on Tax Roll

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.9290	21,600	0	21,600	192.87
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0750	21,600	0	21,600	1.62
LIBRARY GENERAL	1.3371	21,600	0	21,600	28.88
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP32 PROJECT (S01)	1.5000	21,600	0	21,600	32.40
SCHL DISCRNRY & CN (S01)	0.7480	21,600	0	21,600	16.16
SCHL GENERAL	4.6880	21,600	0	21,600	101.26
SCHOOL VOTED (S01)	1.0000	21,600	0	21,600	21.60
SUWANNEE RIVER WATER MGT DIST	0.4093	21,600	0	21,600	8.84
17 CITY OF ALACHUA	5.9900	21,600	0	21,600	129.38
TOTAL MILLAGE	24.6764	AD VALOREM TAXES			\$533.01

WANT TO RECEIVE YOUR BILL ELECTRONICALLY NEXT YEAR? VISIT www.AlachuaCollector.com AND SIGN UP FOR E-BILLS!

PAY ONLINE WITH E-CHECK



SCAN TO PAY

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

PAY ONLY ONE AMOUNT.

COMBINED TAXES AND ASSESSMENTS	\$533.01
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If Paid By Please Pay	Nov 30, 2016 \$0.00				
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JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

**2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS**

1011330

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03042 052 005	Unassigned Location RE	

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

IF PAID BY		PLEASE PAY
<input type="checkbox"/>	Nov 30, 2016	\$0.00
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		

ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
03042 052 006		1700

Unassigned Location RE

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

COM NE COR SEC W 50.01 FT S 369.24 FT
POB W 921.02 FT
See Additional Legal on Tax Roll

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.9290	36,000	0	36,000	321.44
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0750	36,000	0	36,000	2.70
LIBRARY GENERAL	1.3371	36,000	0	36,000	48.14
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP32 PROJECT (S01)	1.5000	36,000	0	36,000	54.00
SCHL DISCRNRY & CN (S01)	0.7480	36,000	0	36,000	26.93
SCHL GENERAL	4.6880	36,000	0	36,000	168.77
SCHOOL VOTED (S01)	1.0000	36,000	0	36,000	36.00
SUWANNEE RIVER WATER MGT DIST	0.4093	36,000	0	36,000	14.73
17 CITY OF ALACHUA	5.9900	36,000	0	36,000	215.64
TOTAL MILLAGE					24.6764
AD VALOREM TAXES					\$888.35

WANT TO RECEIVE YOUR BILL ELECTRONICALLY NEXT YEAR? VISIT www.AlachuaCollector.com AND SIGN UP FOR E-BILLS!

PAY ONLINE WITH E-CHECK



SCAN TO PAY

PAY ONLY ONE AMOUNT.

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

COMBINED TAXES AND ASSESSMENTS \$888.35

If Paid By
Please Pay **Nov 30, 2016**
\$0.00

JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

1011331

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03042 052 006	Unassigned Location RE	

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

IF PAID BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2016	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	



City of
ALACHUA

THE GOOD LIFE COMMUNITY

Authorized Agent Affidavit

A. PROPERTY INFORMATION

Address of Subject Property: Multiple Parcels

Parcel ID Number(s): 03042-50-006; 03042-050-007; 03042-052-002; 03042-052-003; 03042-052-004; 03042-052-005; 03042-052-006

Acreage: 35.82

B. PERSON PROVIDING AGENT AUTHORIZATION

Name: Juan Cuto Title: _____

Company (if applicable): RL Regi Florida LLC

Mailing Address: 700 NW 107th Avenue, Suite 200

City: Miami State: FL ZIP: 33172

Telephone: _____ FAX: _____ e-mail: _____

C. AUTHORIZED AGENT

Name: Kathy Hattaway Title: Planning Group Leader

Company (if applicable): Poulos & Bennett

Mailing address: 2602 E. Livingston Street

City: Orlando State: FL ZIP: 32803

Telephone: 407-487-2594 FAX: _____ e-mail: khattaway@poulosandbennett.com

D. REQUESTED ACTION:

Large Scale Comprehensive Plan Future Land Use Map Amendment.

I hereby certify that I am the property owner of record, or I have received authorization from the property owner of record to file an application for a development permit related to the property identified above. I authorize the agent listed above to act on my behalf for purposes of this application.

Signature of Applicant

Signature of Co-applicant

Typed or printed name and title of applicant

Typed or printed name of co-applicant

State of Florida County of Miami-Dade

The foregoing application is acknowledged before me this 19th day of December, 2016, by Juan

Cuto, who is/are personally known to me, or who has/have produced _____ as identification.

NOTARY SEAL

Signature of Notary Public, State of Florida

City of Alachua ♦ Planning and Community Development Department

PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

Revised 9/30/2014



JASON M ROSENTHAL

MY COMMISSION # FF993941

EXPIRES May 18, 2020

(407) 398-0153

FloridaNotaryService.com



City of
ALACHUA

THE GOOD LIFE COMMUNITY

Authorized Agent Affidavit

A. PROPERTY INFORMATION

Address of Subject Property: Multiple Parcels

Parcel ID Number(s): 03042-50-006; 03042-050-007; 03042-052-002; 03042-052-003; 03042-052-004; 03042-052-005; 03042-052-006

Acreage: 35.82

B. PERSON PROVIDING AGENT AUTHORIZATION

Name: Juan Curb Title: _____

Company (if applicable): RL Regi Florida LLC

Mailing Address: 700 NW 107th Avenue, Suite 200

City: Miami State: FL ZIP: 33172

Telephone: _____ FAX: _____ e-mail: _____

C. AUTHORIZED AGENT

Name: David McDaniel Title: _____

Company (if applicable): _____

Mailing address: 250 Killarney Drive

City: Winter Park State: FL ZIP: 32789

Telephone: _____ FAX: _____ e-mail: dave@m3development.com

D. REQUESTED ACTION:

Large Scale Comprehensive Plan Future Land Use Map Amendment.

I hereby certify that I am the property owner of record, or I have received authorization from the property owner of record to file an application for a development permit related to the property identified above. I authorize the agent listed above to act on my behalf for purposes of this application.

Signature of Applicant

Signature of Co-applicant

Typed or printed name and title of applicant

Typed or printed name of co-applicant

State of Florida County of _____

The foregoing application is acknowledged before me this 19th day of December, 2019, by Juan Curb

_____, who is/are personally known to me, or who has/have produced _____ as identification.

NOTARY SEAL

Signature of Notary Public, State of Florida

City of Alachua ♦ Planning and Community Development Department

PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

Revised 9/30/2014



SECTION 2: STATEMENT OF PROPOSED CHANGE

Existing Conditions

The property known as Alachua West consists of seven parcels totaling 35.82 acres of land, located on the west side of County Road 235A, approximately 900 feet south of its intersection with US 441 in the City of Alachua, Florida.

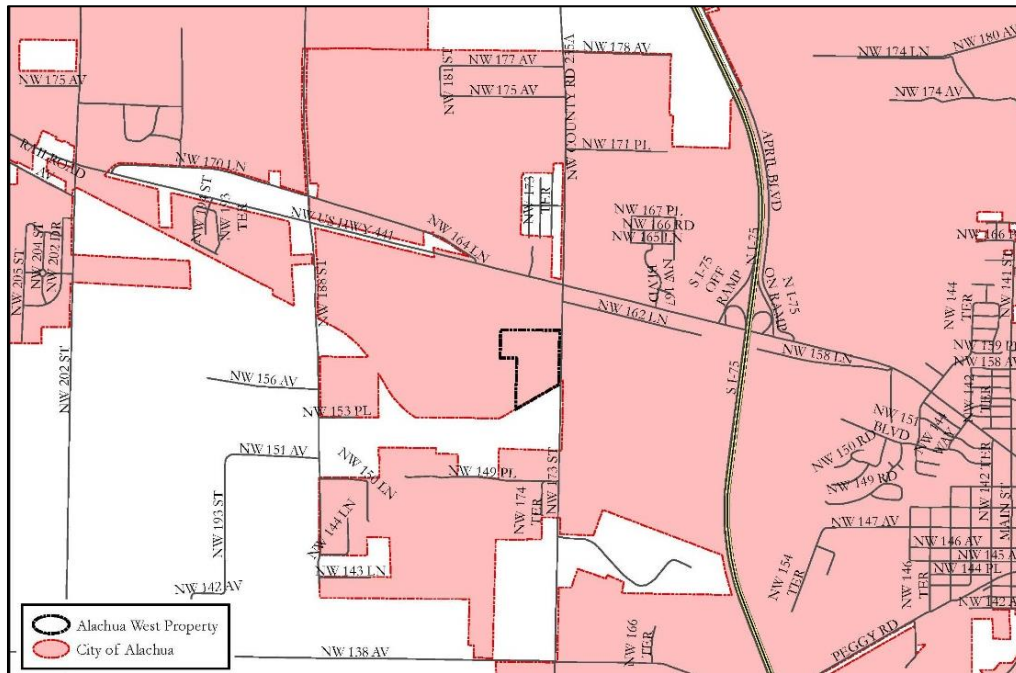


Figure 1: Location Map

The site is currently undeveloped, with the exception of an existing, vacant barn along the northeastern border of the property, and is adjacent to the City of Alachua jurisdiction limits along the south property line.

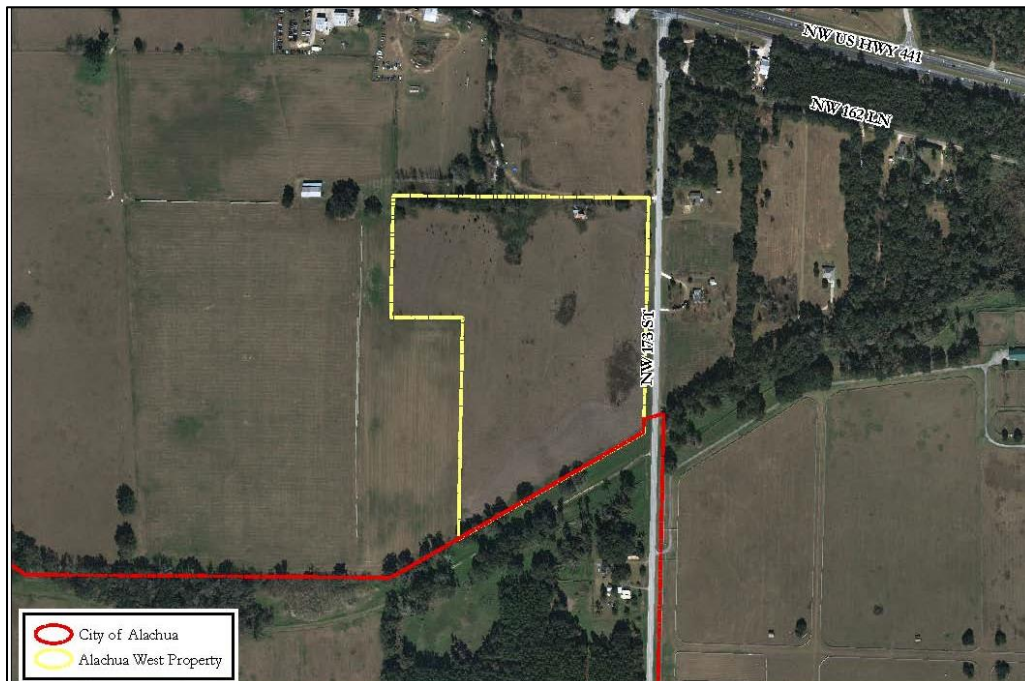


Figure 2: Aerial

As illustrated in the following figures, the property has a current Future Land Use designation of Medium Density Residential, which requires a minimum density of four (4) and maximum density of eight (8) dwelling units per acre. The current zoning designation of the property is RMF-8 (Residential Multi-family).



Figure 3: Existing Future Land Use

Surrounding Future Land Use

North	Agriculture; Commercial, Medium Density Residential – City of Alachua
East	Moderate Density Residential, Agriculture – City of Alachua
South	Rural/Agriculture – Alachua County
West	Agriculture – City of Alachua

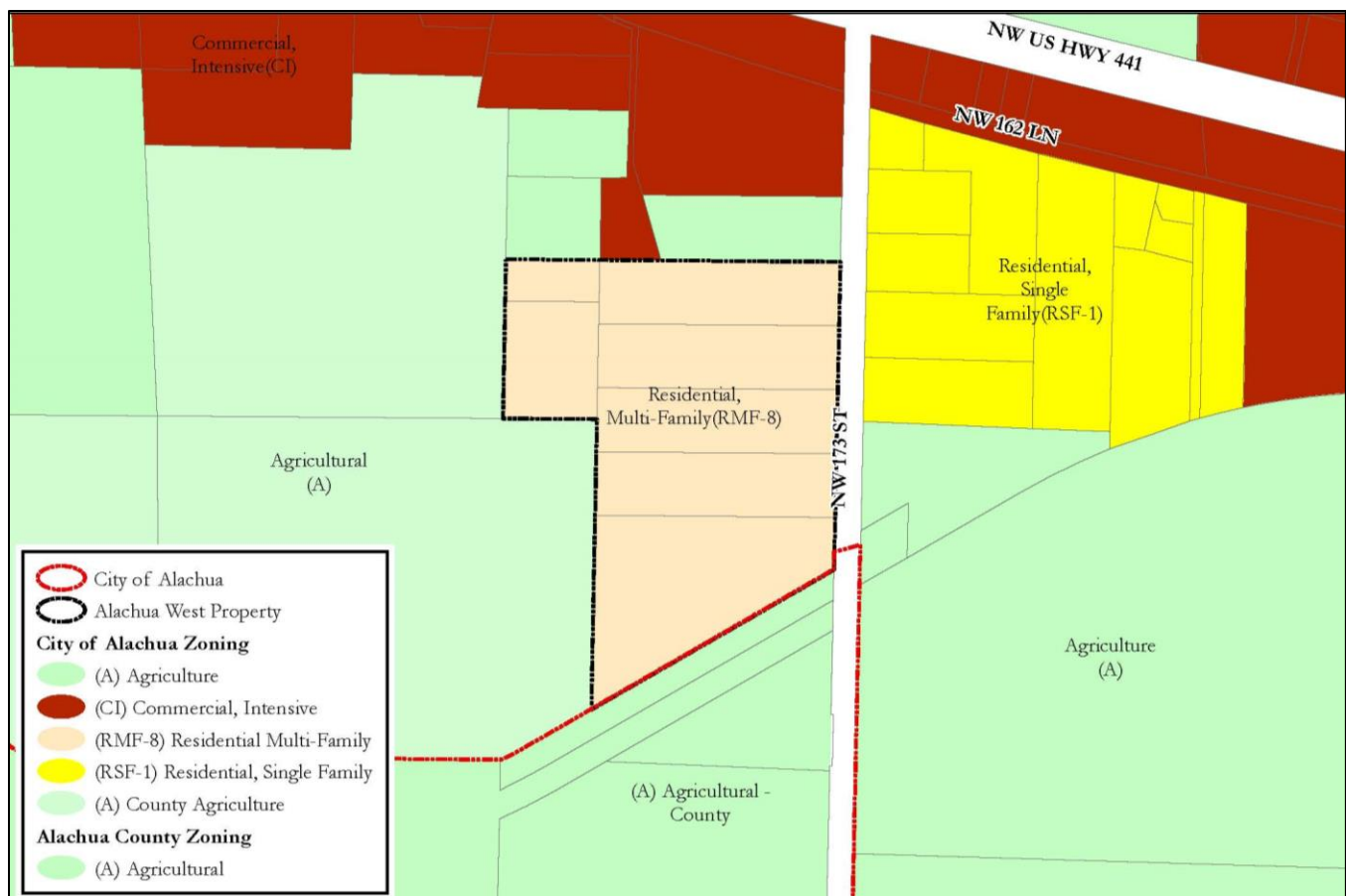


Figure 4: Existing Zoning

Surrounding Zoning

North	CI (Commercial Intensive), A (Agriculture) – City of Alachua
East	RSF-1 (Residential Single Family), A (Agriculture) – City of Alachua
South	A (Agriculture) – Alachua County
West	A (Agriculture) – City of Alachua

Proposed Change

The applicant requests approval of a large-scale Comprehensive Plan Amendment to change the Future Land Use to Moderate Density Residential with a concurrent rezoning to PD-R (Planned Development-Residential), to accommodate a single-family detached development of up to 143 dwelling units with a maximum density four (4) dwelling units per acre.

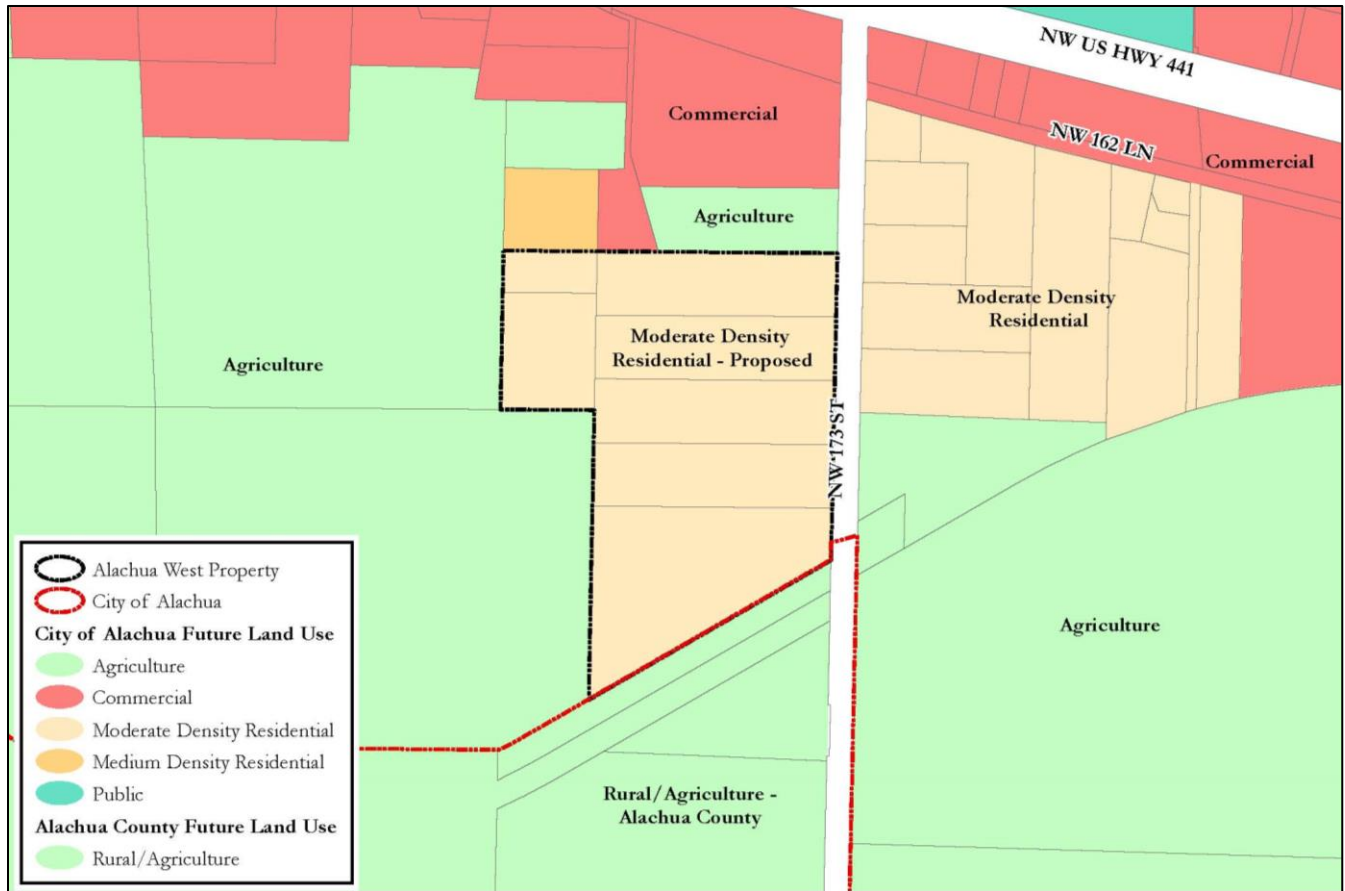


Figure 5: Proposed Future Land Use

SECTION 3: URBAN SPRAWL ANALYSIS

This section explains how this application is consistent with Chapter 163.3177(6)(a)9.b., Florida Statutes, in order to determine if a proposed amendment incorporates a development pattern or urban form that discourages the proliferation of urban sprawl. For the purposes of this application, a minimum of four out of eight criteria must be met. Those criteria accomplished by the Alachua West development are provided below, with statements explaining how they have been achieved provided in **bold**.

I. Directs growth and development to areas of the community in a manner that does not adversely impact natural resources.

Response: As elaborated in the following Comprehensive Plan Analysis and the Environmental Assessment conducted by McAlpine Environmental Consulting, Inc., the property does not contain any environmental features of a sensitive nature, including wetlands and listed species, with the exception of three (3) potentially occupied gopher tortoise burrows. The property is located outside of any designated flood prone areas and is a significant distance from existing and future public well locations within the City of Alachua. As such, the proposed development does not pose any adverse impacts to existing natural resources in the area.

II. Promotes the efficient and cost effective provision or extension of public infrastructure and services.

Response: The site is located within the City's Wastewater and Potable Water Service Areas, with access to an existing 16-inch sewer force main and 8-inch water main on CR 235A. It is also located within close proximity to a major commercial area near the I-75 and US 441 interchange and is easily accessible via existing, improved road networks.

IV. Promotes conservation of water and energy.

Response: The requested amendment will reduce the potential residential demand on public services by 143 dwelling units and, based on the Concurrency Impact Analysis conducted in Section 4 of this document, *reduces* the potential impacts to the City's potable water capacity by 39,325 gallons per day, promoting conservation of water and energy resources.

V. Preserves agricultural areas and activities.

Response: While the site is presently designated for multi-family use, it is surrounded by agriculturally zoned lands. The reduction in development intensity proposed by the Alachua West development will reduce potential impacts to surrounding agricultural areas and will, therefore, assist in their preservation.

VII. Creates a balance of land uses based on demands of residential population for the nonresidential needs of an area.

Response: While there is a significant concentration of moderate density residential development in the core area of downtown Alachua, east of I-75, the area west of I-75, near the interchange with US 441 has a smaller concentration of residential uses. The project is within walking distance to the US 441 corridor, which anticipates a potential commercial development exceeding 1.8 million square feet of commercial space, according to Table 10 of the Growth Trends analysis completed by the City in September 2016. The proposed development will offer rooftops to support the existing and anticipated commercial services in this area while minimizing impacts to the immediately adjacent agricultural uses.

SECTION 4: CONCURRENCY IMPACT ANALYSIS

The Alachua West Project anticipates the development of up to 143 single family, detached dwelling units, resulting in a density of approximately 3.35 du/acre. The proposed reduction in land use intensity/density results in a net decrease of four (4) du/acre or 143 dwelling units, based on the present Future Land Use designation of Medium Density Residential, which permits up to eight (8) du/acre. The following Concurrency Impact Analysis addresses the difference in development entitlements between the existing and the proposed Future Land Use designations, as detailed in Table 1 below:

Table 1: Density Analysis

	City of Alachua Future Land Use	Max Density Permitted	Total Dwelling Units (DU)
Existing FLU	Medium Density Residential	8 DU/AC	286
Proposed FLU	Moderate Density Residential	4 DU/AC	143
Net Reduction in Total Units			-143

ANALYSIS OF PUBLIC FACILITY IMPACTS

1. Impacts to Transportation Network

The subject property has direct frontage on CR 235A, South of US 441. According to the Transpiration Element of Alachua's Comprehensive Plan, Object 1.1 Level of Service, this segment of CR 235A is to maintain a minimum Level of Service (LOS) of D. Table 2 below compares the potential impacts to this roadway between the development potential of the current and proposed Future Land Use, as well as the projected maximum development anticipated for this site.

Table 2: Trip Generation Calculations

	Alachua Land Use	ITE Land Use	Units	AM Peak Trips	PM Peak Trips	Total Daily Trips
Existing FLU	Medium Density (8 DU/AC)	MF Condo/ Townhomes (230)	286	126	149	1,662
Proposed FLU	Moderate Density (4 DU/AC)	Single-Family Detached (210)	143	107	143	1,361
Net Reduction in Potential Trips based on Proposed Land Use and Development			-143	-19	-6	-301

Notes: 1. Trip Generation calculations are based on ITE Trip Generation Manual, 9th Edition

2. Those land uses chosen within the ITE Manual are based on those uses permitted within the existing Future Land Use and those proposed by the Alachua West Development

Table 3: Trip Generation Calculations

Roadway Segment	Average Daily Trips (LOS)*	Available Capacity (ADT)*	Peak Hour Trips (LOS)*	Available Capacity (Peak Hr)*	Capacity Remaining (ADT)	Capacity Remaining (Peak Hr)
CR235A (S. of US 441)	14,580	10,200	1,314	899	8,839	756
US 441 (Segment 5)	35,500	7,320	3,200	519	5,959**	376**

* City of Alachua Development Monitoring Report, October 2016

** This number accommodates a 100% impact from the development on Segment 5 of US 441. While a majority of vehicular trips generated by the development will impact this roadway, the percentage of impact will be less than 100%. The full impact has been shown here to illustrate that there is sufficient capacity on this segment to accommodate site traffic.

Summary of Analysis: The requested amendment and proposed development would potentially generate **301 fewer daily vehicle trips** than the existing Future Land Use development maximum. Based on the net reduction in vehicular trips and resulting impacts anticipated to adjacent roadways and intersections projected by the proposed Comprehensive Plan Amendment, a full Traffic Impact Analysis was not required for this request; however, based on the October 2016 Development Monitoring Report, the potential impacts of this project on both roadway segments will not increase traffic levels beyond their current LOS.

2. Impacts to Water and Wastewater Utility Systems

Potable Water

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
2. Quantity: System-wide potable water distribution and treatment will be sufficient to provide a minimum of 275 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Florida Administrative Code.
3. System Capacity: If the volume of existing use in addition to the volume of the committed use of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Table 4 below compares the potential impacts to the City's potable water system between the development potential of the current and proposed Future Land Use.

Table 4: Potable Water Impact Calculations

Total DU Based on Densities from Table 1	City of Alachua Potable Water Generation per Unit	Potable Water Generation by Project	Residual Capacity after Project Impacts* (From 997,103 Gallons/Day)
286 DU (Max Existing FLU)	275 Gallons/Unit	78,650 Gallons/Day	918,453 Gallons/Day (60.07% Capacity)
143 DU (Max Proposed FLU)	275 Gallons/Unit	39,325 Gallons/Day	957,778 Gallons/Day (58.36% Capacity)
Net Reduction in Potential Impacts to Potable Water Systems		-39,325 Gallons/Day	

* City of Alachua Development Monitoring Report, October 2016

Sanitary Sewer

Policy 1.1.d of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the Alachua Comprehensive Plan establishes the following level of service standards for sanitary sewer facilities:

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).
2. Quantity: System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.
3. System capacity: If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Table 5 below compares the potential impacts to the City's wastewater system between the development potential of the current and proposed Future Land Use.

Table 5: Wastewater Impact Calculations

Total DU Based on Densities from Table 1	City of Alachua Sanitary Sewer Impacts per Unit	Sanitary Sewer Generation by Project	Residual Capacity after Project Impacts* (From 811,693 Gallons/Day)
286 DU (Max Existing FLU)	250 Gallons/Unit	71,500 Gallons/Day	740,193 Gallons/Day (51.65% Capacity)
143 DU (Max Proposed FLU)	250 Gallons/Unit	35,750 Gallons/Day	775,943 Gallons/Day (48.27% Capacity)
Net Reduction in Potential Impacts to Potable Water Systems		-35,750 Gallons/Day	

* City of Alachua Development Monitoring Report, October 2016

Summary of Analysis: The requested amendment and proposed development would potentially **require 39,325 fewer gallons of potable water and generate 35,750 fewer gallons of wastewater per day** than the existing Future Land Use development maximum. Impacts from the maximum density allowed by the proposed Moderate Density Future Land Use would fall well below the 85% capacity design cap for potable water and wastewater facilities.

3. Impacts to Solid Waste Systems

Policy 2.1.a. of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the Alachua Comprehensive Plan establishes a level of service standard for solid waste disposal facilities of 0.73 tons per capita per year. Table 6 below compares the potential impacts to the City's solid waste facilities between the development potential of the current and proposed Future Land Use.

Table 6: Solid Waste Impact Calculations

Total DU Based on Densities from Table 1	Population based on rate of 2.6 persons per household*	Solid Waste Generated (.73 tons per capita per year)**
286 DU (Max Existing FLU)	744	543.12
143 DU (Max Proposed FLU)	372	271.56
Net Reduction in Potential Solid Waste Generated based on Proposed Land Use and Development		-271.56 Tons/year

* US Census Bureau, 2010

** City of Alachua Development Monitoring Report, October 2016

Summary of Analysis: The requested amendment would potentially **generate 271.56 fewer tons of solid waste per year** than the existing Future Land Use development maximums.

4. Impacts to Public Recreation

Policy 1.2.b of the Recreation Element of the Alachua Comprehensive Plan establishes the following level of service standards for recreation facilities: The City shall adhere to a minimum level of service of five (5.0) acres of community, neighborhood or pocket park, per 1,000 persons, with a minimum of 20 percent of this in improved, passive parks. Table 7 below compares the potential impacts to the City's recreation facilities between the development potential of the current and proposed Future Land Use.

Table 7: Recreational Impact Calculations

Total DU Based on Densities from Table 1	Population based on rate of 2.6 persons per household*	Recreation Area needed (5.0 Acres/1,000 population)**	Available Recreation Acreage after Project Impacts** (From 39.06 Acres)
286 DU (Max Existing FLU)	744	3.72 Acres	35.34 Acres
143 DU (Max Proposed FLU)	372	1.86 Acres	37.2 Acres
Net Reduction in Potential Recreation Area needed based on Proposed Land Use and Development		-1.86 Acres	

* US Census Bureau, 2010

** City of Alachua Development Monitoring Report, October 2016

Summary of Analysis: The requested amendment and proposed development would potentially **require 1.86 acres less recreation area** than the existing Future Land Use development maximums. Furthermore, according to the October 2016 Development Monitoring Report, a minimum of 10.22 acres of improved passive parks space is required to serve the present population, plus the impacts proposed by this development in order to meet the 20% requirement listed in the Recreation LOS standards. As there are currently 27.73 acres of improved passive park space existing, this LOS is still met.

5. Impacts to Public Schools

Objective 2.2 of the Public School Facilities Element of the Alachua Comprehensive Plan establishes the following level of service standards for public school facilities:

Policy 2.2.a: Uniform Application of Level of Service (LOS) Standards: The LOS standards established herein shall be applied consistently by all the local governments within Alachua County and by the School Board on a district-wide basis to all schools of the same type.

Policy 2.2.b: Level of Service (LOS) Standards: The uniform, district-wide LOS standards shall be 100% of Program Capacity (see definition) for elementary, middle, and high schools. This LOS standard shall apply to all concurrency service areas (CSA) as adopted in the Interlocal Agreement. For combination schools, the School Board shall separately determine the capacity of each school to accommodate elementary, middle and high students and apply the LOS standard prescribed above for elementary, middle and high levels respectively.

Tables 8 and 9 below compare the potential impacts to Alachua County Schools between the development potential of the current and proposed Future Land Use.

Table 8: Projected Student Generation

Total DU Based on Densities from Table 1	Elementary Students	Middle School Students	High School Students	Total Student Generation
286 DU (Max Existing FLU)	23	9	9	41
143 DU (Max Proposed FLU)	22	10	13	45
Net Change in Potential Student Generation based on Proposed Development				+4 Students

Student generation rates per the School Board of Alachua County

Table 9: Available Capacity by School Concurrency Service Area (CSA)

Total DU Based on Densities from Table 1	Available Capacity by CSA (2017-18)*	Development based Student Generation**	Residual Capacity
Alachua Elementary CSA	249	22	227
Mebane Middle CSA	397	10	387
Santa Fe High CSA	357	13	344

*Available capacity per the School Board of Alachua County, November 24, 2015 published Available Capacity rates by Concurrency Service Area for the 2017-2018 School Year.

** Table 7 Proposed Development generation

Summary of Analysis: The requested amendment would **generate 4 additional students** impacting Alachua County Schools than the existing Future Land Use development maximum by simple virtue of the fact that single family residential uses generate a more students than multi-family residential uses, according to the School Board of Alachua County's Student Generation Rates. Data provided by the School Board related to available capacity for the 2017-2018 school year indicates that there is sufficient capacity to accommodate the 45 potential students generated by the proposed development. This information is also reflected in the Public School Student Generation Form included within this package.

SECTION 5: NEEDS ANALYSIS

In September 2016, the City of Alachua completed a report regarding recent growth trends and population statistics intended to guide the City's long range plans for growth. A key component to this report identifies those areas both targeted for desired growth by the City and anticipating a large degree of future development. The Alachua West property is located outside of these identified areas and within a portion of the City that, while near the interchange of I-75 and US 441, is still predominantly rural and agricultural in nature.

The property currently has a Medium Density Future Land Use with an RMF-8 zoning, both of which accommodate up to eight (8) dwelling units per acre. This density is far greater than that permitted by the surrounding agricultural area that allow only one unit for every five acres of land. The Alachua West development would provide greater consistency with the agricultural nature of the area, while providing the rooftops necessary to support the commercial uses anticipated at the I-75/US 441 Interchange, which have the potential to exceed 1.8 million square feet of commercial space, according to Table 10 of the development report referenced above. It is also crucial to balance the desire for additional density with the need for higher quality housing

According to the Growth Trends Analysis conducted by the City in September 2016, the population is estimated to increase by 5,528 people from 2015 to 2025, yielding a demand for 2,126 new housing units (based on an average 2.6 people per unit). This population increase, in conjunction with an expanding biotechnical industry and new employment centers, creates a high demand for viable, high-quality residential development, which will be accommodated by the potential 143 dwelling units within the Alachua West development.

Approval of this application will assist the City of Alachua in housing a higher-income population while maintaining compatibility with the agricultural nature of this area of the City.

SECTION 6: COMPREHENSIVE PLAN ANALYSIS AND JUSTIFICATION

The following pages analyze how the proposed development successfully implements the Goals, Objectives and Policies in the City of Alachua's Comprehensive Plan. Those policies from each element of the Comprehensive Plan that are relevant to the proposed development have been included below, with a corresponding statement as to how the development would comply with those stated policies. Responses are provided in **Bold**. Note: Policies related to concurrency management and Level of Service have been addressed under Section 4: Concurrency Analysis.

Future Land Use Element

Objective 1.2: Residential

Policy 1.2.a: Moderate density residential (0 to 4 dwelling units per acre): The moderate density residential land use category allows residential development at a maximum density of 4 dwelling units per acre. The following uses are allowed in the moderate density residential land use category:

1. Single family, conventional dwelling units;
2. Accessory dwelling units;
3. Manufactured or modular homes meeting certain design criteria
4. Mobile homes only within mobile home parks;
5. Duplexes and quadplexes;
6. Townhomes;
7. Residential Planned Developments;
8. Supporting community services, such as schools, houses of worship, parks, and community centers

Response: The proposed amendment would accommodate a 143-unit single-family residential development, which is consistent with the Moderate Density Residential Future Land Use.

Objective 2.4: Landscaping and Tree Protection Standards: The City shall adopt landscaping and tree protection standards in order to achieve the aesthetic design values of the community and preserve tree canopies, as well as specimen protected, heritage and champion trees.

Policy 2.4.c: Tree Protection: The City shall require the preservation of heritage trees and champion trees when possible. Standards shall be set for determining the health and safety risks associated with heritage and champion trees both on individual residential lots, and existing and proposed developments.

Policy 2.4.d: Tree Protection: The City shall establish standards for the preservation of regulated trees. Particular attention shall be given to preserving specimen and preferred species of regulated trees, where feasible.

Policy 2.4.e: Tree Protection: Along with establishing standards for tree removal and mitigation, the City shall establish a tree banking program to provide flexibility for re-planting trees through the mitigation process. Funds within the tree bank may be utilized to plant landscaping on city-owned properties, in public parks, and in road rights of way, where appropriate.

Response: While an in depth tree survey has not yet been conducted on the property, the developer and project engineer work diligently with the City to determine any existing trees on the property that can be reasonably preserved and will mitigate any trees that must be removed, as required by City Code.

Objective 2.5: Open Space Standards: The City shall utilize open space requirements to preserve the rural character of Alachua, protect natural resources, and provide spaces for people to recreate and gather.

Response: Open space will be provided as part of the proposed subdivision plans in accordance with Section 6.7 of Alachua's Code of Ordinances.

Objective 3.11: Archeological Preservation: The City of Alachua shall encourage the protection of sites of archeological significance through the development review process and coordination with local, state and federal agencies.

Policy 3.11.a: The City shall utilize data from Alachua County and the State of Florida in review of potential archaeologically sensitive areas within the City of Alachua during the development review process.

Policy 3.11.b: Individual sites and areas of archeological significance shall be preserved, protected or acquired and, whenever possible, enhanced.

Response: A letter from the Florida Division of Historical Resources has been provided under the appendices section that verifies there are no documented archaeological resources existing on the subject property. The existing barn onsite is documented within the Florida Master Site File, but is considered ineligible for nomination to the National Register

Objective 5.1: Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Policy 5.1.a: Topography: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

Response: Per Alachua County Growth Management Department's 2001 Contours data, the property features elevations ranging from 136 at the northwestern edge of the property down to 104 near the southeast corner of the property adjacent to CR 235A, resulting in a roughly 2.5% slope across the property, as illustrated in Figure 6 below. This terrain is not of unusual grade that would be adversely impact by development.



Figure 7: FEMA Firm Map 12001C0120D, June 16, 2006

Policy 5.1.d: Wetlands: The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.

Response: No wetlands were identified on the property in the Listed Species and Habitat Study conducted in December 2016. A full copy of this report may be located under Section 10 of this document.

Policy 5.1.e: Habitat: The City shall require as part of the development review process, an inventory of listed species for all new developments in areas identified as known habitat for listed species if listed species are known to exist in close proximity to the development. The survey shall include detailed information regarding type, quantity, location, and habitat requirements for any listed species identified. A de minimis threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Response: A complete Listed Species and Habitat Study was conducted onsite. Of all potential listed species, only gopher tortoises were observed onsite, with three (3) potentially occupied burrows. The developer will work with the Florida Fish & Wildlife Conservation Commission (FFWCC) to determine the best course of action for the existing burrows. A full copy of this report may be located under Section 10 of this document.

Objective 5.2: Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted level of service standards are maintained.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, public schools, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

Response: As the proposed amendment would reduce the maximum residential density from 8 DU/Acre to 4 DU/Acre (a reduction of 143 units based on the proposed development program), the potential impacts to public facilities and services have been reduced. Please see Section 4 of this document for a complete Concurrency Impact Analysis.

Objective 7.2: Wellfield protection: The City shall ensure protection of its current and future wellfield sites through strict adherence to the adopted wellfield protection plan and identification of wellfield protection areas on the Future Land Use Map Series.

Policy 7.2.a: A 500' radius area, known as the primary protection zone, shall be maintained around each city-owned potable water well. The primary protection zone is a conditional development zone. Low impact development that limits density and conditions uses so that the community wellheads are protected from contamination shall be permitted. In no instance shall development be permitted that conflicts with Chapter 62-521 - Wellhead Protection of the Florida Administrative Code (FAC).

Policy 7.2.b: A secondary zone shall be maintained around each city-owned potable water well primary protection zone. This secondary zone is expanded from the primary zone at a 10-degree angle on both sides of its base to allow for variations in the angle of ground water flow and extending in an upflow direction. The secondary zone shall be managed as a low-density development zone.

Response: The property is located outside any current and future wellfield sites and those buffer zones outlined in the policies above and will, therefore, have no potential adverse impacts to these areas.

GOAL 9: Water and Wastewater Service: The City will ensure that new development within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a. of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Policy 9.2: Any new residential subdivision within the corporate limits, where potable water service is available, as defined in Policy 4.2.a. of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, regardless of size, that is within either a Residential or Agriculture Future Land Use Map Designation shall connect to the City of Alachua's potable water system. Any new residential subdivision within the corporate limits, where wastewater service is available, as defined in Policy 1.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, regardless of size, that is within a Residential Future Land Use Map Designation shall connect to the City of Alachua's wastewater system.

Response: The proposed development will connect to the City's water and wastewater services, as available and required by the City of Alachua. Required locations will be determined during the site review process. A full analysis of potential impacts to the City's water and wastewater systems is provided under Section 4 of this document.

Transportation Element

Objective 1.2: Access Management: The City shall establish access management standards and coordinate with Alachua County and the Florida Department of Transportation to maintain access management standards, which promote safe and efficient travel.

Policy 1.2.a: The City shall control the number and frequency of connections and access points of driveways and streets to arterial and collector streets by requiring access points for state roads to be in conformance with Chapter 14-96 and 14-97, Florida Administrative Code, or subsequent provision,

Policy 1.2.b: The City shall establish the following access point requirements for City streets:

1. permitting 1 access point for ingress and egress purposes to a single property or development;
2. permitting 2 access points for ingress and egress to a single property or development if the minimum distance between the two access points exceeds 20 feet for a single residential lot or 100 feet for nonresidential development and new residential subdivisions;
3. permitting 3 access points for ingress and egress to a single property or development if the minimum distance between each access point is at least 100 feet for residential and non-residential development; or
4. permitting more than 3 access points for ingress and egress to a single property or development where a minimum distance of 1000 feet is maintained between each access point.

Response: The development will be served by a single, full access connection to CR 235A, to be designed to City and Alachua County standards, as required. Furthermore, if required by the City, a secondary emergency-only access will be provided during the design-stage of the project.

Objective 1.4: Bicycle and Pedestrian Standards

The City shall work to develop a network of bicycle and pedestrian facilities which connect all areas of the City.

Policy 1.4.c: The City shall require pedestrian paths within subdivisions and within new developments to be connected to paths outside the development.

Response: While no pedestrian paths currently exist on this segment of CR 235A, all sidewalks within the development will offer complete interconnectivity and will connect to any pedestrian facilities in place on CR 235A at the time of development.

Housing Element

GOAL 1: To facilitate the provision of safe, sanitary, healthy and affordable, quality housing for all present and future City residents, while preserving and enhancing the community's physical and social fabric, and cultural diversity, and while protecting the interests of special needs groups, and very low and low, and moderate-income households.

Objective 1.1: Provision of Safe, Affordable, Quality Housing

The City shall facilitate the provision of safe, sanitary, healthy and affordable, quality housing, to accommodate all present and future residents at all income and age levels, including those with special needs, through a variety of housing types, preferably within mixed-income neighborhoods.

Policy 1.1.a: The City shall encourage development of a variety of housing types including conventional single family homes, accessory dwelling units, multi-family units, group homes, assisted living facilities, foster care facilities, mobile homes and manufactured housing, and shall ensure that appropriate land use designations and zoning districts exist to accommodate each type.

Response: The Alachua West development will consist of up to 143 single family detached dwelling units that will enhance the property values within this area, serve nearby employment centers and offer quality housing to existing and future Alachua residents.

Community Facilities and Natural Groundwater Aquifer Recharge Element

GOAL 1: Wastewater
Plan for and provide adequate, high quality and economical wastewater service while protecting the environment, especially groundwater resources.

Objective 1.2: Wastewater service will be made available to new development in a manner to promote compact urban growth, promoting development where wastewater service is available, and discouraging urban sprawl.

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

1. A gravity water system exists within 100 ft of the property line of any residential subdivision lot or single family residence and wastewater service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
2. A gravity wastewater system exists with 500 ft of the property line of any residential subdivision consisting of 5 units or less and the gravity wastewater system can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
3. A gravity wastewater system, wastewater pumping station, or force main exists within ¼ mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Policy 1.2.g: To promote compact urban growth, all wastewater line extensions for new development outside the Community Wastewater Service Area will be funded by development, developer or permittee.

Response: The property is located within the City's wastewater service area and will be served by an existing 16-inch force main running through CR 235A.

GOAL 3: Stormwater
Develop and maintain a stormwater management system that minimizes flooding, protects, preserves and enhances desirable water quality conditions, and, where possible, preserves and utilizes existing natural features.

Objective 3.1: Ensure provision of drainage and stormwater retention through level of service standards and design requirements to minimize flooding and to protect and improve water quality.

Objective 3.3: The City shall implement design guidelines for stormwater management facilities to promote dual use, protect natural features, and provide aesthetically pleasing facilities.

Objective 3.4: The City shall promote practices that minimize erosion, sedimentation and stormwater runoff.

Objective 3.5: The City shall work with the Suwannee River Water Management District and the FDEP criteria for karst stormwater management system design.

Response: Onsite stormwater management facilities for proposed development will be designed and constructed in accordance with the City of Alachua, Suwannee River Water Management District stormwater requirements, as well as those of other applicable agencies.

GOAL 4: Potable water
Provide an adequate supply of high quality potable water to customers throughout the water service area.

Objective 4.1: Achieve and maintain acceptable levels of service for potable water quantity and quality.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

1. A water main exists within 100 ft of any residential subdivision lot or single family residence water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
2. A water main exists within 500 ft of any residential subdivision consisting of 5 units or less and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.
3. A water main exists within ¼ mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Response: The property is located within the City's Potable Water Service Area and will be served by an existing 8-inch water main located within CR 235A right of way.

Conservation and Open Space Element

GOAL 1: To conserve, protect, manage and restore the natural and environmental resources of the City by emphasizing stewardship and understanding that environmental issues transcend political and geographical boundaries.

Objective 1.2: Native Communities and Ecosystems

The City shall preserve and protect native communities and ecosystems, particularly those considered endangered or threatened.

Policy 1.2.a: The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

Policy 1.2.j: The City shall require all new development to be oriented in a fashion that reduces habitat fragmentation and preserves the largest possible contiguous area of undisturbed habitat, to the extent practicable.

Policy 1.2.k: The City shall establish criteria for the removal of vegetation that is neither threatened nor endangered, distinguishing between native, non-invasive exotics, and invasive exotics.

Policy 1.2.l: The City shall protect regulated, heritage, and champion trees. The City may continue to participate in the Florida Champion Tree Program. Additionally the City will require tree removal permits to protect regulated, heritage, and champion trees from accidental removal and other development related disturbances.

Response: The Listed Species and Habitat Study conducted onsite found no presence of wetlands or listed flora species on the property. The only listed fauna onsite were three (3) potentially occupied gopher tortoise burrows, the treatment of which will be coordinated with the FFWCC. Furthermore, the developer will work with City Staff to determine the suitability and feasibility for preservation of any existing trees on the property through the site development process.

Objective 1.3: Listed Species

The City shall protect species listed by State and Federal agencies as endangered, threatened or of special concern, and their habitats.

Policy 1.3.d: The City shall require prior to development approval, an inventory of listed species for all new developments in areas identified as known habitat for listed species. The inventory shall include detailed information regarding type, quantity, and location and habitat requirements for any listed species identified. De minimis threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Policy 1.5.c: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

Response: Per Alachua County Growth Management Department's 2001 Contours data, the property features elevations ranging from 136 at the northwestern edge of the property down to 104 near the southeast corner of the property adjacent to CR 235A,

resulting in a roughly 2.5% slope across the property, as illustrated in Figure 6 below. This terrain is not of unusual grade that would be adversely impact by development.

Objective 1.10: Wetlands

The City shall protect and preserve wetland values and functions from adverse, human caused, physical and hydrologic disturbances.

Response: No wetlands onsite were discovered during the Environmental Assessment conducted by McAlpine Environmental Consulting, Inc.

SECTION 7: ENVIRONMENTAL ANALYSIS

An environmental assessment was conducted for the subject property by McAlpine Environmental Consulting, including a thorough site inspection on December 14, 2016. The consultant has provided a complete *Listed Species and Habitat Study* report, included under Section 10 of this document and summarized below.

Wetlands: No wetlands or surface waters were observed onsite.

Soils: Six (6) soil types were identified on the property, as illustrated in Figure 8 below. All soils identified are considered well-drained.

Soil #	Soil Name
3	Arredondo fine sand 0-5% slope
5	Fort Meade fine sand 0-5% slope
30	Kendrick sand 2-5% slope
33	Norfolk loamy fine sand 2-5% slope
69	Arredondo fine sand 0-5% slope
78	Norfolk loamy fine sand 2-5% slope



Figure 8: USDA Soil Survey, mapped by McAlpine Environmental Consulting, Inc.

Listed Flora and Fauna: Of fourteen (14) listed flora and nine (9) listed fauna with the potential to exist on the site based on geographical location and preferred habitat, the only species found onsite was the gopher tortoise, with three (3) potentially occupied burrows located onsite. The consultant recommended a follow up survey prior to beginning construction on the property.

SECTION 8: CONCLUSION

The foregoing analyses were conducted to determine how the applicant's request for approval of a large-scale Comprehensive Plan Amendment to change the Future Land Use from Medium to Moderate Density Residential adheres to the City of Alachua's adopted ordinances and policies and avoids adverse impacts to the surrounding area and City services.

Urban Sprawl Analysis

The requested amendment, which would accommodate the construction of a single-family detached development of approximately 143 dwelling units with a maximum density four (4) dwelling units per acre, has been illustrated to achieve five (5) of the eight (8) criteria used in determining whether the request incorporates a development pattern or urban form that discourages the proliferation of urban sprawl. As the City requires achievement of at least four (4) of these criteria, the requested amendment has met this requirement.

Concurrency Impact Analysis

The requested amendment reduces the maximum permitted density of the site from eight (8) units per acre to four (4) units per acre, thereby reducing the potential impacts to the City's established Levels of Service (LOS) for transportation, potable water, wastewater, recreation, solid waste and public schools. Furthermore, the anticipated development of 143 single family dwelling units would not exceed the LOS for any of the above listed services and has, therefore, met this requirement.

Needs Analysis

The requested amendment would serve the needs of a rapidly growing population, providing rooftops to serve the significant amount of commercial services anticipated for the nearby I-75/US 441 Interchange, while offering a high quality of housing to serve the growing biotechnology industry and other new industries expected to establish in the area. As Alachua West Project will assist the City of Alachua in housing a higher-income population while maintaining compatibility with the agricultural nature of this area of the City, the request has met this requirement.

Comprehensive Plan Analysis

The requested amendment has been analyzed with respect to its consistency with the established Goals, Objectives and Policies of Alachua's Comprehensive Plan. This analysis has successfully illustrated that the Alachua West Project is in compliance with all Elements of the Comprehensive Plan through treatment of existing site conditions, a reduction in density and development program that meet Level of Service requirements and understanding of those development requirements necessary to achieve the City's established goals and policies.

As all of these criteria have been met, the applicant requests approval of the requested large scale Comprehensive Plan Amendment by the City of Alachua.

SECTION 9: MAPS

Figure 1: General Location Map

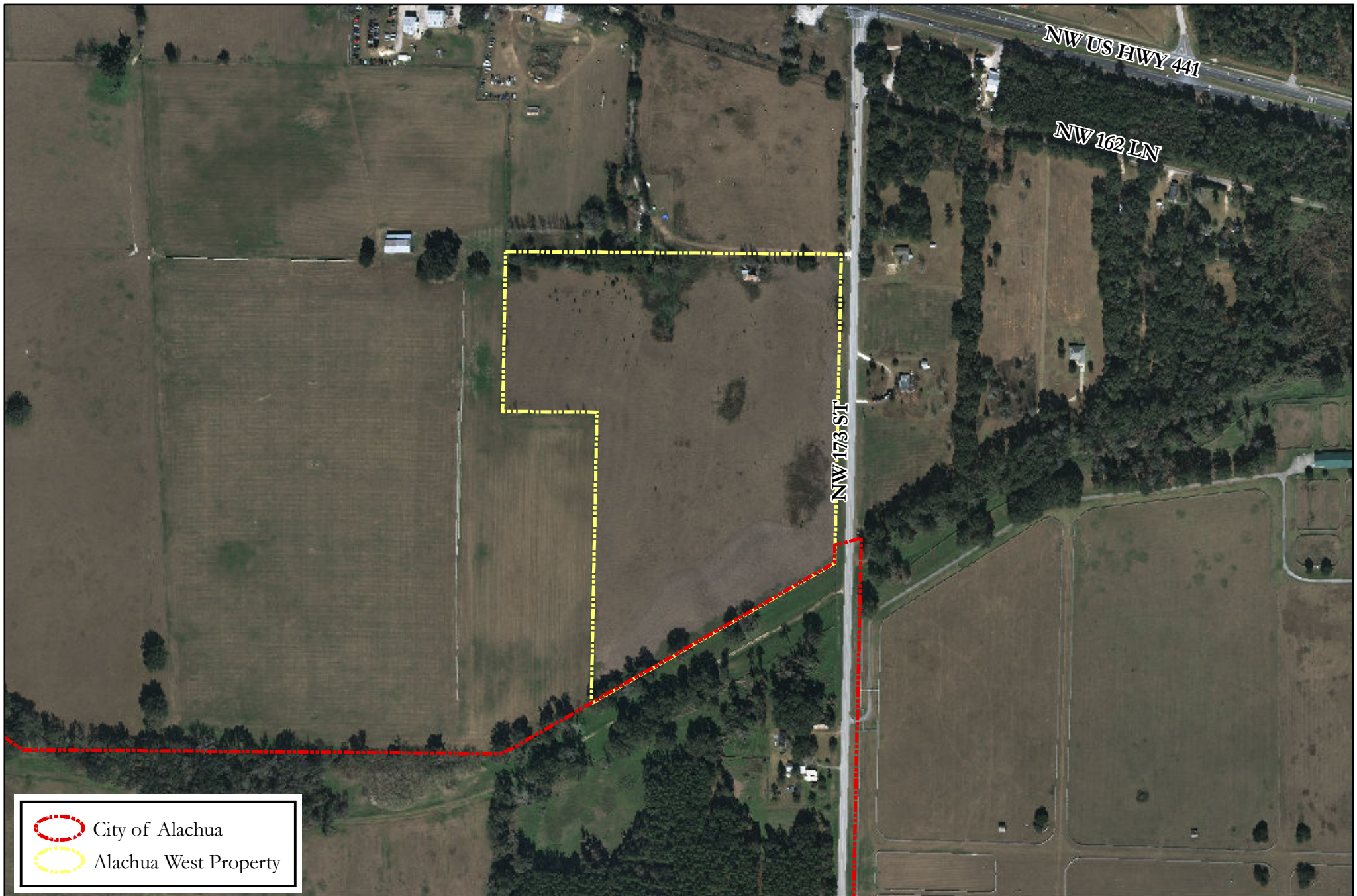
Figure 2: Aerial Photos

Figure 3: Zoning

Figure 4: Existing Future Land Use

Figure 5: Proposed Future Land Use

Figure 6: Floodplain



Source: Alachua County Aerials, 2014

FIGURE 2: AERIAL

ALACHUA WEST PROPERTY

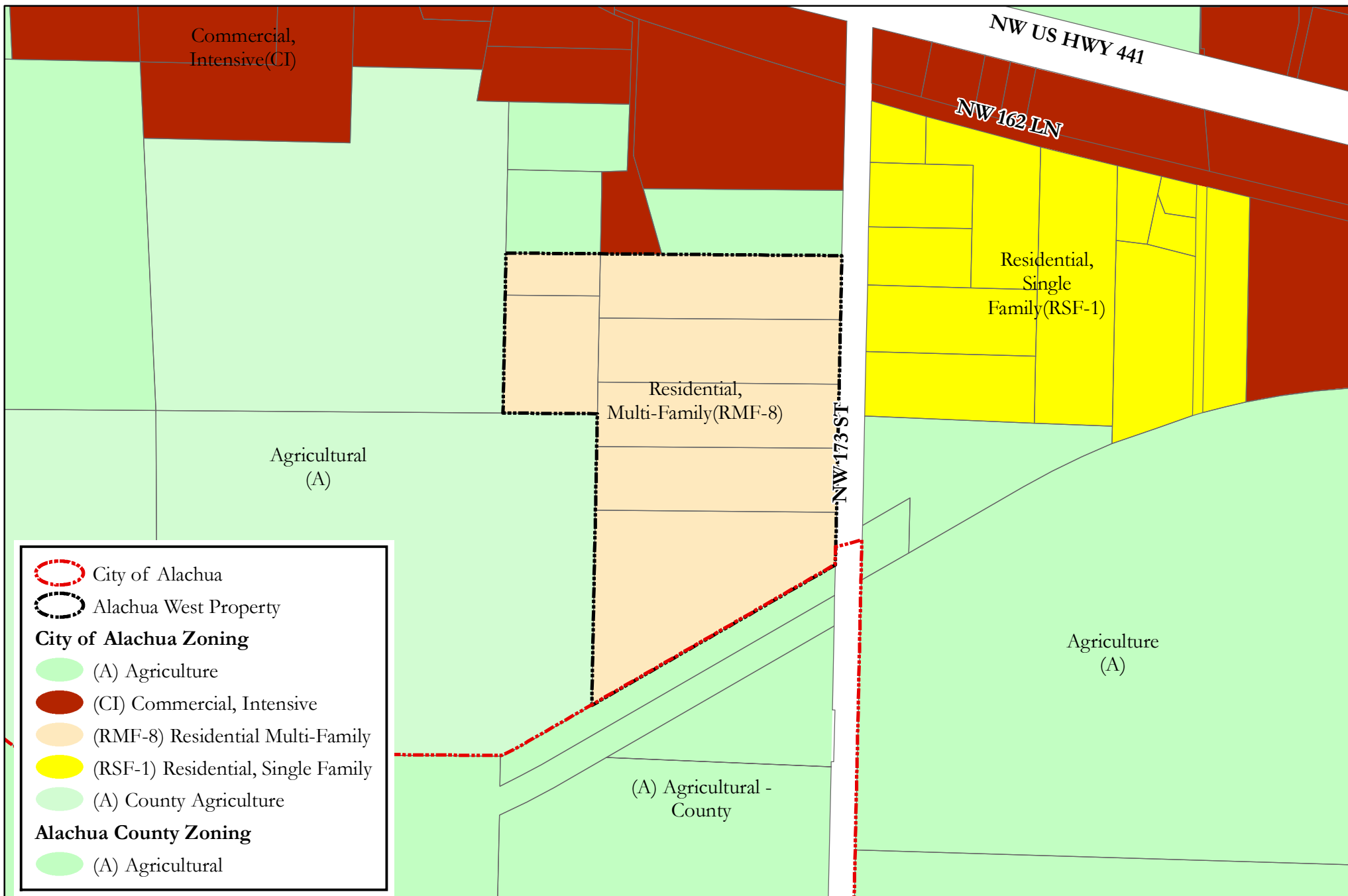
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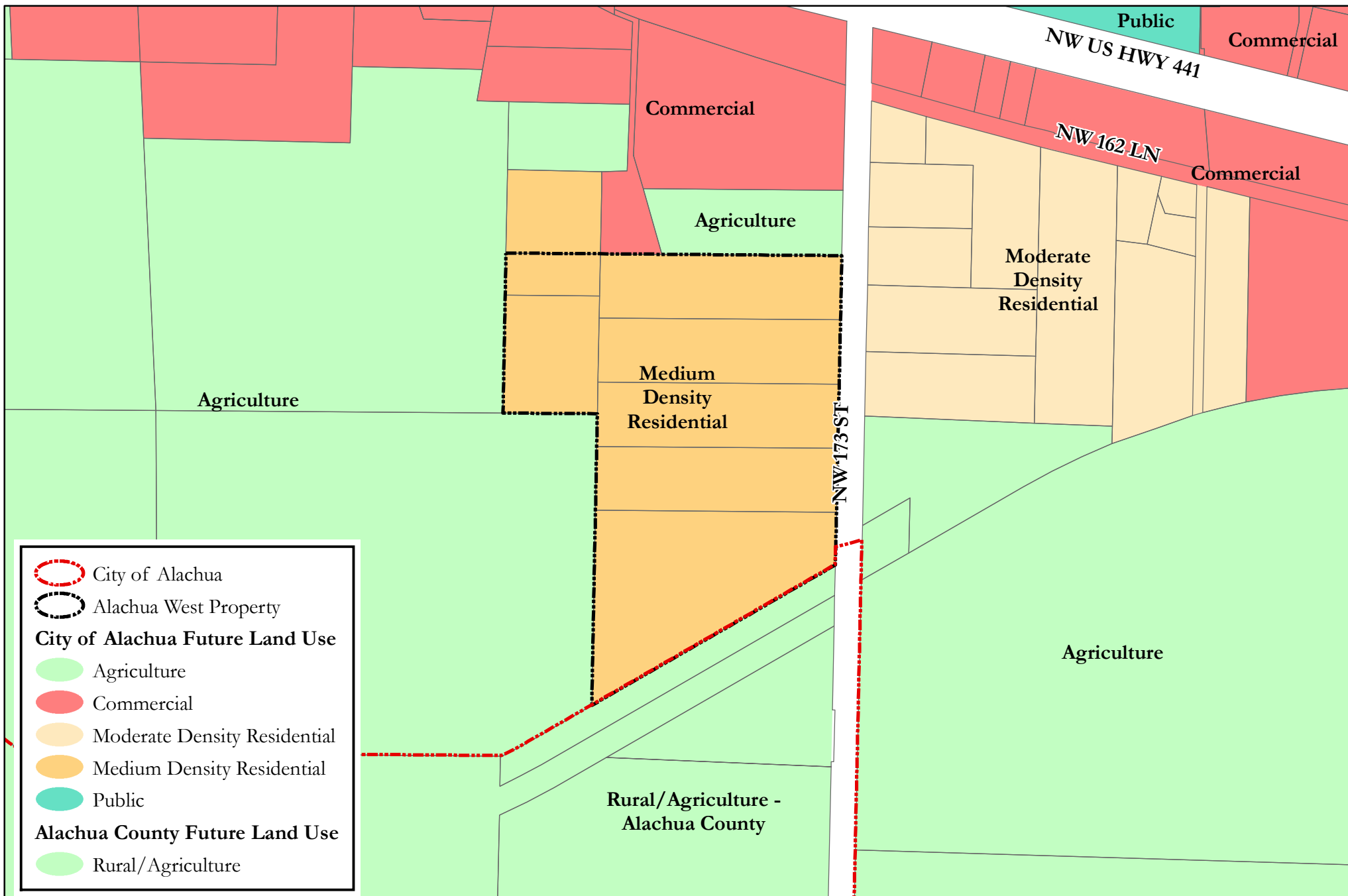
0 75 150 300 450 600
FEET



Source: Alachua County GIS

FIGURE 3: ZONING

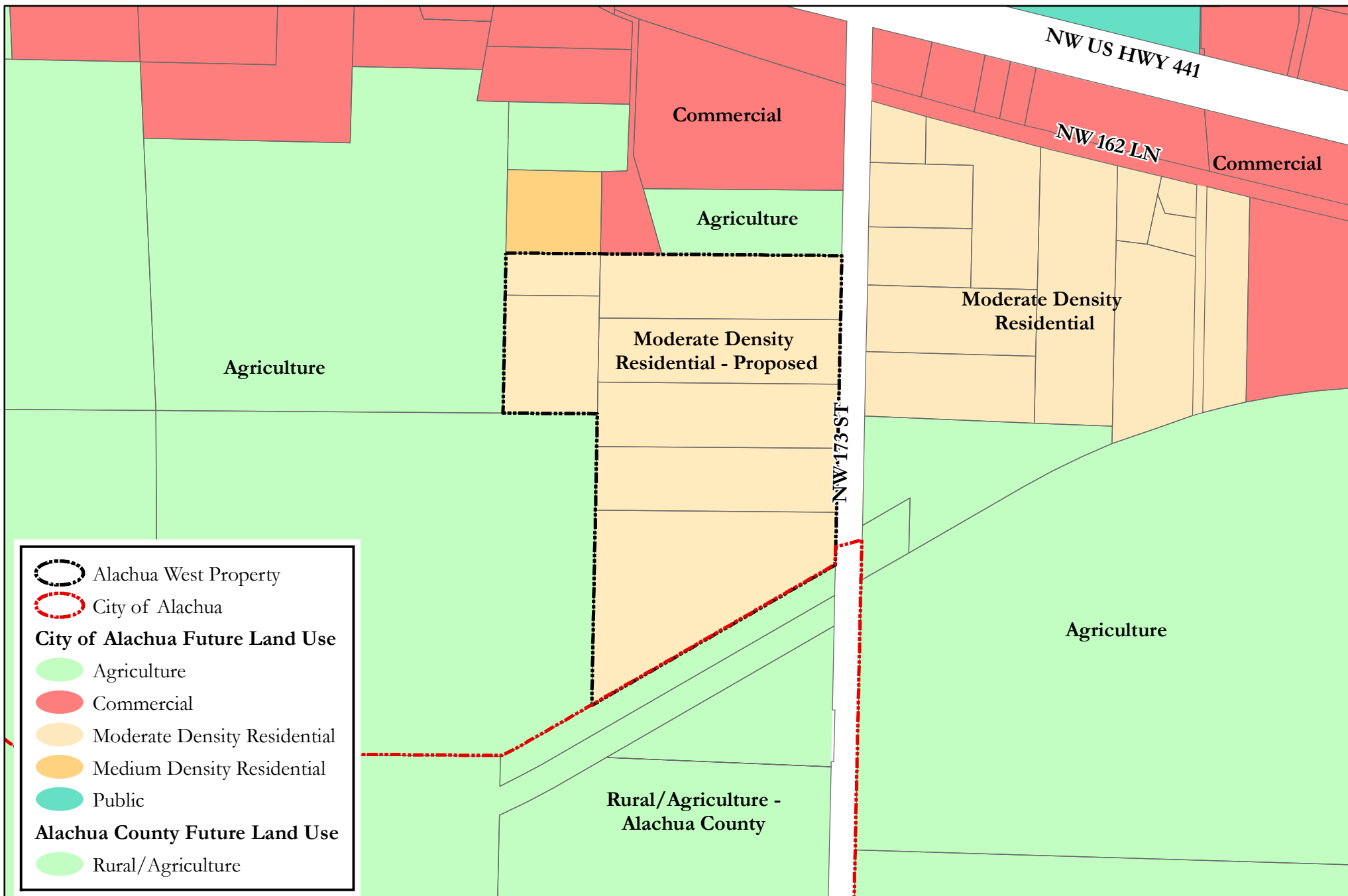
ALACHUA WEST PROPERTY



Source: Alachua County GIS

FIGURE 4: EXISTING FUTURE LAND USE

ALACHUA WEST PROPERTY



Source: Alachua County GIS

FIGURE 5: PROPOSED FUTURE LAND USE

ALACHUA WEST PROPERTY



FEMA Flood Insurance Rate Map 12001C0120D,
Panel 120 of 640, Effective June 16, 2006

FIGURE 6: FLOOD PLAIN MAP

ALACHUA WEST PROPERTY

12/15/16
P & B Job No.: 16-110

2602 E. Livingston Street
Orlando, FL 32803 Ph. 407-487-2594

POULOS & BENNETT

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Certificate of Authorization No. 28567

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SECTION 10: APPENDICES

- Appendix 1: Listed Species and Habitat Study, McAlpine Environmental Consulting, Inc., December 2016
- Appendix 2: Determination of historical and archaeological resources, Florida Division of Historic Resources, December 19, 2016
- Appendix 3: School Student Generation Form
- Appendix 4: Property Owner Labels, 400 foot buffer & City of Alachua Notification List – 3 Sets

Appendix 1:

**Listed Species and Habitat Study,
McAlpine Environmental Consulting, Inc.,
December 2016**

Listed Species and Habitat Study

*conducted on
the*

36.6± Acre RL REGI FLORIDA, LLC PROPERTY

located in

Section 8, Township 8 South, Range 18 East
City of Alachua, Alachua County, Florida

Alachua County PINs:

03042-050-006
03042-050-007
03042-052-002
03042-052-003
03042-052-004
03042-052-005
03042-052-006

Prepared for:

Mr. David McDaniel
M3 Development, LLC
250 Killarney Dive
Winter Park, Florida
dave@m3development.com

Prepared by:

McAlpine Environmental Consulting, Inc.

July 17, 2013

EXECUTIVE SUMMARY

McAlpine Environmental Consulting, Inc. has completed a listed fauna and flora species, and habitat study for the 36.6± Acre RL REGI FLORIDA, LLC PROPERTY. The project area was inspected on December 14, 2016.

Of the nine (9) listed species with the possibility of occurring on the site, one (1) was observed on the site. This species was the gopher tortoise (*Gopherus polyphemus*), which is listed by the FWC as threatened and federally unlisted. No listed flora species were observed within the project area.

We recommend that within approximately 60 days of beginning construction of the project that the gopher tortoise survey be updated and a permit be obtained from the FWC to relocate the tortoises offsite and out of harms' way. Tortoise burrow surveys are valid for 90 days, according to the FWC guidelines.

McALPINE ENVIRONMENTAL CONSULTING, INC.



DAVID McALPINE
President

INTRODUCTION

McAlpine Environmental Consulting, Inc. has completed a listed fauna and flora species, and habitat study for the 36.6± Acre RL REGI FLORIDA, LLC PROPERTY. The project area is in the City of Alachua in Alachua County, Florida in Section 8, Township 8 South, Range 18 East. A vicinity map (Figure 1) and a project aerial (Figure 2) are attached.

The purpose of this report was to document whether fauna and flora species federally listed or listed by the State of Florida as endangered, threatened, or species of special concern are present; or their potential of using the project area. This report also describes onsite habitat and possible effects that proposed work might have on listed and protected species.

This report was performed in general accordance with the Florida Fish and Wildlife Conservation Commission (FWC) guidelines. This study should be considered preliminary and an overview, and not considered a complete study for any one listed fauna or flora species, except for the gopher tortoise (*Gopherus polyphemus*). A 100% coverage gopher tortoise survey of the project area was performed in accordance with the latest version of the FWC's April 2008 guidelines.

Additional studies may be required by state, federal, and local agencies. Conditions may occur on the site that may change the results of this report. This report provides confirmation of the presence of listed fauna or flora species encountered and/or their likelihood of occurring within the study area.

Project Overview

The project area consists of mostly open land (apparent former pasture/farmland) and a narrow wooded strip along the site's north boundary. The site abuts farmland with a residence to the north, hayfield to the west, a former railroad (dismantled) to the south, and CR 235A (NW 173rd Street) to the east. A dilapidated barn is on the site. A few small disturbed areas exist on the site.

Soils

According to the U.S.D.A. *Soil Conservation Service Soil Survey of Alachua County, Florida*, the following soil types are within the site:

Soil I.D.	Name	Description
3	Arredondo fine sand, 0 to 5% slopes	Well Drained, Water Table: >80"
5	Fort Meade fine sand, 0 to 5% slopes	Well Drained, Water Table: >80"
30	Kendrick sand, 2 to 5% slopes	Well Drained, Water Table: >80"
33	Norfolk loamy fine sand, 2 to 5% slopes	Well Drained, Water Table: >80"
69	Arredondo 3 do fine sand, 0 to 5% slopes	Well Drained, Water Table: >80"
78	Norfolk loamy fine sand, 2 to 5% slopes	Well Drained, Water Table: >80"

A soil map is attached as Figure 3.

METHODOLOGY

The subject property was surveyed for the occurrence and potential for occurrence of species protected or listed by either the Florida Fish and Wildlife Conservation Commission (FWC), the U.S. Fish and Wildlife Service (USFWS), and the Florida Department of Agriculture (FDA) based on known habitat preferences and geographical distribution. The latest edition of *Florida's Endangered Species, Threatened Species and Species of Special Concern, Official List* published by the FWC was used to establish state and federal status of species. This list was cross referenced with a list from the Florida Natural Areas Inventory Internet file of listed/protected flora and fauna species reported, confirmed, or having the potential to occur in Alachua County. Attached are tables 1 and 2 which show listed fauna and flora species with the potential of being present on the site.

The site was inspected on December 14, 2016.

Literature Reviewed

Literature sources were referred to in preparation of this report to determine habitat preferences of listed species, status of listed species, and other information that pertains to the scope of this report. A list of literature used for this report is attached.

3.0 HABITAT CHARACTERIZATION

Four habitat types were identified within the study site in accordance with the Florida Land Use, Cover and Forms Classification System (FLUCFCS). The following table summarizes onsite habitat types and acreages for the site:

FLUCFCS ¹	Description
190B	Open Land (Bahagrass, apparent former pasture/farmland)
190K	Open Land (Kudzu)
420	Upland Hardwood
740	Disturbed Land

1. Florida Land Use, Cover and Forms Classification System, (FDOT 1999)

Site-specific descriptions of these habitat types and FLUCFCS code are as follow:

Upland Habitat

190: Open Land

This was the most dominant land cover habitat. Bahiagrass (*Paspalum notatum*) was the dominant vegetation in this habitat while dog fennel (*Eupatorium capillifolium*) was subdominant. A few young slash pine (*Pinus elliottii*) trees dotted the western portion of this habitat. A few black cherry (*Prunus serotina*) also dot this habitat area. Based on the site visit and historical aerial review, this site was apparent used for pasture and farmland. It appeared that the site has remain unused (uncultivated) for a few years.

190K: Open Land (Kudzu)

This kudzu (*Pueraria montana*) dominated area, which is a listed pest plant, was mainly noted in the southern and eastern portions of the site.

420: Upland Hardwood

This area included a small narrow strip along the site's north boundary. Dominant tree species this area consisted of live oak (*Quercus virginiana*), black cherry, and laurel oak (*Quercus laurifolia*).

740: Disturbed Land

This area included a small lobe along the site's north boundary and two isolated "island" areas in the central and southeast portions of the site. Dominant plant species in the north lobed area mainly consisted of black cherry, Chinaberry (*Melia azedarach*), laurel oak, and tooth-ache tree or Hercules' club (*Zanthoxylum clava-herculis*). Dominant plant species in the "island" disturbed area consisted of blackberry (*Rubus spp.*), silverling (*Baccharis glomeruliflora*), septicweed (*Senna occidentalis*), and dog fennel.

Wetland Habitat

No wetlands or surface waters were observed on the site.

RESULTS

Fauna

Nine (9) species of fauna listed by FWC and/or USFWS have the potential to occur on the site based on habitat preference and known geographical distribution. These species included gopher tortoise, Florida mouse, Florida gopher frog, eastern indigo snake, Florida pine snake, short-tailed snake, Florida burrowing owl, Sherman's fox squirrel, and southeastern American kestrel. A table showing the estimated probability of occurrence of listed fauna species is attached as Table 2.

OBSERVED SPECIES

Gopher tortoise: One (1) listed species was observed on the site. This species was the gopher tortoise (*Gopherus polyphemus*), which is listed by the FWC as threatened and is federally unlisted. Our December 14, 2016 site survey observed 1 active and 2 inactive or 3 Potentially Occupied (PO) gopher tortoise burrows within the project area. The locations of the burrows are shown on Figure 2.

POSSIBLE SPECIES

Southeastern American kestrel: No kestrels or potential nest sites were observed on the site.

This species prefers open habitats, such as pine savannas, longleaf pine-turkey oak sandhills, pine flatwoods, farmlands, and even suburban golf courses and residential areas (Stys, 1993).

Open terrain with enough cover to support small terrestrial prey animals, vegetation low and sparse enough to ensure adequate prey availability, elevated hunting perches, and an adequate supply of nesting sites are important habitat components for this species (FFWCC,2004). The southeastern American kestrel (*Falco sparverius paulus*), which are protected, listed as threatened, and are year round residents of Florida and the eastern American kestrel (*Falco sparverius sparverius*), which are not listed and migrate to Florida in the winter (Stys, 1993). Differentiating between these two species can only be practically determined in the field between mid-April and late-September when the eastern kestrel migrates from Florida (Stys, 1993). The *F. s. paulus* is only species that breeds in the state. In Florida, *F. s. paulus* courtship begins in February and nesting is from March through June (FFWCC, 2004). They nest in cavities excavated by woodpeckers and in artificial objects such as power poles and buildings (FFWCC, 2004).

American Bald Eagle:

According to the FFWCC Eagle Nest Locator internet site, no eagle nests are within five miles of the site.

Florida Burrowing owl: No evidence was observed during the site surveys that this species occurs on the site. Since open grassland exists on the site, which FFWCC (2004) indicates as potential habitat, it is possible that this species could use the site.

Florida mouse: A possibility exists that this species inhabits the site, since gopher tortoise burrows, a known residence for this species, were noted on the site.

Sherman's fox squirrel: This species prefers sandhill, open mixed hardwood, dry prairie, and moderately open habitats (Cox et al. 1994). Since preferred habitat was somewhat present on the site, it is possible that this species exists the site. This species is usually conspicuous on sites where they exist. Therefore, we believe that a low possibility exists that his species inhabits the site.

Eastern indigo snake: Moler (1987) indicated that this species inhabits a wide range of habitats, but prefers xeric habitats in north-central Florida. Since some preferred habitat exists on the site,

and since armadillo and tortoise burrows were noted on the site, which Moler found to be important den sites for this species, this species may occupy or utilize the site.

Florida pine snake: Since a few signs of pocket gopher (*Geomys pinetis*), which is the Florida pine snakes primary food source, activity was noted during the site survey, it is possible that this species inhabits the site.

Short-tailed snake: Little is known of the habitat requirements of this species and is rarely observed, but studies show that it prefers xeric environments (Ashton, 1992). Since xeric habitat exists on the site, it is possible that this species inhabits the site.

Florida gopher frog: A possibility exists that this species occurs on the site since gopher tortoise burrows, a known retreat for this species, were noted on the site. Close visual examination of the entrances of the tortoise burrows observed no gopher frogs.

4.2 Unlisted Fauna Species

Unlisted wildlife species observed using the site, or noted by other evidence, included downy woodpecker (*Picoides pubescens*), cattle egrets (*Bubulcus ibis*), gray squirrel (*Sciurus carolinensis*), black vulture (*Coragyps atratus*), red-shouldered hawk (*Buteo platypterus*), killdeer (*Charadrius vociferus*), mourning dove (*Zenaida asiatica*), hermit thrush (*Catharus guttatus*), American crow (*Corvus brachyrhynchos*), armadillo (*Burmeisteria retusa*), and blue jay (*Cyanocitta cristata*).

Flora

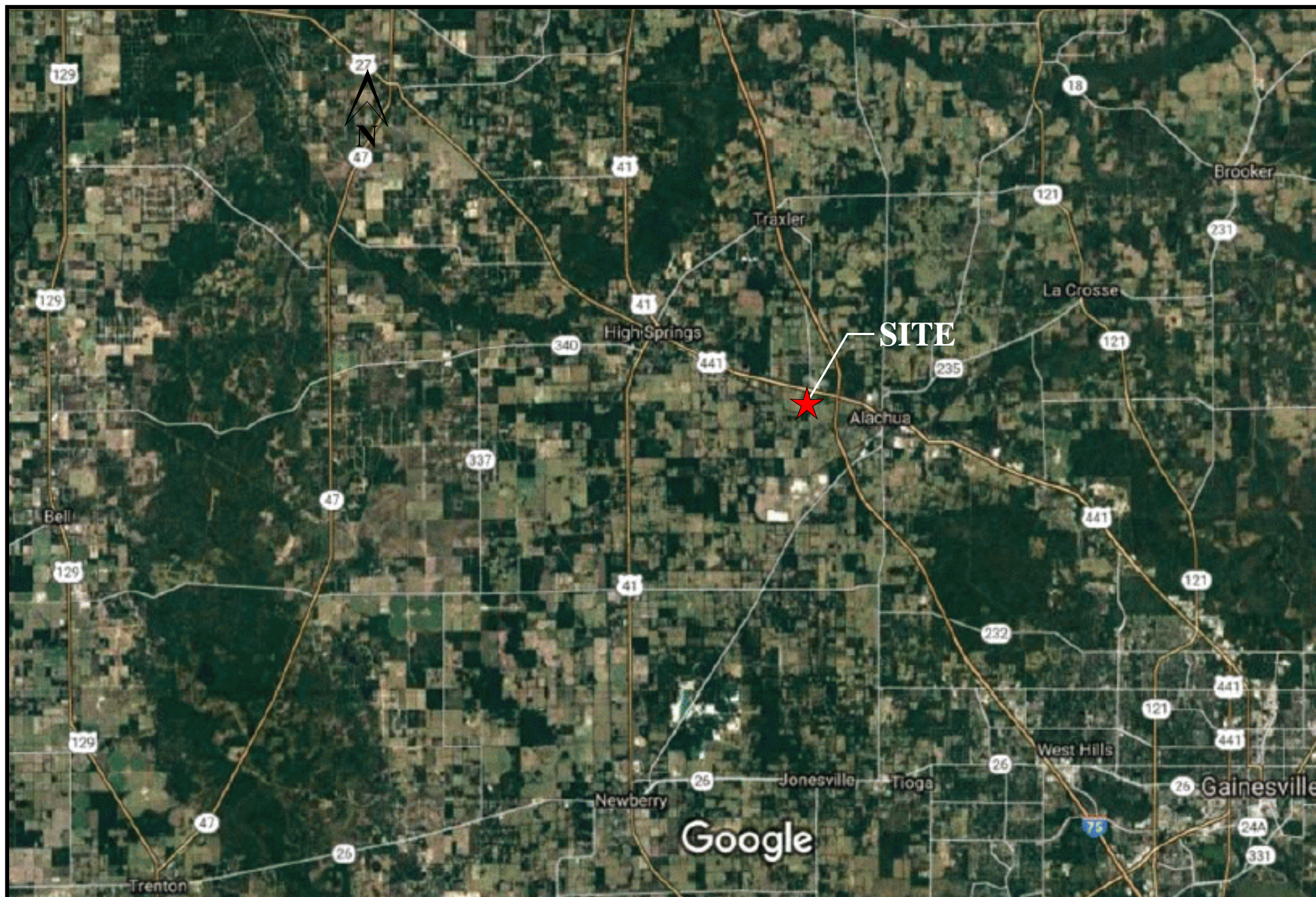
Fourteen (14) flora species listed as rare and endangered by the FNAI, and listed as endangered or threatened by the FDA and the USFWS have the potential to exist on the site based on geographical location and preferred habitat. None of the listed flora species were observed on the site. A list these plant species and their status is attached as Table 1.

FINDINGS

Of the nine (9) listed species with the possibility of occurring on the site, one (1) was observed on the site. This species was the gopher tortoise (*Gopherus polyphemus*), which is listed by the FWC as threatened and is federally unlisted.

We recommend that within approximately 60 days of beginning construction of the project that the gopher tortoise survey be updated and a permit be obtained from the FWC to relocate the tortoises offsite and out of harms' way. Tortoise burrow surveys are valid for 90 days, according to the FWC guidelines.

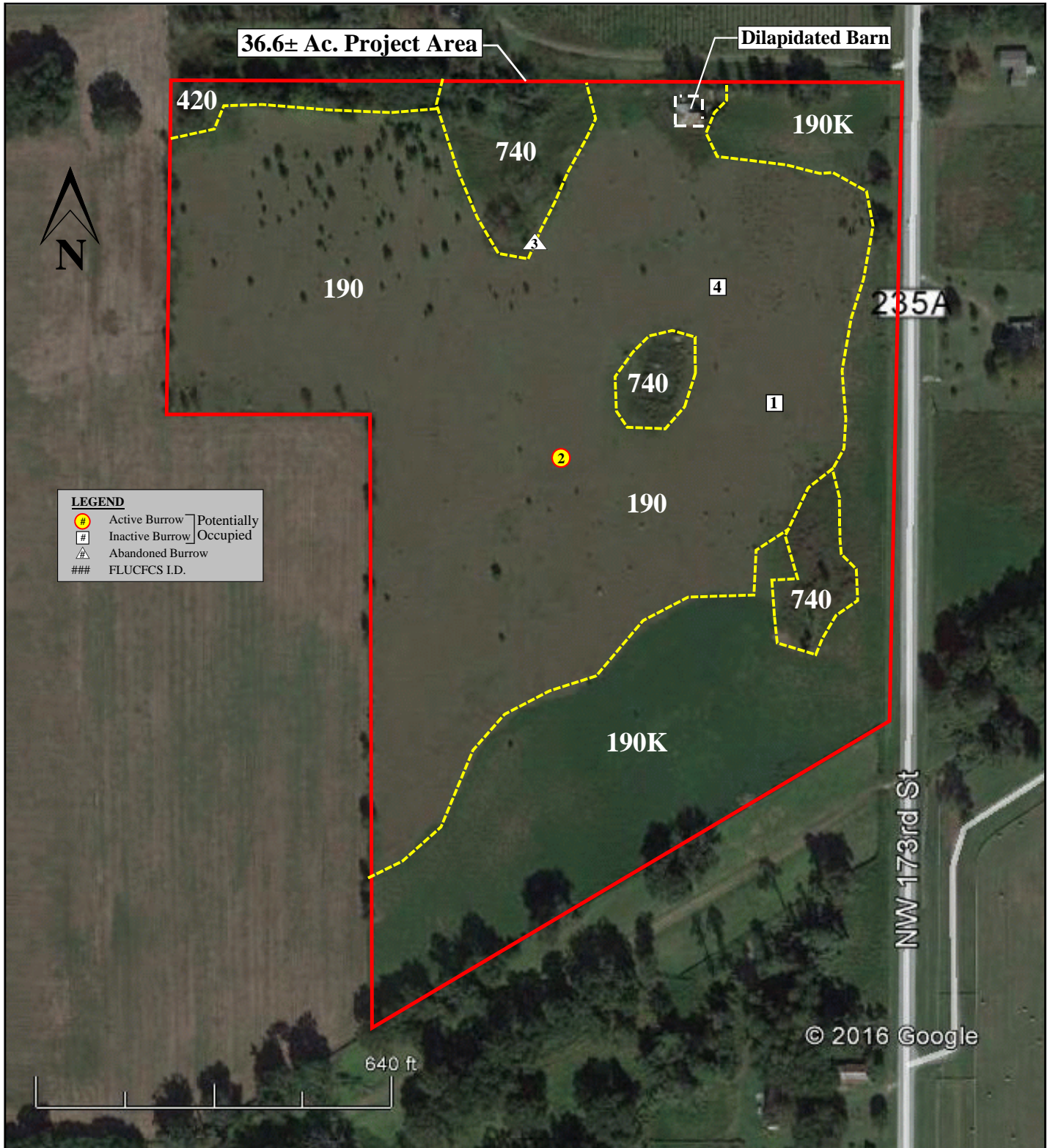
Attachments



McAlpine Environmental Consulting, Inc .
 18312 Cortez Boulevard, Brooksville, FL 34601
 352-585-2033 (Cell)
 davidmec7@gmail.com

RL REGI FLORIDA, LLC PROPERTY
City of Alachua, Alachua County, Florida
Listed Species Study

Figure 1: Vicinity Map



FLUCFCS ¹	Description
190B	Open Land (Bahagrass, apparent former pasture/farmland)
190K	Open Land (Kudzu)
420	Upland Hardwood
740	Disturbed Land

1. Florida Land Use, Cover and Forms Classification System, (FDOT 1999)

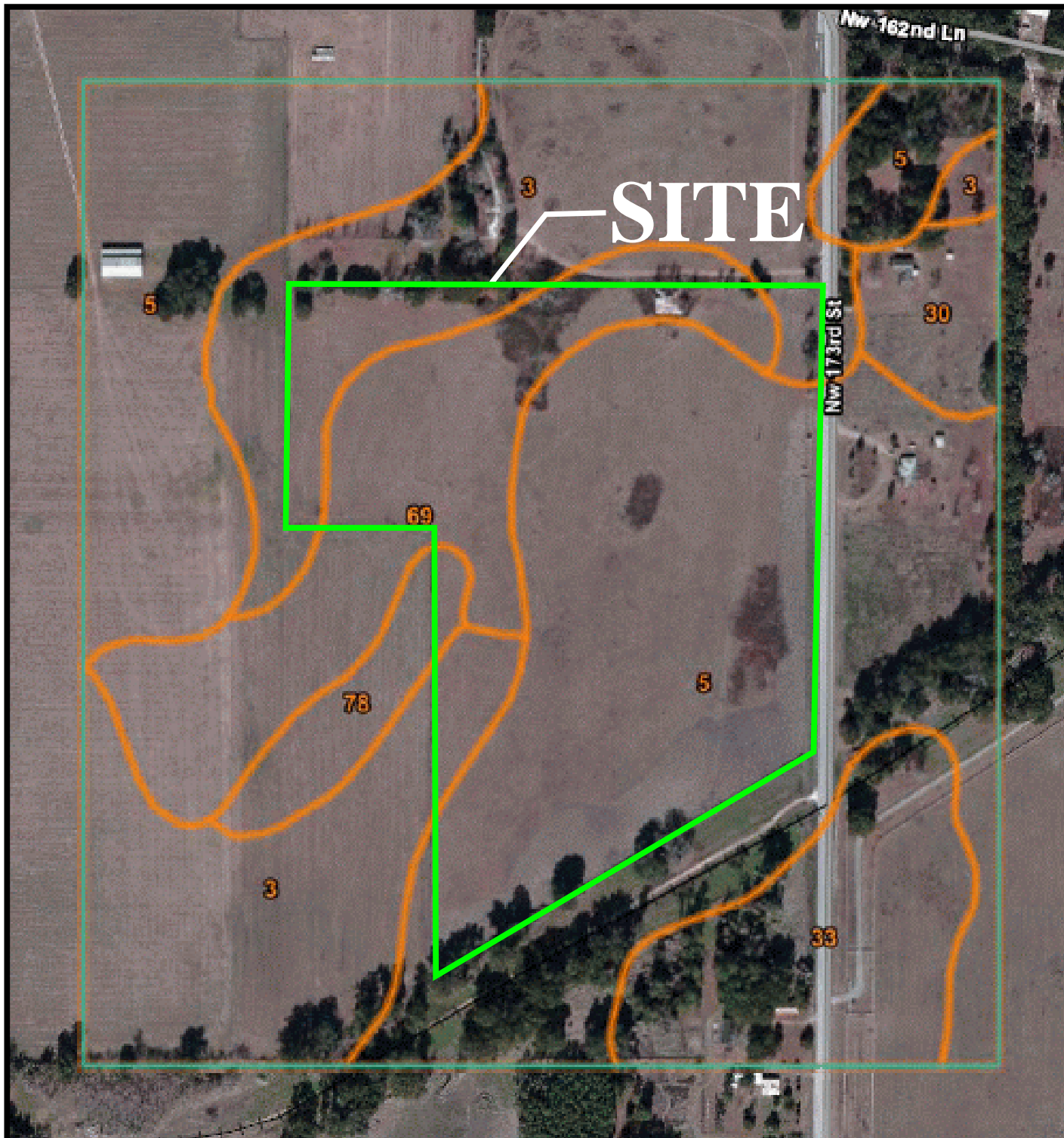
Survey Summary

Our 12/14/16 site survey observed 1 active and 2 inactive or 3 Potentially Occupied (PO) gopher tortoise (GT) burrows within the project area. One abandoned GT burrow was also noted on the site. The burrows were marked with orange wire flags. No other listed fauna species were observed on the site. No listed flora species were observed on the site.

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RL REGI FLORIDA, LLC PROPERTY
City of Alachua, Alachua County, Florida
Listed Species Study

Figure 3: Project Aerial
Image Date: 11/13/15



Soil I.D.

Name

Description

3	Arredondo fine sand, 0 to 5 percent slopes
5	Fort Meade fine sand, 0 to 5 percent slopes
30	Kendrick sand, 2 to 5 percent slopes
33	Northfolk laomy fine sand, 2 to 5 percent slopes
69	Arredondo fine sand, 0 to 5 percent slopes
78	Northfolk laomy fine sand, 2 to 5 percent slopes

Well Drained, Water Table: >80"
Well Drained, Water Table: >80"
Well Drained, Water Table: >80"
Well Drained, Water Table: >80"
Well Drained, Water Table: >80"
Well Drained, Water Table: >80"



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RL REGI FLORIDA, LLC PROPERTY
City of Alachua, Alachua County, Florida
Listed Species Study

Figure 5: Soil Map
From USDA Web Soil Survey
<http://websoilsurvey.nrcs.usda.gov>

Table 1: Rare and Endangered flora species with the potential of occurring on the study site based on FNAI listing.

Common Name	Scientific Binomial	Status *	
		FDA	FWS
Curtiss' milkweed	<i>Asclepias curtissii</i>	E	NL
Sand butterfly pea	<i>Centrosema arenicola</i>	NL	NL
Pigmy fringe tree	<i>Chionanthus pygmaeus</i>	E	E
Virgin's blower	<i>Clematis catesbyana</i>	NL	NL
Longspurred mint	<i>Dicerandra frutescens</i>	E	E
Florida crabgrass	<i>Digitaria floridana</i>	NL	NL
Shrub buckwheat	<i>Eriogonum longifolium</i> var <i>gnaphalifolium</i>	NL	NL
Garberia	<i>Garberia Heterophylla</i>	T	NL
Shrub holly	<i>Ilex opaca</i> var <i>arenicola</i>	NL	NL
Pond spice	<i>Litsea aestivalis</i>	E	NL
Pinesap	<i>Monotropa hypopithys</i>	E	NL
Florida spiny-pod	<i>Matelea flordana</i>	E	NL
Scrub bay	<i>Persea humilis</i>	NL	NL
Lewton's polygala	<i>Polygala lewtonii</i>	E	E
Florida mountain-mint	<i>Pycnanthemum floridanum</i>	NL	NL
Creeping fern	<i>Thelepteris reptans</i>	E	NL

* FDA = Florida Department of Agriculture, FWS = U.S. Fish & Wildlife Services, E = Endangered, T = Threatened, NL = Not listed in the Florida Fish and Wildlife Conservation Commission *Florida's Endangered Species, Threatened Species and Species of Special Concern, Official List*, (1 August 1997) and listed in the Florida Natural Areas Inventory with the potential of occurring the subject property based on habitat preference and geographical location.

Table 2: Probability of Occurrence of Listed Wildlife Species

Common Name	Scientific Name	Status FFW/USFWS ¹	Estimated Probability of Occurrence			Comments
			Observed	Possible	Unlikely	
BIRDS						
Southeastern Amer. Kestrel	<i>Falco sparverius paulus</i>	T/--		X		Kestrel habitat noted on the site. No kestrels or nest sites were observed.
Burrowing Owl	<i>Speotyto cunicularia</i>	SSC/--		X		No owls or suspect burrows observed
MAMMALS						
Florida Mouse	<i>Podomys floridanus</i>	SSC/--		X		Gopher tortoise burrows noted onsite, a known preferred dwelling.
Sherman’s Fox Squirrel	<i>Sciurus niger shermani</i>	SSC/--		X		Some preferred habitat present. No SFS or potential nest sites observed.
REPTILES						
Eastern Indigo Snake	<i>Drymarchon corais couperi</i>	T/T		X		Minimal habitat present. Reclusive. Tortoise burrows observed, a known retreat.
Gopher Tortoise	<i>Gopherus polyphemus</i>	T/--	X			Tortoise burrows observed.
Florida Pine Snake	<i>Pituophis melanoleucus m.</i>	SSC/--		X		Possible suitable onsite habitat.
Short-tailed Snake	<i>Stilosoma extenuatum</i>	T/--		X		Possible habitat present. Reclusive and little known snake.
AMPHIBIANS						
Florida Gopher Frog	<i>Rana capito aesopus</i>	SSC/--		X		Tortoise burrows onsite, known preferred dwelling.

1. FFW = Florida Fish & Wildlife Conservation Commission; USFWS = United States Fish and Wildlife Service; E = Endangered; T = Threatened; T(S/A) = Similarity of Appearance; T(E/P) = Threatened (Experimental Population; SSC = Species of Special Concern.

Literature Reviewed

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- FFWCC (Aug. 2003) Florida Fish and Wildlife Conservation Commission. Management Plan Red-cockaded Woodpecker, *Picoides borealis*. <http://myfwc.com/media/214360/RCW.pdf>
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- FFWCC Eagle Nest Locator: <http://myfwc.com/eagle/eaglenests/#criterialocator>
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<http://iba.audubon.org/iba/profileReport.do?siteId=82>
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<http://www.fws.gov/northflorida/BAldeagles/bald-eagles.htm>
- Wunderlin, R.P. 1997. *Guide to the Vascular Plants of Florida.* A University of South Florida book.

Appendix 2:

**Determination of historical and archaeological resources,
Florida Division of Historic Resources,
December 19, 2016**



This record search is for informational purposes only and does NOT constitute a project review. This search only identifies resources recorded at the Florida Master Site File and does NOT provide project approval from the Division of Historical Resources. Contact the Compliance and Review Section of the Division of Historical Resources at 850-245-6333 for project review information.

December 19, 2016



Lucie Ghioto, AICP
Poulos & Bennett
2602 East Livingston Street
Orlando, Florida 32803
Phone: 407.487.2594
Email: lghioto@poulosandbennett.com

In response to your inquiry of December 19, 2016, the Florida Master Site File lists no previously recorded cultural resources in the following parcels of Alachua County:

Parcel #03042-050-006
Parcel #03042-050-007
Parcel #03042-052-003
Parcel #03042-052-004
Parcel #03042-052-005
Parcel #03042-052-006

When interpreting the results of this search, please consider the following information:

- **This search area may contain *unrecorded* archaeological sites, historical structures or other resources even if previously surveyed for cultural resources.**
- **Federal, state and local laws require formal environmental review for most projects. This search DOES NOT constitute such a review. If your project falls under these laws, you should contact the Compliance and Review Section of the Division of Historical Resources at 850-245-6333.**

Please do not hesitate to contact us if you have any questions regarding the results of this search.

Sincerely,

Alannah Willis
Archaeological Data Analyst
Florida Master Site File
Alannah.Willis@dos.myflorida.com



This record search is for informational purposes only and does NOT constitute a project review. This search only identifies resources recorded at the Florida Master Site File and does NOT provide project approval from the Division of Historical Resources. Contact the Compliance and Review Section of the Division of Historical Resources at 850-245-6333 for project review information.

December 19, 2016



Lucie Ghioto, AICP
Poulos & Bennett
2602 East Livingston Street
Orlando, Florida 32803
Phone: 407.487.2594
Email: lghioto@poulosandbennett.com

In response to your inquiry of December 19, 2016, the Florida Master Site File lists one previously recorded standing structure and no archaeological sites found in the following parcels of Alachua County:

Parcel #03042-052-002

When interpreting the results of our search, please consider the following information:

- **This search area may contain *unrecorded* archaeological sites, historical structures or other resources even if previously surveyed for cultural resources.**
- **Because vandalism and looting are common at Florida sites, we ask that you limit the distribution of location information on archaeological sites.**
- **While many of our records document historically significant resources, the documentation of a resource at the Florida Master Site File does not necessarily mean the resource is historically significant.**
- **Federal, state and local laws require formal environmental review for most projects. This search DOES NOT constitute such a review. If your project falls under these laws, you should contact the Compliance and Review Section of the Division of Historical Resources at 850-245-6333.**

Please do not hesitate to contact us if you have any questions regarding the results of this search.

Sincerely,

Alannah Willis
Archaeological Data Analyst
Florida Master Site File
Alannah.Willis@dos.myflorida.com



AR=0
SS=1
CM=0
RG=0
BR=0
Total=1

Cultural Resource Roster

SiteID	Type	Site Name	Address	Additional Info	SHPO Eval	NR Status
AL05242	SS	Square Barn	16000 NW 173 ST, Alachua	c1950 Frame Vernacular	Not Eligible	

Appendix 3:

School Student Generation Form



THE GOOD LIFE COMMUNITY

FOR PLANNING USE ONLY

Case #: _____
Application Fee: \$ _____
Filing Date: _____
Acceptance Date: _____
Review Type: Admin

Public School Student Generation Form for Residential Development in the City of Alachua

A. APPLICANT

1. Applicant's Status (check one):

☐ Owner (title holder)

☒ Agent

2. Name of Applicant(s) or Contact Person(s): Kathy Hattaway Title: Planning Team Leader

Company (if applicable): Poulos & Bennett, LLC

Mailing address: 2602 E. Livingston Street

City: Orlando

State: FL

ZIP: 32803

Telephone: 407-487-2594

FAX: _____

e-mail: khattaway@poulosandbennett.com

3. If the applicant is agent for the property owner*:

Name of Owner (title holder): RL Regi Florida, LLC

Mailing Address: 700 NW 107th Avenue, Suite 200

City: Miami

State: FL

ZIP: 33172

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

B. PROJECT

1. Project Name: Alachua West

2. Address of Subject Property: None

3. Parcel ID Number(s): 03042-05-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, 03042-052-006

4. Section 08/17 Township 08 Range 18 Grant _____ Acreage: 35.82

5. Existing Use of Property: Vacant

6. Future Land Use Map Designation: Moderate Density Residential (Proposed)

7. Zoning Designation: PD-R (Planned Development - Residential) - (Proposed)

8. Development Data (check all that apply):

☒ Single Family Residential

Number of Units 143

☐ Multi-Family Residential

Number of Units _____

☐ Exempt (see exempt developments on page 2)

9. Review Type:

Preliminary Development Order

☒ Comprehensive Plan Amendment

☒ Large Scale

☐ Small Scale

☒ Site Specific Amendment to the Official Zoning Atlas (Rezoning)

☐ Revised

Final Development Order

☐ Preliminary Plat

☐ Final Plat

☐ Site Plan

10. School Concurrency Service Areas (SCSA): Based on the project location, identify the corresponding SCSA for each school type. Maps of the SCSAs can be obtained from the Alachua County Growth Management Department Map Gallery by clicking on the "Public Schools" tab: http://growth-management.alachuacounty.us/gis_services/map_gallery/

Elementary: Alachua

Middle: Mebane

High: Santa Fe

City of Alachua ♦ Planning and Community Development Department
PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

Revised April 30, 2014

Explanation of Student Generation Calculation: Student Generation is calculated based on the type of residential development and the type of schools. The number of students stations (by school type – Elementary, Middle and High School) used for calculating the school concurrency impacts is equal to the number of dwelling units by housing type multiplied by the student generation multiplier (for housing type & school type) established by the School Board. **Calculations are rounded to the nearest whole number.** Student Generation for each school type is calculated individually, in order to correctly assess the impact on the School Concurrency Service Area (SCSA) for each school type (Elementary, Middle and High School).

of Elementary School Student Stations = # of housing units x Elementary school student generation multiplier
 # of Middle School Student Stations = # of housing units x Middle school student generation multiplier
 # of High School Student Stations = # of housing units x High school student generation multiplier

Student Generation Calculations: Single Family Residential Development

Elementary School	143	units	x	0.15	Elementary School Multiplier*	22	Student Stations**
Middle School	143	units	x	0.07	Middle School Multiplier*	10	Student Stations**
High School	143	units	x	0.09	High School Multiplier*	13	Student Stations**

Student Generation Calculations: Multi-Family Residential Development

Elementary School	N/A	units	x		Elementary School Multiplier*		Student Stations**
Middle School	N/A	units	x		Middle School Multiplier*		Student Stations**
High School	N/A	units	x		High School Multiplier*		Student Stations**

* Student generation multipliers may be obtained from SBAC at:

http://www.sbac.edu/pages/ACPS/Departments_Programs/DepartmentsAF/D_thru_F/FacilitiesMainConstr/Local_Certification_Packets/City_of_Alachua

** Round to the nearest whole number

EXEMPT DEVELOPMENTS (check all that apply):

- ☐ Existing legal lots eligible for a building permit.
- ☐ Development that includes residential uses that has received final development plan approval prior to the effective date for public school concurrency, or has received development plan approval prior to June 24, 2008, provided the development approval has not expired.
- ☐ Amendments to final development orders for residential development approved prior to the effective date of public school concurrency, and which do not increase the number of students generated by the development.
- ☐ Age-restricted developments that prohibit permanent occupancy by persons of school age, provided this condition is satisfied in accordance with the standards of the Public Schools Facilities Element or the ILA.
- ☐ Group quarters that do not generate public school students, as described in the ILA.

A completeness review of the application will be conducted within 5 business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.

K. Hattaway
 Signature of Applicant

 Signature of Co-applicant

Kathryn Hattaway

Typed or printed name and title of applicant

 Typed or printed name of co-applicant

State of Florida County of Orange

The foregoing application is acknowledged before me this 30th day of January, 2017, by Kathy

Hattaway, who is/are personally known to me, or who has/have produced _____
 as identification.



Cheryl Burch
 Signature of Notary Public, State of Florida

City of Alachua ♦ Planning and Community Development Department
 PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121

Certification

This application for a determination of adequacy of public schools to accommodate the public school students generated by the proposed development has been reviewed for compliance with the school concurrency management program and in accordance with the ILA. The following determinations have been made:

☐ **Approved** based upon the following findings:

Elementary SCSA: _____

- ☐ Capacity Available
- ☐ Capacity Available in 3 years
- ☐ Capacity Available in Adjacent SCSA

Middle SCSA: _____

- ☐ Capacity Available
- ☐ Capacity Available in 3 years
- ☐ Capacity Available in Adjacent SCSA

High SCSA: _____

- ☐ Capacity Available
- ☐ Capacity Available in 3 years
- ☐ Capacity Available in Adjacent SCSA

Capacity Required: _____

Available Capacity: _____

Available Capacity: _____

Available Capacity: _____

Capacity Required: _____

Available Capacity: _____

Available Capacity: _____

Available Capacity: _____

Capacity Required: _____

Available Capacity: _____

Available Capacity: _____

Available Capacity: _____

☐ **Denied** for reasons stated: _____

☐ **Local Government Certification**

Approved by: _____

Date: _____

☐ **School Board Staff Certification**

Vicki McGrath, Director, Community Planning
School Board of Alachua County
352-955-7400 x 1423

Date: _____

Appendix 4:

**Property Owner Labels,
400 foot buffer & City of Alachua Notification List
– 3 Sets**

WAITCUS, GREGORY MICHAEL
7453 SW 116TH TER
GAINESVILLE, FL 32608-4234

TOMOKA HILLS FARMS INC
1301 DIXIANA DOMINO RD
LEXINGTON, KY 40511

ACKLEY ROBERT L & MARY J
15817 NW 173RD ST
ALACHUA, FL 32615-5231

SMYDER, CHARLES & REGINA
PO BOX 842
ALACHUA, FL 32616-0842

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

PATEL & PATEL
6036 NW 112TH PL
ALACHUA, FL 32615-7423

WAITCUS, JOHN J TRUSTEE
7453 SW 116TH TER
GAINESVILLE, FL 32608-4234

WAITCUS, HENRIETTA TRUSTEE
7453 SW 116TH TER
GAINESVILLE, FL 32608-4234

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

RL REGI FLORIDA LLC
700 NW 107TH AVE STE 200
MIAMI, FL 33172

PATEL & PATEL
6036 NW 112TH PL
ALACHUA, FL 32615-7423

SINGH, LAKHVIR
PO BOX 2092
ALACHUA, FL 32616

TOMOKA HILLS FARMS INC
1301 DIXIANA DOMINO RD
LEXINGTON, KY 40511

TOMOKA HILLS FARMS INC
1301 DIXIANA DOMINO RD
LEXINGTON, KY 40511

THOMAS & THOMAS &
THOMAS HEIRS
PO BOX 44
HIGH SPRINGS, FL 32655-0044

TOMOKA HILLS FARMS INC
1301 DIXIANA DOMINO RD
LEXINGTON, KY 40511

VICKORY WILLIAM A & SUSAN S
15404 NW 173RD ST
ALACHUA, FL 32615

VICKORY W H & FAYE
15310 NW 173RD ST
ALACHUA, FL 32615-5222

TOMOKA HILLS FARMS INC
1301 DIXIANA DOMINO RD
LEXINGTON, KY 40511

SMYDER, CHARLES & REGINA
PO BOX 842
ALACHUA, FL 32616-0842

ALACHUA COUNTY
12 SE 1ST ST
GAINESVILLE, FL 32601

ALACHUA COUNTY
12 SE 1ST ST
GAINESVILLE, FL 32601

Antoinette Endelicato
5562 NW 93rd Avenue
Gainesville, FL 32653

Dan Rhine
288 Turkey Creek
Alachua, FL 32615

Tom Gorman
9210 NW 59th Street
Alachua, FL 32653

Richard Gorman
5716 NW 93rd Avenue
Alachua, FL 32653

Peggy Arnold
410 Turkey Creek
Alachua, FL 32615

David Forest
23 Turkey Creek
Alachua, FL 32615

John Tingue
333 Turkey Creek
Alachua, FL 32615

President
TCMOA
1000 Turkey Creek
Alachua, FL 32615

Linda Dixon, AICP
Assistant Director Planning
PO Box 115050
Gainesville, FL 32611

Craig Parenteau
FL Department of Environmental
Protection
4801 Camp Ranch Road
Gainesville, FL 32641

Jeannette Hinsdale
P.O. Box 1156
Alachua, FL 32616

Lynn Coullias
7406 NW 126th Ave
Alachua, FL 32615

Lynda Coon
7216 NW 126 Avenue
Alachua, FL 32615

Tamara Robbins
PO Box 2317
Alachua, FL 32616

Dr. Lee A. Niblock
Alachua County Manager
12 SE 1st Street
Gainesville, FL 32601

John Amerson
All County Marion Property
Management
2916 NE Jacksonville Rd
Ocala, FL 34479

ORDINANCE 17-08

AN ORDINANCE OF THE CITY OF ALACHUA, FLORIDA, RELATING TO THE LARGE SCALE AMENDMENT OF THE CITY OF ALACHUA COMPREHENSIVE PLAN FUTURE LAND USE MAP; AMENDING THE FUTURE LAND USE MAP CLASSIFICATION FROM MEDIUM DENSITY RESIDENTIAL TO MODERATE DENSITY RESIDENTIAL ON APPROXIMATELY 35.82 ACRES; LOCATED WEST OF NW 173RD STREET (ALSO KNOWN AS COUNTY ROAD 235A), APPROXIMATELY 1,000 FEET SOUTH OF THE INTERSECTION OF NW US HIGHWAY 441 AND NW 173RD STREET; TAX PARCEL NUMBERS 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, AND 03042-052-006; REPEALING ALL ORDINANCES IN CONFLICT; PROVIDING SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

RECITALS

WHEREAS, an application for a large scale comprehensive plan amendment, as described below, to the Comprehensive Plan Future Land Use Map has been filed with the City; and,

WHEREAS, a duly advertised public hearing was conducted on the proposed amendment on March 14, 2017 by the Planning and Zoning Board, sitting as the Local Planning Agency (LPA) and the LPA reviewed and considered comments received during the public hearing concerning the application and made its recommendation for approval to the City Commission; and,

WHEREAS, the City Commission considered the recommendations of the LPA at a duly advertised public hearing on _____, 2017, provided for and received public participation, and approved the amendment for transmittal to the Florida Department of Economic Opportunity (DEO) and reviewing agencies under the Expedited State Review process; and,

WHEREAS, the City Commission considered the recommendations of the LPA, DEO, and reviewing agencies at a duly advertised public hearing on _____, 2017, and provided for and received public participation; and,

WHEREAS, the City Commission has determined and found said application for the amendment, to be consistent with the City of Alachua Comprehensive Plan and Land Development Regulations; and,

WHEREAS, for reasons set forth in this Ordinance that is hereby adopted and incorporated as findings of fact, that the Alachua City Commission finds and declares that the enactment of this amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE PEOPLE OF THE CITY OF ALACHUA, FLORIDA:

Section 1. Findings of Fact and Conclusions of Law

1. The above recitals are true and correct and incorporated herein by reference.
2. The proposed Future Land Use Map amendment is consistent with the Comprehensive Plan.
3. The amendment will not cause a reduction in the adopted level of service standards for transportation, potable water, sanitary sewer, solid waste, stormwater, recreation, or public schools.

Section 2. Comprehensive Plan, Future Land Use Map Amended

The Comprehensive Plan Future Land Use Map is hereby amended from Medium Density Residential to Moderate Density Residential on Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006 in accordance with the legal description found in Exhibit “A” and map found in Exhibit “B” attached hereto.

Section 3. Ordinance to be Construed Liberally

This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety and welfare of the citizens and residents of Alachua, Florida.

Section 4. Repealing Clause

All ordinance or parts of ordinances in conflict herewith are, to the extent of the conflict, hereby repealed.

Section 5. Severability

It is the declared intent of the City Commission of the City of Alachua that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by any court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance, and the remainder of the ordinance after the exclusions of such part or parts shall be deemed to be valid.

Section 6. Effective Date

The effective date of this plan amendment, if the amendment is not timely challenged, shall be 31 days after the state land planning agency notifies the City that the plan amendment package is complete in accordance with Chapter 163.3184 F.S. If timely challenged, this amendment shall become effective on the date the state land planning agency or the Administrative Commission enters a final order determining this adopted amendment to be in compliance in accordance with Chapter 163.3184 F.S. No development orders, development permits, or land uses dependent on this amendment may be issued or commenced before this plan amendment has become effective.

PASSED on first reading the _____ day of _____, 2017.

PASSED and **ADOPTED**, in regular session, with a quorum present and voting, by the City Commission, upon second and final reading this _____ day of _____, 2017.

CITY COMMISSION OF THE
CITY OF ALACHUA, FLORIDA

Gib Coerper, Mayor
SEAL

APPROVED AS TO FORM

ATTEST:

Traci L. Gresham, City Manager/Clerk

Marian B. Rush, City Attorney

EXHIBIT “A”

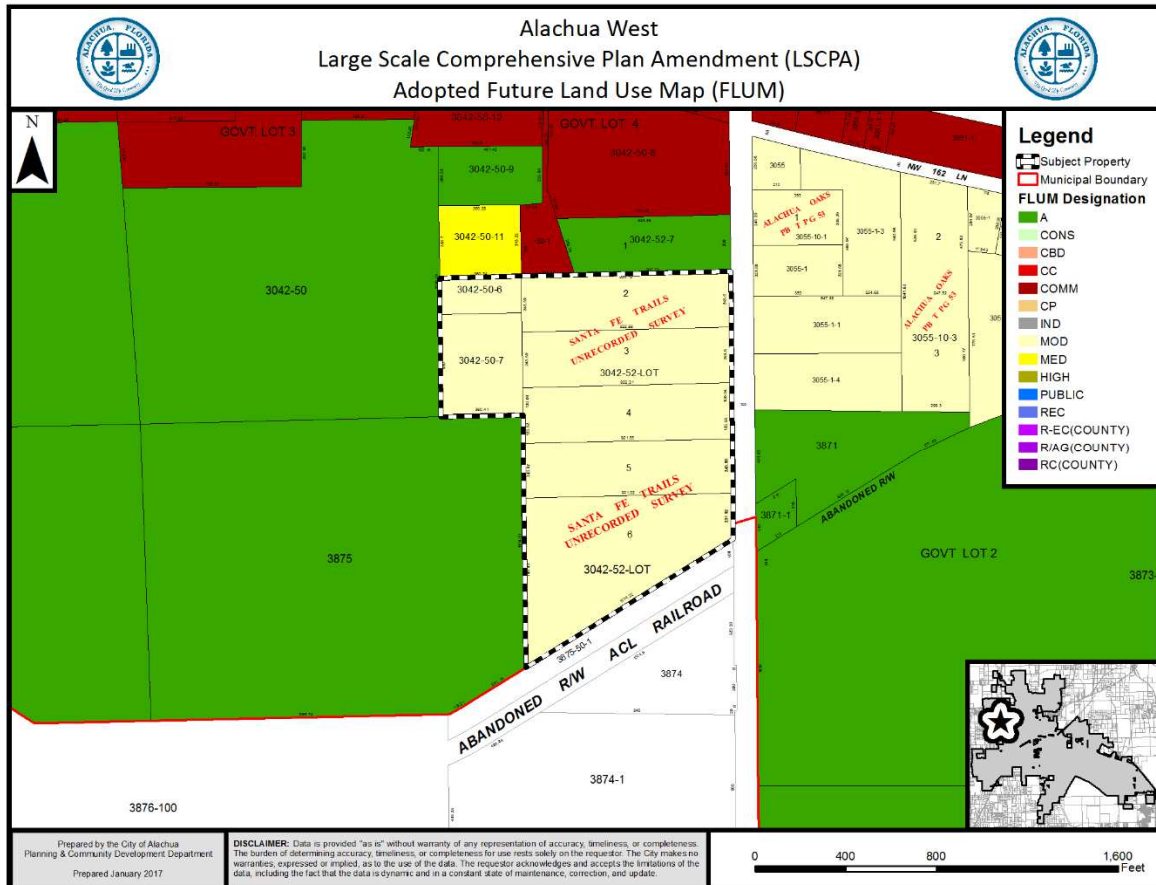
Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006

LEGAL DESCRIPTION:

A tract of land situated in Sections 8 and 17, Township 8 South, Range 18 East, Alachua County, Florida, being more particularly described as follows:

Commence at the southeast corner of Section 8, being the northeast corner of Section 17, Township 8 South, Range 18 East, and run S.87°26'55"W., along the section line, a distance of 50.01 Feet to the west right of way line of County Road No. 235-A (100 foot right of way) and the point of beginning; Thence run S.01°45'18"E., along said right of way line, a distance of 571.16 feet to the north right of way line of the former Seaboard Coastline Railroad; Thence run S.57°03'28"W., along said north right of way line, a distance of 1074.22 feet; thence run N.01°54'18"W., parallel with and one foot west of the west right of way line of the 20 foot wide American Telephone and Telegraph Company Easement as described in Official Records Book 415, Page 139 of the Public Records of Alachua County, Florida, a distance of 1114.62 feet to the south line of Section 8; Thence run S.87°26'55"W., along said south line, a distance of 360.41 feet; Thence run N.01°54'18"W., a distance of 611.28 feet to the southwest corner of the lands described in Official Records Book 2918, Page 1475 of said Public Records; Thence run N.87°27'04"E., along the south line of said lands, and along the south line of the lands described in Official Records Book 2241, Page 1384 of said Public Records, a distance of 1283.53 feet to the aforementioned west right of way line of County Road No. 235-A; Thence run S.01°47'55"E., along said right of way line, a distance of 611.24 feet to the point of beginning.

EXHIBIT “B”



NATION & WORLD

NATIONAL/INTERNATIONAL NEWS • ANALYSIS • TRENDS • COMMENTARY

LOOKING TO THE FUTURE



President Donald Trump, Vice President Mike Pence and House Speaker Paul Ryan of Wis. applaud Carryn Owens, widow of Chief Special Warfare Operator William "Ryan" Owens, Tuesday on Capitol Hill in Washington during the president's address to a joint session of Congress. [ALEX BRANDON/THE ASSOCIATED PRESS]

Casting aside rhetoric

Trump's tone masks hard road ahead for agenda in Congress

By Justin Sink
Bloomberg

President Donald Trump on Tuesday cast aside the dark rhetoric of carnage and conflict that defined the start of his administration and left in its place a recitation of familiar campaign promises with few details on how he'd turn them into reality.

His first address to Congress featured an Obamacare repeal, a \$1 trillion infrastructure plan, an immigration crackdown and a defense buildup. Designed to win the nation's center, Trump's remarks sprinkled patriotism and optimism over a politically divisive platform, and his calm and collected delivery won immediate

applause among political pundits.

Yet governing requires Trump to provide direction, and there the speech fell far short of what many voters, lawmakers and investors said they wanted to hear. It's unlikely to overcome the infighting and confusion that has stalled his legislative priorities on Capitol Hill.

Republicans indicated after the speech they were fine with being left to sort out the details. House Homeland Security Chairman Mike McCaul said the president presented himself in a more visionary and inclusive way and said it's up to Congress to fill in the blanks on his agenda.

"This guy has shown he's a CEO and in a very short period of time he's

willing to take bold steps very quickly," McCaul, a Texas Republican, said in an interview afterward. "Sometimes the executive orders are not worded just right and they're going to go back and fix some of those. But he's very action-oriented and he wants to change the country."

During the speech, Trump offered an ambiguous opening on immigration, saying "real and positive immigration reform is possible." That followed a lunch conversation in which he told network television anchors "the time is right" for a compromise immigration bill. Still, he hewed to the tough rhetoric of his campaign, promising to kick off construction of his "great, great wall" on the

southern border and recognizing families he had invited as his guests whose relatives had been killed by immigrants who entered the country illegally.

On health care, Trump told lawmakers they should repeal and replace the Affordable Care Act. But beyond vague guidelines — an endorsement of tax credits, protections for those with pre-existing conditions, and changes to Medicaid funding — he delivered little in the way of specifics.

That's little solace to Republicans on Capitol Hill struggling to craft a package that could garner support within their own party, and nervous about Trump's commitment to an effort certain to prove politically challenging.

SWEARING IN

Former Montana Rep. Zinke takes helm of Interior Department

By Matthew Daly
The Associated Press

WASHINGTON — Former Montana Rep. Ryan Zinke was sworn in Wednesday as secretary of the Interior Department, assuming oversight of 400 million acres of public land, mostly in the West.

Vice President Mike Pence administered the oath of office hours after the Senate confirmed President Donald Trump's nomination of Zinke by a vote of 68-31.

Several Democrats from Western states as well as those facing tough re-election campaigns next year, including Montana's Jon Tester, Indiana's Joe Donnelly

and Joe Manchin of West Virginia, voted for Zinke, a Republican.

Zinke pledged to "get to work" immediately and said he knows he'll "be held accountable to get things done."

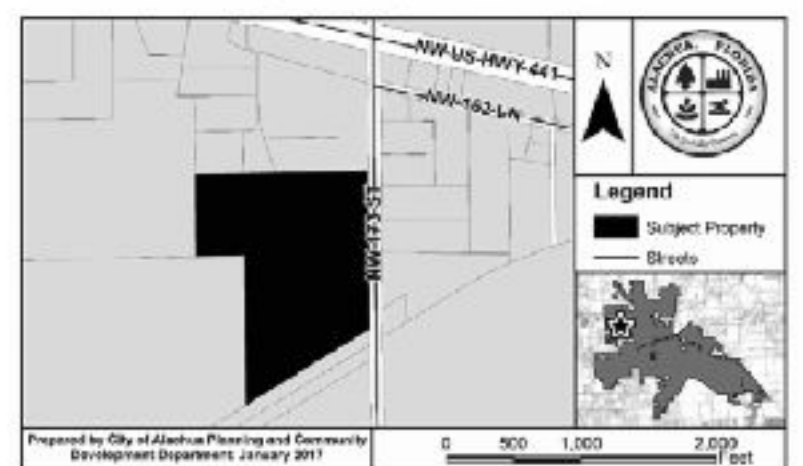
A former Navy SEAL, Zinke praised his new boss as a "great president and a commander in chief I will fight with."

Zinke is the 16th of 22 of Trump's Cabinet and Cabinet-level nominations to win Senate approval.

Ben Carson, Trump's choice to lead the Department of Housing and Urban Development, cleared a Senate hurdle by a vote of 62-37. Carson's confirmation was expected later this week.

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning & Zoning Board of the City of Alachua will hold a public hearing on March 14, 2017, at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida, to consider the following: A request by Jamie Poulos, of Poulos & Bennett, LLC, applicant and agent, for RL REGI Florida, LLC, property owner, for consideration of a Large Scale Comprehensive Plan Amendment (LSCPA) to the City of Alachua Future Land Use Map (FLUM) to amend the FLUM from Medium Density Residential to Moderate Density Residential on a ±35.82 acre subject property. The ±35.82 acre property subject to the proposed amendment is located to the west of NW 173rd Street (also known as County Road 235A), approximately 1,000 feet south of the intersection of NW US Highway 441 and NW 173rd Street, consisting of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006; Existing FLUM: Medium Density Residential; Existing Zoning: Residential Multiple Family – 8 (RMF-8).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

IMMIGRATION

Revised order will not ban citizens from Iraq

By Matt Zapposky
and Abigail Hauslohner
The Washington Post

WASHINGTON — President Donald Trump's new executive order on immigration will not include a blanket ban on citizens from Iraq, among a host of other revisions meant to allay legal and diplomatic concerns, people familiar with the matter said.

The White House late Tuesday scrapped plans for Trump to sign a revised travel ban Wednesday afternoon, a person familiar with the matter said, marking the third time the administration has put off the matter since the president said that dangerous

people might enter the country without a prohibition in place.

But when it is signed, people familiar with the matter said, the order is still expected to include a host of significant changes. The order will exempt current visa holders and legal permanent residents, and it will not impose a blanket ban on

those from Iraq, where U.S. forces are working with the Iraqis to battle the Islamic State. It will not include an exception for religious minorities, which critics had pointed to as evidence it was meant to discriminate against Muslims. And it will not go into effect immediately when it is signed, people familiar

with the matter said.

The people said the situation remains fluid and changes remain possible. Lt. Gen. Stephen Townsend, commander of the U.S.-led coalition in Iraq and Syria, said he, too, had heard Iraq would not be included in the revised order, though he also had heard the opposite.



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William K. Van Dyke D.M.D.
(352) 377-1781

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HANDCRAFTED IN-STORE
TO MAKE DESSERT PRETTY

Publix

WHERE SHOPPING IS A PLEASURE®



OR

AN ORDINANCE
FLORIDA, RELAT
THAN FIVE PERCI
THE CITY, PURSU
CITY OF NEWBE
ZONING ATLAS O
DEVELOPMENT
REZONING FROM
(A) TO CITY OF
AND ALACHUA
BUSINESS TO CI
NEIGHBORHOOD,
CORPORATE LIM
FLORIDA WHICH
PROVIDING SEV
ORDINANCES IN
EFFECTIVE DATE

All parcels are being
to City of Newberry
01924-010-003, whic
Agriculture-Rural Bu
Commercial Neighbor



Copies of the proposed
by metes and bounds
Newberry Planning &
located at 25815 S.W.
regular business hours.

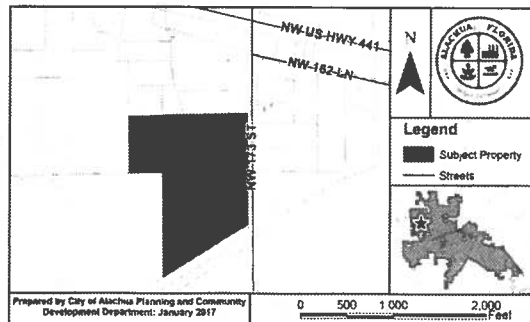
If a person or entity de
city of Newberry City
considered at such me
will need a record of t
the individual or entity
of the proceedings is n
and evidence upon whi
ordinance is available
bounds description of
available at the Newber

(Published: Alach

City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

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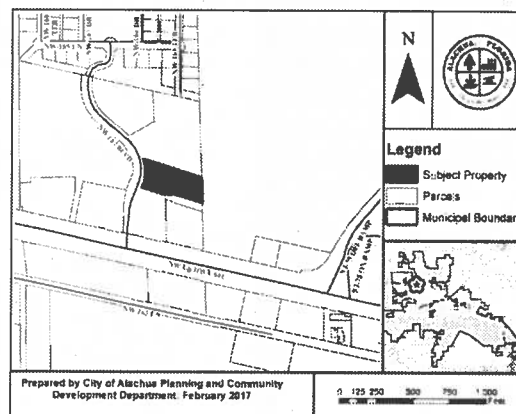
At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

(Published: Alachua County Today - March 02, 2017)

City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning and Zoning Board of the City of Alachua will hold a public hearing on Tuesday, March 14, 2017 at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida, to consider the following: A request by Chris Gmuer, PE, of Gmuer Engineering, LLC., applicant and agent for Hipp Investments, LLC., property owner, for consideration of a Site Plan for a proposed ±5,560 square foot office building with associated drainage, paving, grading, and utility infrastructure improvements on a ±1.66 acre subject property, located north of NW US Highway 441, south of the Heritage Oaks Subdivision, and east of the Alachua Market Place Plaza and Raceway Gas Station; a portion of Tax Parcel No. 03053-001-001; FLUM: Commercial; Zoning: Commercial Intensive (CI).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

(Published: Alachua County Today - March 02, 2017)

AFFIDAVIT FOR POSTED LAND USE SIGN

I Kathy Hattaway, POSTED THE LAND USE
(name)
SIGN ON 2-23-17 FOR THE ALACHUA WEST (2017) LSCPA
(date) (state type of action and project name)
LAND USE ACTION. PZ13 HEARING

AS PER ARTICLE 2.2.9 D OF THE LAND DEVELOPMENT REGULATIONS.

THIS WILL BE INCLUDED IN THE STAFF REPORT.

K. Hattaway
(signature)

4
(number of signs)



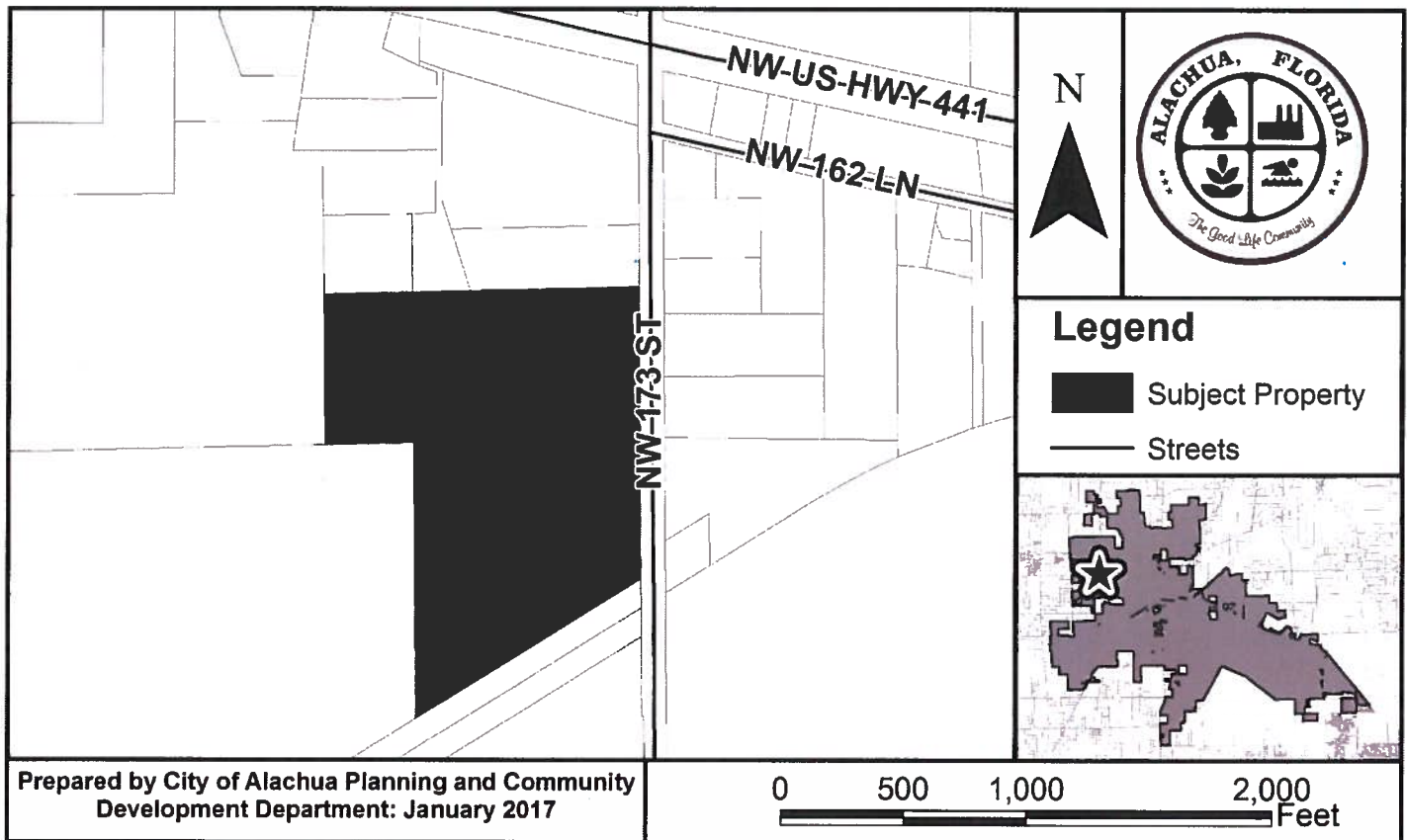
City of
ALACHUA

THE GOOD LIFE COMMUNITY

Mailed 2-27-17
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NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning & Zoning Board of the City of Alachua will hold a public hearing on March 14, 2017, at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida, to consider the following: A request by Jamie Poulos, of Poulos & Bennett, LLC, applicant and agent, for RL REGI Florida, LLC, property owner, for consideration of a Large Scale Comprehensive Plan Amendment (LSCPA) to the City of Alachua Future Land Use Map (FLUM) to amend the FLUM from Medium Density Residential to Moderate Density Residential on a ± 35.82 acre subject property. The ± 35.82 acre property subject to the proposed amendment is located to the west of NW 173rd Street (also known as County Road 235A), approximately 1,000 feet south of the intersection of NW US Highway 441 and NW 173rd Street, consisting of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006; Existing FLUM: Medium Density Residential; Existing Zoning: Residential Multiple Family - 8 (RMF-8).



At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

P.O. Box 9 ♦ Alachua, Florida 32616-0009
Phone: (386) 418-6121 ♦ Fax: (386) 418-6130



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ALACHUA, FL 32615-5231

SMYDER, CHARLES & REGINA
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ALACHUA COUNTY
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288 Turkey Creek
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Tom Gorman
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Alachua, FL 32653

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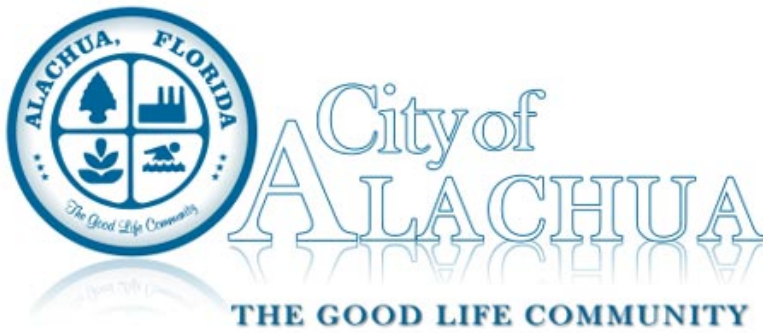
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Dr. Lee A. Niblock
Alachua County Manager
12 SE 1st Street
Gainesville, FL 32601

John Amerson
All County Marion Property
Management
2916 NE Jacksonville Rd
Ocala, FL 34479



Board/Committee Agenda Item

MEETING DATE: 3/14/2017

SUBJECT: Site Plan - Farm Bureau Insurance: A request by Chris Gmuer, P.E., of Gmuer Engineering, Inc, applicant and agent for Hipp Investments, LLC, property owner, for consideration of a Site Plan for the construction of a $\pm 5,560$ square foot building on a ± 1.66 acre subject property. Tax Parcel No. 03053-001-001 (Quasi-Judicial)

PREPARED BY: Adam Hall, AICP

RECOMMENDED ACTION:

Based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the five (5) conditions provided in Exhibit "A" and located on page 23 of the March 14, 2017, Staff Report to the Planning & Zoning Board.

Summary

The proposed site plan is a request by Chris Gmuer, P.E., of Gmuer Engineering LLC, applicant and agent for Hipp Investments LLC, property owner, for the construction of a $\pm 5,560$ square foot building on a ± 1.66 acre subject property. The proposed use is a professional office: Florida Farm Bureau Insurance.

The subject property is ± 1.66 acre in area and is generally located north of the Hungry Howie's and El Patio restaurants building, northeast of the Raceway Gas Station, east of the Alachua Market Place plaza (Publix), and south of the Heritage Oaks Subdivision. The ingress/egress point to the property will be from NW 163rd Lane.

The proposed development will convey the development's stormwater runoff to one (1) stormwater basin, which would be located onsite. The applicant has indicated that, if the application is approved, an application for self-certification of environmental resource permit will be submitted to the Suwannee River Water Management District.

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Exhibit B to Staff Report: Supporting Application Materials
- ☐ Application and Supporting Materials
- ☐ Site Plan
- ☐ Public Notice Materials for 03/14/17 PZB Hearing



City of Alachua

Planning & Community Development Department Staff Report

Planning & Zoning Board Hearing Date: Quasi-Judicial Hearing

March 14, 2017

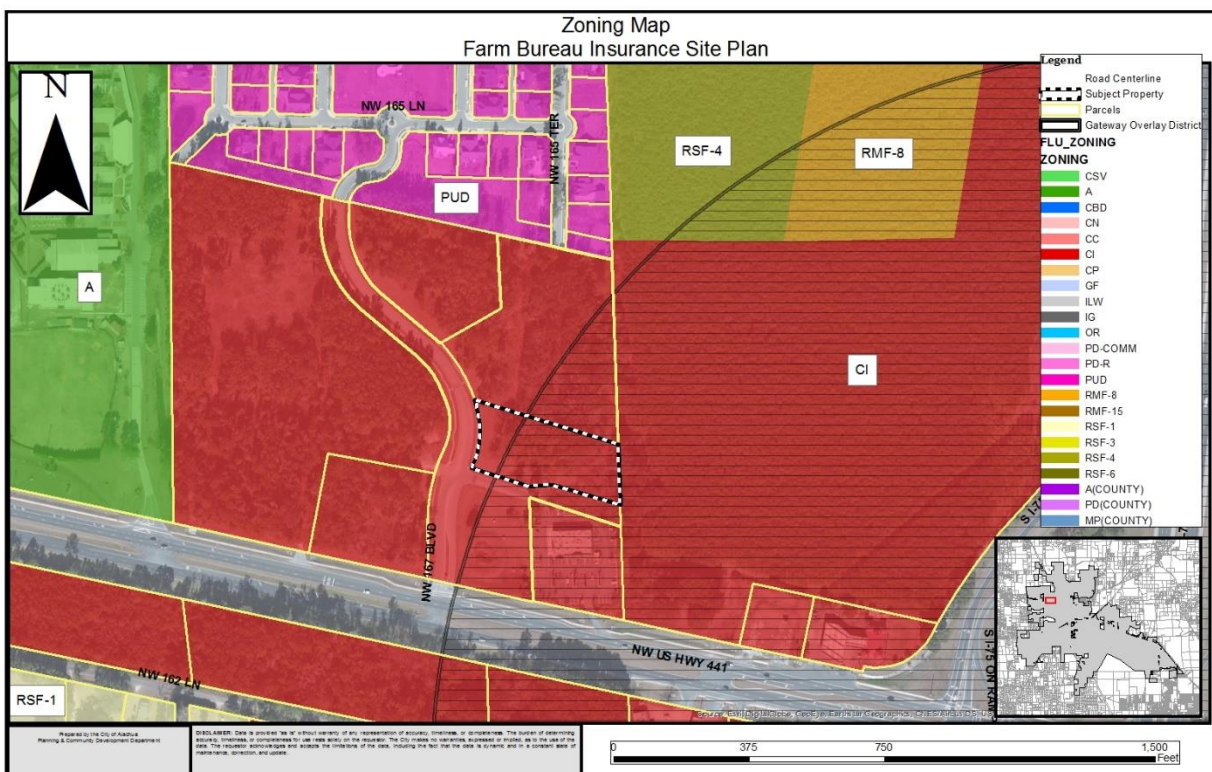
SUBJECT:	A request for a Site Plan for the construction of a ±5,560 square foot office with employee and visitor parking, storm water management facility improvements, paving, grading, and associated utility infrastructure
APPLICANT/AGENT:	Chris Gmuer, P. E., Gmuer Engineering, LLC.
PROPERTY OWNER:	Hipp Investments, LLC
LOCATION:	NW 167 th Boulevard ; north of NW US Highway 441, south of the Heritage Oaks Subdivision, east of the Alachua Market Place Plaza
PARCEL ID NUMBER:	03053-001-001
FLUM DESIGNATION:	Commercial
ZONING:	Commercial Intensive ("CI")
OVERLAY:	I-75/ 441 Overlay District
ACREAGE:	±1.66 acres
PROJECT PLANNER:	Adam Hall, AICP
RECOMMENDATION:	Staff recommends that the Planning & Zoning Board approve the Site Plan, subject to the five (5) conditions provided in Exhibit "A" of this Staff Report.
RECOMMENDED MOTION:	<i>Based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the five (5) conditions provided in Exhibit "A" and on page 23 of the March 14, 2017 Staff Report to the Planning & Zoning Board.</i>

SUMMARY

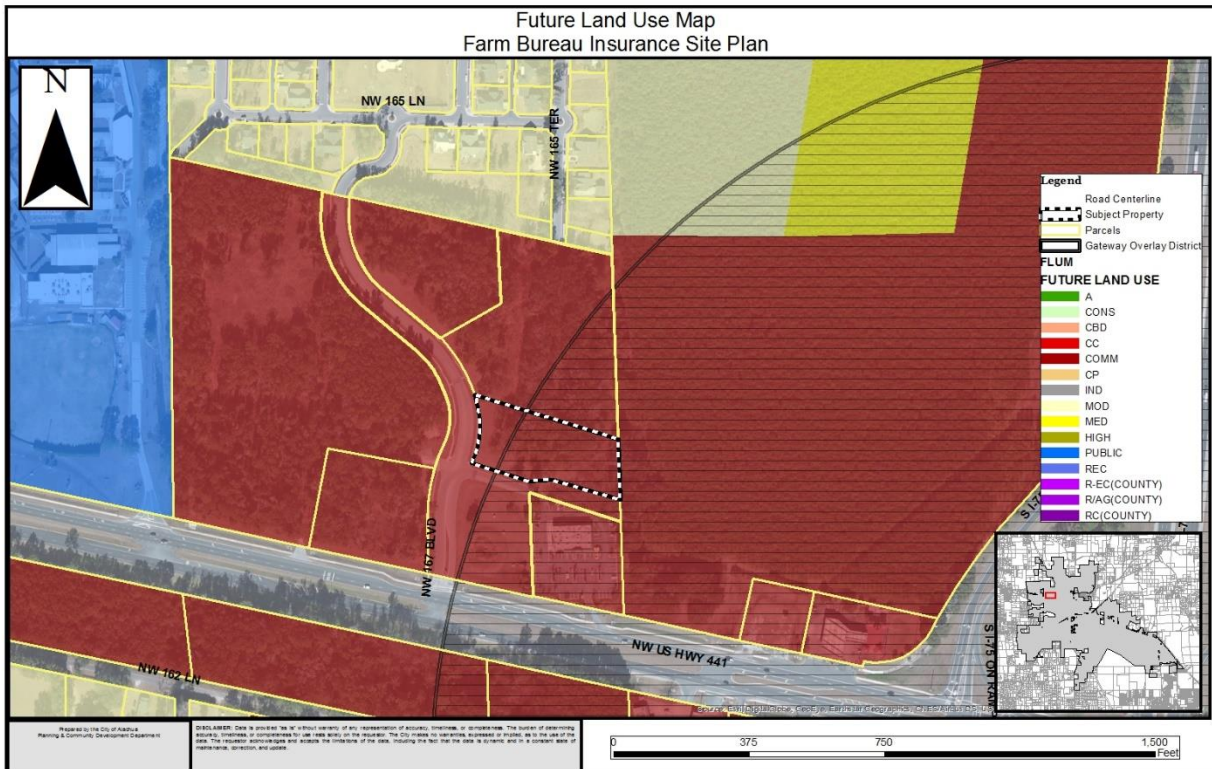
The proposed site plan is a request by Chris Gmuer, P.E., of Gmuer Engineering, LLC., applicant and agent for Hipp Investments, LLC, property owner, for the construction of a ±5,560 office with employee and visitor parking, storm water management facility improvements, paving, grading, and associated utility infrastructure.

The subject property is ±1.66 acres in area and is located adjacent to NW 167th Boulevard; north of NW US Highway 441, south of the Heritage Oaks Subdivision, and east of the Alachua Market Place Plaza. Access to the subject property would be provided primarily by one (1) ingress/egress drive connecting to NW 163rd Lane.

Map 1. Subject Property with Zoning



Map 2. Subject Property with Future Land Use



The proposed development will convey the development's stormwater runoff to one (1) proposed stormwater basin located to the east of the structure and parking lot on the subject property. The applicant has indicated that, if the application is approved, an application for self-certification of environmental resource permit will be submitted to the Suwannee River Water Management District.

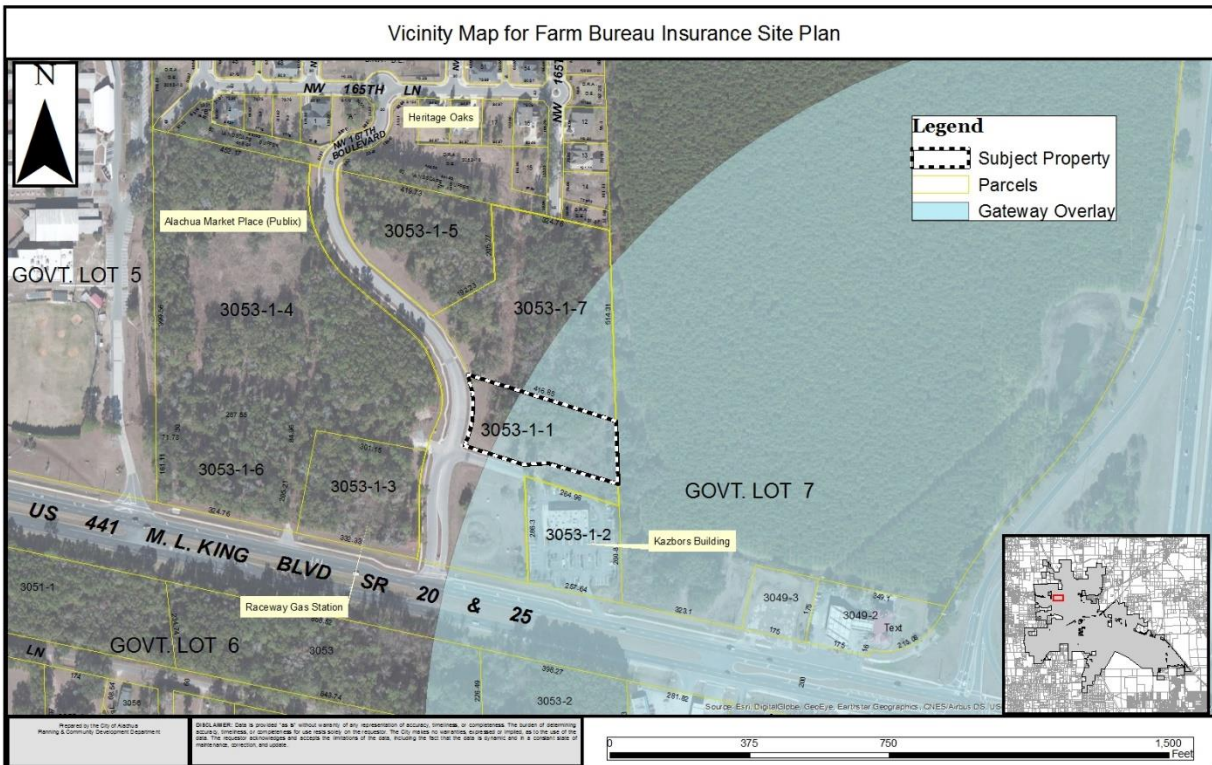
SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) Designations, and zoning districts of the surrounding area are identified in Table 1. Map 3 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. It is not intended to be all-inclusive, and may not identify all existing uses, FLUM Designations, and/or zoning districts surrounding the subject property.)

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Vacant (Holiday Inn Approved Site Plan)	Commercial	CI
South	Commercial	Commercial	CI
East	Vacant	Commercial	CI
West	Commercial (Alachua Market Place Plaza and Raceway Gas Station)	Commercial	CI

Map 3. Vicinity Map



NEIGHBORHOOD MEETING

The purpose of a Neighborhood Meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. As required by Section 2.2.4 of the LDRs, all property owners within 400 feet of the subject property were notified of the meeting and notice of the meeting was published in a newspaper of general circulation.

A Neighborhood Meeting was held on October 27, 2016 at 14435 NW US HWY 441 #40. The applicant's agent was present and available to answer questions. As evidenced by materials submitted by the applicant, the meeting was attended by seven (7) individuals. A

summary of the discussion which occurred at the Neighborhood Meeting has been provided by the applicant and is included within the application materials.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The Goals, Objectives, and Policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

Future Land Use Element

GOAL 1: Future Land Use Map 2025:

The City of Alachua shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens.

Objective 1.3: Commercial

The City of Alachua shall establish three commercial districts: Community Commercial, Commercial and Central Business District. These districts shall provide a broad range of retail sales and services, as well as office uses, in order to provide for the availability of goods and services, both to the citizens of Alachua and to the citizens of the North Central Florida region.

Evaluation and Findings of Consistency with Objective 1.3: The proposed use (office/business) complies with the intent of the Commercial Future Land Use designation by providing a service/office use to the citizens of Alachua and to the citizens of the North Central Florida region.

Policy 1.3.b: Commercial: The Commercial land use category is established to provide for general commercial uses, as well as more intense commercial and highway commercial uses. This is the land use category in which large-scale, regional commercial uses may locate. The following uses are allowed within the Commercial land use category:

1. Retail sales and services;
2. Personal services;
3. Financial Institutions;
4. Outdoor recreation and entertainment;
5. Tourist-related uses;
6. Hotels, motels;
7. Commercial shopping centers;
8. Auto-oriented uses;
9. Traditional Mixed-use Neighborhood Planned Developments;

10. Employment Center Planned Developments;
11. Commercial recreation centers;
12. Office/business parks;
13. Limited industrial services;
14. Eating Establishments

Evaluation and Findings of Consistency with Policy 1.3.b: The subject property has a Commercial FLUM designation, which allows office/ business uses.

Policy 1.3.d: Design and performance standards: The following criteria shall apply when evaluating commercial development proposals:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;
2. Buffering from adjacent existing/potential uses;
3. Open space provisions and balance of proportion between gross floor area and site size;
4. Adequacy of pervious surface area in terms of drainage requirements;
5. Placement of signage;
6. Adequacy of site lighting and potential impacts of lighting upon the surrounding area. Lighting should be designed to minimize impacts and preserve the ambiance and quality of the nighttime sky by reducing light trespass and light pollution on adjacent properties by utilizing lighting at an appropriate intensity, direction and times to ensure light is not overused or impacting areas where it is not intended;
7. Safety of on-site circulation patterns (patron, employee and delivery vehicles), including parking layout and drive aisles, and points of conflict;
8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;
9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and
10. Performance based zoning requirements, which may serve as a substitute for or accompany land development regulations in attaining acceptable site design.
11. Commercial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres but 5 acres or greater, a .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio to parcels 1 acre or less.

Evaluation and Findings of Consistency with Policy 1.3.d: The applicant has demonstrated through their submitted site plan application and supporting documentation that each of these sub-policies has been addressed.

Policy 1.3.e: The creation/promotion of strip pattern commercial development shall be discouraged. Infill within established commercial areas is preferred over

extension of a strip commercial pattern. Extension of a commercial land use designation may be considered in circumstances where the proposed commercial parcel is located within a block in which at least fifty percent (50%) of the block face (in linear feet) is either currently developed with commercial land uses or is designated for commercial use. In either case, the proposed commercial land use extension shall not encroach into a residential area. Judging the suitability of a location for an extension of commercial land uses shall be based upon the following minimum criteria:

1. Impacts upon traffic circulation should be anticipated and mitigated through the reservation of right-of-way for road widening and marginal access streets. Access points for commercial complexes shall seek to minimize points of conflict by utilizing frontage roads, providing cross access between parcels or installing shared use curb cuts for access driveways to the maximum extent feasible
2. Setbacks and landscaped or other appropriate buffers shall be established to mitigate the visual impacts of commercial development.
3. A sidewalk or bicycle path shall be required where appropriate, to provide convenient access to surrounding residents and to reduce traffic volumes on the roadways.

Evaluation and Findings of Consistency with Policy 1.3.e: The subject property has a Commercial FLUM designation; no new commercial FLUM designations would be created through consideration of this site plan application.

Objective 5.1: Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Policy 5.1.a: Topography: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

Policy 5.1.b: Soils: The City shall ensure soil protection and intervention measures are included in the development review process.

Policy 5.1.c: Flood prone areas: The City shall require as part of the development review process the identification of FEMA flood zone areas. Where necessary, base flood elevations and minimum finished floor elevations shall be established. The City shall also require finished

floor elevations on subdivision plats, site plans and building permit plans when necessary to determine compliance with flood prone area regulations. The City shall establish standards for a limitation on filling in flood prone areas.

Policy 5.1.d: Wetlands: The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.

Policy 5.1.e: Habitat: The City shall require as part of the development review process, an inventory of listed species for all new developments in areas identified as known habitat for listed species if listed species are known to exist in close proximity to the development. The survey shall include detailed information regarding type, quantity, location, and habitat requirements for any listed species identified. A de minimus threshold for properties required to complete the inventory shall be established in the City's Land Development Regulations.

Evaluation and Findings of Consistency with Objective 5.1: According to the analysis of the subject property, based on the best available data, the site does not contain any environmental features, such as those considered by Objective 5.1 that would render the property inappropriate for the proposed development. Please see the Environmental Conditions Analysis section of this Report.

Objective 5.2: Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted level of service standards are maintained.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, public schools, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

Evaluation and Findings of Consistency with Objective 5.2 and Policy 5.2.a: An analysis of the development's impact to public facilities has been provided within this report. This analysis demonstrates that the development will not adversely affect the level of service (LOS) standard of any monitored public facilities.

Policy 9.1: Any new development within a Commercial or Industrial Future Land Use Map Designation within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Evaluation and Findings of Consistency with Policy 9.1: The proposed development will connect to potable water and wastewater facilities.

Transportation Element

Objective 1.1: Level of Service

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

Evaluation and Findings of Consistency with Objective 1.1: An analysis of the development's impacts to transportation facilities has been provided within this report. The development will not adversely affect the level of service for transportation facilities.

Policy 1.3.a: The City shall establish minimum and maximum parking standards in order to avoid excessive amounts of underutilized parking areas.

Policy 1.3.d: The City shall require landscaping within parking areas, with an emphasis on canopy trees. The City shall consider establishing incentives for landscaping in excess of minimum standards.

Policy 1.3.e: The City shall establish standards for parking facility design that adequately separates pedestrians from vehicular traffic and delineates pedestrian crossing zones.

Policy 1.3.f: The City shall establish bicycle parking facility standards based on type of use within developments.

Policy 1.3.g: The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

Evaluation and Findings of Consistency with Objective 1.1 and Policies 1.3.a, 1.3.d – 1.3.g: The site plan complies with Section 6.1, Off-street parking and loading standards, of the City's Land Development Regulations.

Community Facilities & Natural Groundwater Aquifer Recharge Element

Policy 1.1.d:

The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service

- a. **Quality:** Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).

- b. Quantity: System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.
- c. System capacity: If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Policy 1.1.d: An analysis of the development's impacts to sanitary sewer facilities has been provided within this report. The development will not adversely affect the level of service for sanitary sewer facilities.

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

- 3. A gravity wastewater system, wastewater pumping station, or force main exists within ¼ mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 1.2.a: The proposed development is located within the City's utility service area and will connect to the City's wastewater system.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:

<u>FACILITY TYPE</u>	<u>LEVEL OF SERVICE STANDARD</u>
Solid Waste Landfill	.73 tons per capita per year

Evaluation and Findings of Consistency with Objective 2.1.a: An analysis of the development's impacts to solid waste facilities has been provided within this report. The development will not adversely affect the level of service for solid waste facilities.

Objective 3.1: Ensure provision of drainage and stormwater retention through level of service standards and design requirements to minimize flooding and to protect and improve water quality.

Policy 3.1.f: The City shall permit the use of off-site retention facilities, if they are part of previously approved master stormwater retention or detention facility.

Evaluation and Findings of Consistency with Objective 3.1 and Policy 3.1.f: The proposed development will convey the development's stormwater runoff to one (1) stormwater basin, which would be located both onsite. The applicant has indicated that, if the application is approved, an application for self-certification of environmental resource permit will be submitted to the Suwannee River Water Management District.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

3. A water main exists within $\frac{1}{4}$ mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 4.1.b: The proposed development is located within the City's utility service area and will connect to the City's potable water system.

Policy 4.1.c: The City establishes the following level of service standards for potable water:

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
2. Quantity: System-wide potable water distribution and treatment will be sufficient to provide a minimum of 275 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Florida Administrative Code.
3. System Capacity: If the volume of existing use in addition to the volume of the committed use of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available

or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Objective 4.1.c: An analysis of the development's impacts to potable water facilities has been provided within this report. The development will not adversely affect the level of service for potable water facilities.

Conservation & Open Space Element

Policy 1.2.a:

The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

Policy 1.3.e:

The City's land use designations shall offer the best possible protection to threatened and endangered species.

Evaluation and Findings of Consistency with Policy 1.2.a and 1.3.e: The subject property does not contain any environmentally sensitive lands or lands designated for conservation. The development therefore will encourage development practices which provide for the protection of native communities and ecosystems.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to best available data, there are no wetlands located on the subject property. If any wetlands are identified on the subject property at a later time, these areas will be subject to the applicable protection standards of the City of Alachua Comprehensive Plan and the Land Development Regulations (LDRs.)

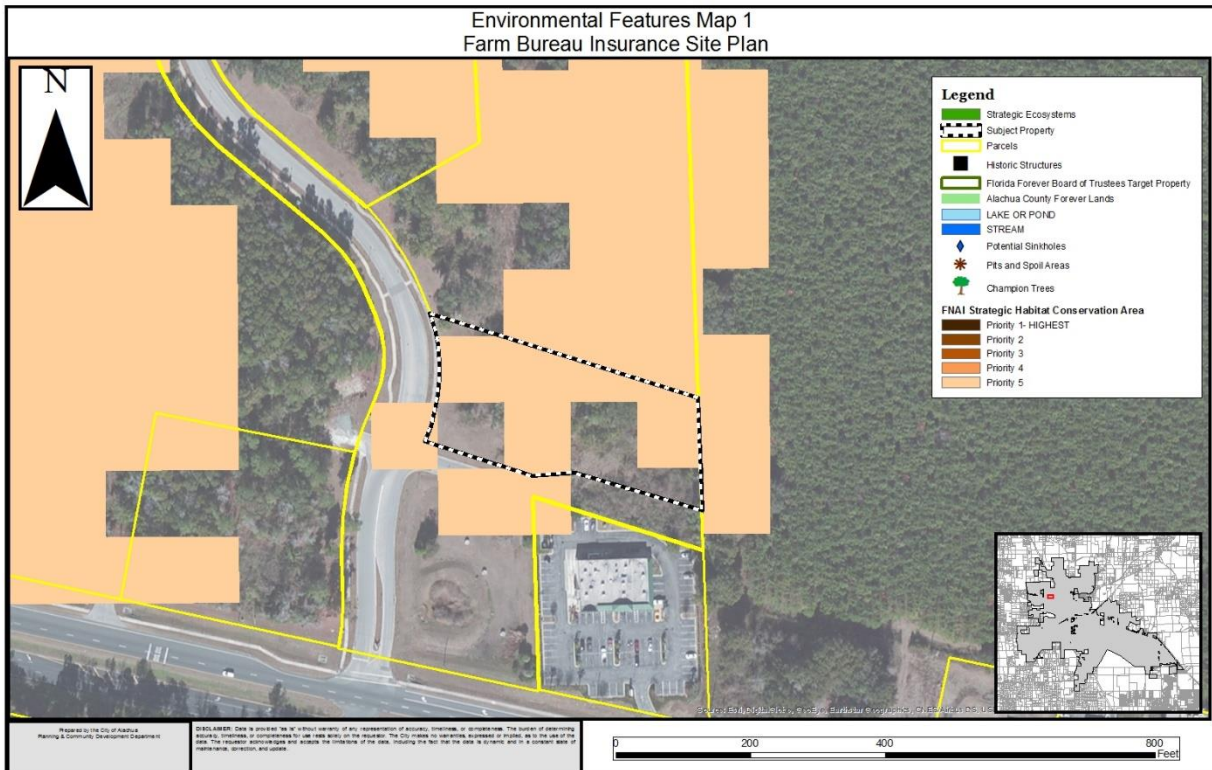
Evaluation: No wetlands have been identified on subject property therefore, there are no issues related to wetland protection.

Strategic Ecosystems

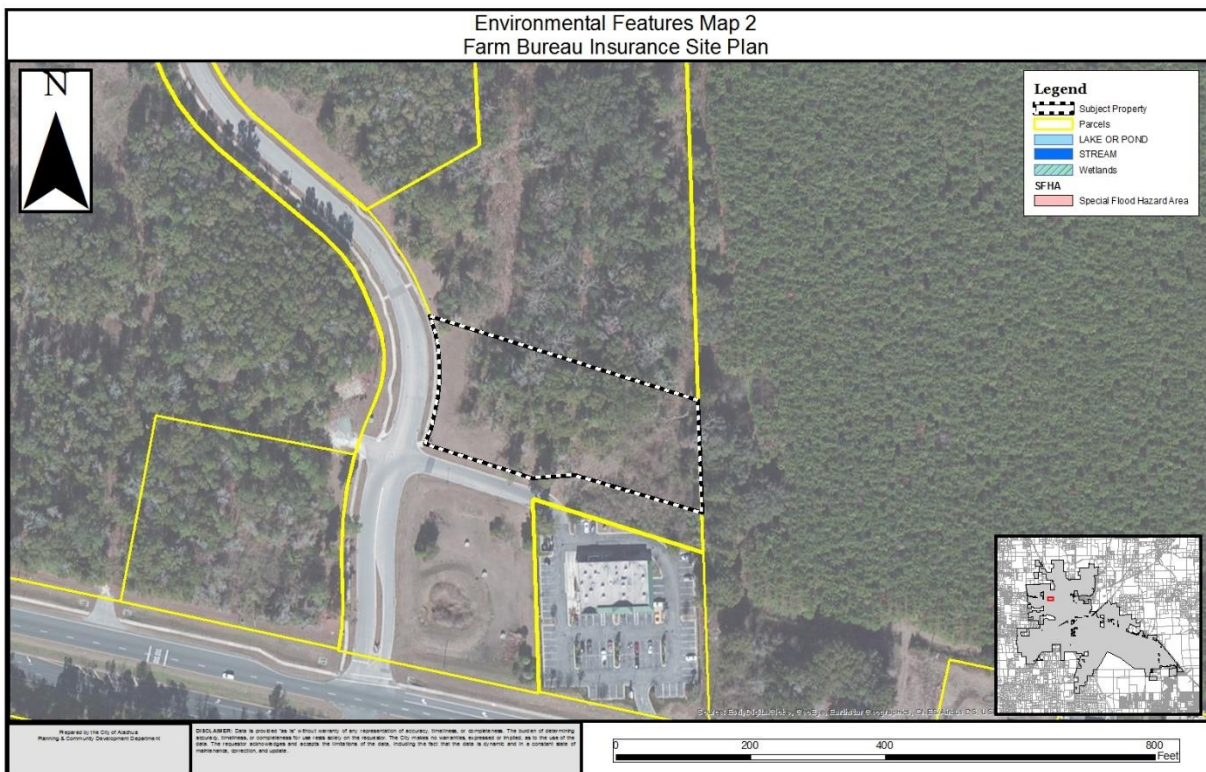
Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County. The subject property is not located within or adjacent to a Strategic Ecosystem.

Evaluation: The subject property is not located within or adjacent to a Strategic Ecosystem, therefore, the development will not adversely impact any Strategic Ecosystem(s) identified within the ecological inventory report.

Map 4. Environmental Features



Map 5. Wetlands and Flood Zones



Regulated Plant & Animal Species

The subject property is not known to contain any species identified as endangered, threatened, or of special concern. The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region. Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation: No species identified as endangered, threatened, or of special concern are known to exist on the subject property. While the FNAI PNA data layer does not indicate any lands classified as potentially having habitat which could support species identified as endangered, threatened, or of special concern, this data is not intended for use in a regulatory decision making process. If a regulated plant or animal species is identified

during development, the applicant must adhere to the applicable standards in the City of Alachua Comprehensive Plan and the Land Development Regulations.

Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

There are three (3) soil types found on the subject property:

Kendrick Sand (5%-8% slopes)

Hydrologic Soil Group: B

This soil type is well drained and permeability is rapid in the surface and moderately slow in subsurface layers. Surface runoff is medium. This soil type poses only slight limitations as sites for dwellings, absorption fields for septic tanks, and local roads and streets. Limitations as sites for small commercial buildings are moderate because of the slope.

Fort Meade Fine Sand (0% – 5% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is surface runoff is slow. This soil type poses only slight limitations as sites for homes and local roads.

Kendrick Sand (2% – 5% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and small commercial buildings.

Evaluation: The soil types where structures or paved areas will occur on the subject property potentially pose moderate limitations for development. The proposed development will address soil limitations through appropriate techniques including cutting and filling.

Flood Potential

Panel 0120D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006, indicates that the subject property is in Flood Zone X (areas determined to be outside of the 500-year floodplain.) See Map 5 above.

Evaluation: The subject property is located in Flood Zone X (areas determined to be outside of the 500-year floodplain), therefore there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations. The subject property is located within an area where sinkholes may potentially allow hydrologic access to the Floridan Aquifer System, however, best available data indicates that no sinkholes or known indicators of sinkhole activity are located on the subject property.

Evaluation: There are no geologic features located on the subject property which indicate an increased potential for karst sensitivity.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500 foot radius area around each city-owned potable water well.

Evaluation: The subject property is not located within a City of Alachua wellhead protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City's Comprehensive Plan, therefore, there are no issues related to wellfield protection.

Historic Structures/Markers and Historic Features

The subject property does not contain any historic structures as determined by the State of Florida and the Alachua County Historic Resources Inventory. Additionally, the subject property is not located within the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

Evaluation: There are no issues related to historic structures or markers.

COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

SITE PLAN STANDARDS

Section 2.4.9(E) of the City's Land Development Regulations (LDRs) establishes the standards with which all site plans must be found to be compliant. The application has been reviewed for compliance with the standards of Section 2.4.9(E.) An evaluation and findings of the application's compliance with the standards of Section 2.4.9(E) is provided below.

(E) Site Plan Standards

A Site Plan shall be approved only upon a finding the applicant demonstrates all of the following standards are met:

(1) *Consistency with Comprehensive Plan*

The development and uses in the Site Plan comply with the Goals, Objectives and Policies of the Comprehensive Plan.

Evaluation & Findings: An analysis of the application's consistency with the Comprehensive Plan has been provided in this report.

(2) *Use Allowed in Zone District*

The use is allowed in the zone district in accordance with Article 4: *Use Regulations*.

Evaluation & Findings: The subject property is zoned Commercial Intensive ("CI"). The site plan proposes a new ±5,560 square foot office with employee and visitor parking, storm water management facility improvements, paving, grading, and associated utility infrastructure. Table 4.1-1 of the LDRs establishes the allowable uses within each zoning district, and indicates that this zoning district permits professional offices under the "Offices" use category.

(3) *Zone District Use-Specific Standards*

The development and uses in the Site Plan comply with Section 4.3, *Use-Specific Standards*.

Evaluation & Findings: There are no use specific standards set forth for this use in Table 4.1-1 of the LDRs.

(4) *Development and Design Standards*

The development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 6: *Development Standards*.

Evaluation & Findings: The application has been reviewed for and is found to be in compliance with all relevant provisions of Article 6, *Development*

Standards, including but not limited to Section 6.1, Off Street Parking & Loading Standards, Section 6.2, Tree Protection/Landscape/Xeriscape Standards, Section 6.3, Fencing Standards, Section 6.4, Exterior Lighting Standards, Section 6.7, Open Space Standards, Section 6.8, Design Standards for Business Uses, and Section 6.9, Environmental Protection Standards. Compliance with the relevant provisions of the aforementioned LDR sections is demonstrated within the Site Plan.

(5) *Subdivision Standards*

In cases where a subdivision has been approved or is pending, the development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 7: *Subdivision Standards*.

Evaluation & Findings: The proposed lot split, which is being evaluated and considered for approval administratively, is exempt from Article 7 of the LDRs, per section 2.4.10 (B)(3)(f).

(6) *Complies with All Other Relevant Laws and Ordinances*

The proposed site plan development and use complies with all other relevant City laws and ordinances, state and federal laws, and regulations.

Evaluation & Findings: The application is consistent with all other relevant City ordinances and regulations.

COMPLIANCE WITH SECTION 3.7.2 (C), U.S. HIGHWAY 441/ INTERSTATE 75 GATEWAY OVERLAY DISTRICT

Section 3.7.2 (C) of the City's Land Development Regulations (LDRs) establishes development standards for properties located within 2,000 feet of the intersection of U.S. Highway 441 and Interstate 75. These standards address primarily design elements such as building materials and signage. The application has been reviewed for and found to be in compliance with the standards of Section 3.7.2 (C).

COMPLIANCE WITH SECTION 6.6.3, RESIDENTIAL PROTECTION STANDARDS

Section 6.6.3 of the City's Land Development Regulations (LDRs) establishes additional conditions that may be imposed for development located within 500 feet of any residential district or adjacent to any existing single-family or two-family development. Upon evaluation of the proposed Site Plan, no potential adverse impacts to residential uses within 500 feet of the proposed site are anticipated.

COMPLIANCE WITH SECTION 6.8, DESIGN STANDARDS FOR BUSINESS USES

Section 6.8 of the City's Land Development Regulations (LDRs) establishes design standards for business uses. The standards established within Section 6.8.2 apply to business use types, except for single tenant retail sales and services uses greater than or equal to 20,000 square feet or unless otherwise exempted within Subsection 6.8.1(B.). Uses exempt from the design standards pursuant to Subsection 6.8.1(B) include use types within the industrial services, manufacturing and production, warehouse and freight movement, waste-related services, and wholesale sales use categories. The standards established within Section 6.8.3 apply to single tenant retail sales and services uses greater than 20,000 square feet.

The application has been reviewed for and found to be in compliance with the standards of Section 6.8. The proposed development is classified as a "business use type" and therefore subject to the requirements of Section 6.8.

PUBLIC FACILITIES IMPACT

Traffic Impact

Table 2. Affected Comprehensive Plan Roadway Segments¹

Segment Number ^{2, 3}	Segment Description	Lanes	Functional Classification	Area Type	LOS
5 (13,14,15)	US 441 (From SR 235 to NCL)	4/D	Principle Arterial	Urban Trans	E
2 (31)	I-75 (from US 441 to south city limits)	6/D	Freeway	COMM	C
NA	CR 235A (South Segment) (from US 441 to CR 235)	2/U	County Maintained Collector	Urban Trans	D
NA	CR 235A (North Segment) (from north city limits to US 441)	2/U	County Maintained Collector	Urban Trans	D

¹ Source: City of Alachua Comprehensive Plan, Transportation Element.
² For developments generating fewer than 1,000 trips, affected roadway segments are identified as those located partially or wholly within ½ mile of the development's ingress/egress [Section 2.4.14(H)(2) of the LDRs.]
³ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 3. Trip Generation¹

Land Use	AADT (Enter/Exit) ²	AM Peak Hour (Enter/Exit) ²	PM Peak Hour (Enter/Exit) ²
General Office (ITE Code 710)	61 (31/31)	9 (8/1)	8 (1/7)
Total Trips	61 (31/31)	9 (8/1)	8 (1/7)

¹ Source: ITE Trip Generation, 9th Edition.
² Formulas: ITE Code 710 – AADT – 11.03 trips per 1,000 sf gfa x 5.56 ksf (50% entering/50% exiting); AM Peak Hour – 1.56 trips per 1,000 sf gfa x 5.56 ksf (88% entering/12 % exiting); PM Peak Hour – 1.49 trips per 1,000 sf gfa x 5.56 ksf (17 % entering/ 83% exiting)

Table 4a. Projected Impact on Affected Comprehensive Plan Roadway Segments (AADT)

Traffic System Category	US 441 From SR 235 to NCL (13,14,15) ¹	I-75 from US 441 to SCL (31,2) ¹	SR 235A South	SR 235A North
Average Annual Daily Trips				
Maximum Service Volume ²	35,500	85,600	14,580	14,580
Existing Traffic ³	24,411	56,476	3,780	1,428
Reserved Trips ⁴	3,769	746	102	75
Available Capacity ⁴	7,320	28,378	10,698	13,077
Increase/Decrease in Daily Trips Generated by Development ⁵	61	19	26	16
Residual Capacity After Development's Impacts⁶	7,259	28,359	10,672	13,061
¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. ² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas. ³ Florida State Highway System Level of Service Report 2013, Florida Department of Transportation, District II, August 2014. ⁴ Source: City of Alachua October 2016 Development Monitoring Report. ⁵ Trip Distribution: US 441 (From SR 235 to NCL) Segment- 100%, I-75 (From US 441 to SCL)- 31%, SR 235 (From 241 Intersection to US 441) - 42.6 %, SR 235 (From US 441 to NCL)- 26.2%. ⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.				

Table 4b. Projected Impact on Affected Comprehensive Plan Roadway Segments (PM Peak Hour)

Traffic System Category	US 441 From SR 235 to NCL (13,14,15) ¹	I-75 from US 441 to SCL (31,2) ¹	SR 235A South	SR 235A North
Maximum Service Volume ²	3,200	7,710	1,314	1,314
Existing Traffic ³	2,319	5,930	359	136
Reserved Trips ⁴	362	69	11	8
Available Capacity ⁴	519	1,711	944	1,170
Increase/Decrease in PM Peak Hour Trips Generated by Development ⁵	8	3	3	2
Residual Capacity After Development's Impacts⁶	511	1,708	941	1,168
¹ FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. ² Source: FDOT 2013 Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Areas Transitioning to Urbanized Areas or Areas of 5,000 Not in Urbanized Areas. ³ Florida State Highway System Level of Service Report 2013, Florida Department of Transportation, District II, August 2014. ⁴ Source: City of Alachua October 2016 Development Monitoring Report. ⁵ Trip Distribution: US 441 (From SR 235 to NCL) Segment- 100%, I-75 (From US 441 to SCL)- 31%, SR 235 (From 241 Intersection to US 441) - 42.6 %, SR 235 (From US 441 to NCL)- 26.2%. ⁶ The application is for a Final Development Order. Facility capacity and concurrency will be reserved.				

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

Potable Water Impacts

Table 5. Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,190,000
Reserved Capacity ¹	112,897
Available Capacity	997,103
Projected Potable Water Demand from Application ³	834
Residual Capacity	996,269
Percentage of Permitted Design Capacity Utilized	56.7%
<i>Sources:</i> ¹ City of Alachua October 2016 Development Monitoring Report. ² Source: Chapter 64E-6, Florida Administrative Code; Formula: 15 gallons per day per 100 square feet (55.6 100 square feet x 15 gpd = 834 gpd total)	

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

Sanitary Sewer Impacts

Table 6. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity ¹	1,500,000
Less Actual Treatment Plant Flows ¹	615,000
Reserved Capacity ¹	73,307
Available Capacity	811,693
Projected Sanitary Sewer Demand from Application ²	834
Residual Capacity	810,859
Percentage of Permitted Design Capacity Utilized	46%
<i>Sources:</i> ¹ City of Alachua March 2016 Development Monitoring Report. ² Source: Chapter 64E-6, Florida Administrative Code; Formula: 15 gallons per day per 100 square feet (55.6 100 square feet x 15 gpd = 834 gpd total)	

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

Solid Waste Impacts

Table 7. Solid Waste Impacts

System Category	Pounds Per Day	Tons Per Year
Demand from Existing Development ¹	39,152	7,145.24
Reserved Capacity ²	4,928.41	899.43
Demand Generated by Application ²	33.3	6.1
New River Solid Waste Facility Capacity ⁴	50 years	
Sources: 1 City of Alachua October 2016 Development Monitoring Report. 2 Sincero and Sincero; Environmental Engineering: A Design Approach. Prentice Hall, New Jersey, 1996		

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

Recreation Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public school facilities.

EXHIBIT “A”
TO
HIPP INVESTMENTS, LLC.; FARM BUREAU INSURANCE
SITE PLAN
STAFF REPORT

CONDITIONS:

1. The applicant agrees it shall obtain all other applicable local, state, and federal permits before the commencement of the development.
2. The applicant agrees it shall provide Public Utilities Easements as depicted on the Site Plan. Public Utilities Easements as depicted on the Site Plan shall be approved by the City and recorded in the Public Records of Alachua County prior to applying for a building permit. The applicant shall incur all costs associated with the preparation and recordation of such Public Utilities Easements.
3. The applicant agrees it shall comply with all recommendations provided by the City of Alachua Public Services Department in a memorandum dated February 16, 2017 and found in Exhibit “B” – Supporting Application Materials Submitted by City Staff to the Planning and Zoning Board.
4. The applicant agrees it shall comply with all recommendations provided by the City Engineer Robert J. Walpole, PE, in a memorandum dated January 4, 2017 and found in Exhibit “B” – Supporting Application Materials Submitted by City Staff to the Planning and Zoning Board.
5. The applicant agrees that Conditions 1-4 as stated above do not inordinately burden the land and shall be binding upon the property owner, including any subsequent property owners, successors, or assigns, and that the development shall comply with Conditions 1 -4 as stated herein.

EXHIBIT “B”
TO
HIPP INVESTMENTS, LLC; FARM BUREAU INSURANCE
SITE PLAN
STAFF REPORT

SUPPORTING APPLICATION MATERIALS SUBMITTED BY CITY STAFF TO THE PLANNING AND ZONING BOARD



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

February 21, 2017

Also sent by electronic mail to chrisg@gmuereng.com

Christopher Gmuer, PE
Gmuer Engineering, Inc.
2603 NW 13th Street
Box 314
Gainesville, FL 32609

RE: Development Review Team (DRT) Summary for:
Farm Bureau Insurance (Site Plan)

Dear Mr Gmuer:

On February 7, 2017 the City of Alachua received your revised application for the approval of a Site Plan for the development located on NW 167th Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a ±1.66 acre subject property. A meeting was held on January 24, 2017 to discuss these items.

The application has been reviewed for compliance with the applicable review standards, including the City's Comprehensive Plan and Land Development Regulations (LDRs) and comments provided at the January 24, 2017 Development Review Team (DRT) meeting. Based upon Staff's review, the application may be scheduled for a public hearing before the Planning and Zoning Board, however, revisions must be made to the application to address outstanding DRT comments. Failure to adequately address these comments may delay your application to a future Planning and Zoning Board date and require additional costs for re-advertising the public hearing. Please address all insufficiencies outlined below in writing and provide 13 *double-sided, three-hole punched sets* of each application package and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*. Deadline for submission of revised application materials is **4:00 p.m., Monday, February 27, 2017**.

Please address the following comments:

Previous DRT Comments:

Unless otherwise noted, references to code Sections refer to City of Alachua Land Development Regulations.

B. Land Rights Issues

2. If wastewater line is relocated to eastern property boundary, a 30 foot public utility easement along his boundary will be required.

D. Development Standards

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District
 - d. To demonstrate compliance with 3.7.2 (C) (5) (vi), please identify, on the architectural elevations, the accent materials referenced in application materials. Articulated cornice lines must be along entire top of building in order to be considered for a contributing architectural element. Please provide breakdown of cladding materials with per-cent totals on architectural elevation plans showing façade is at least 30% brick in order to claim for a contributing architectural element.
6. Section 6.8- Design Standards for Business Uses
 - d. Location and screening method (with detail or narrative) for mechanical equipment must be shown on site plan.

New Comments:

The comments below are based on the revisions submitted with the updated application.

1. Sheet C-000 Legal Description does not match legal description shown on attached Survey.
2. The eastern boundary of the proposed paved parking area is required to have a shrub buffer or other acceptable buffer per Section 6.2.2 (D) (2) (b).
3. Current Site Plan Sheet does not reflect any changes from previous submission.
4. Floor to Area ratio and impervious/ lot coverage ratios must be recalculated based on new lot size.
5. Apply new property boundary to all sheets.
6. Generally, some sheets have issues with overlapping labels and lines with similar style and weight in close proximity to each other.
7. Site Plan application sheet should be updated to reflect new property line.
8. An easement will be required along the property's western boundary (along NW 167th Boulevard), if this easement is not granted by the current property owner before transfer of property. The sketch and legal description of this easement has been attached to this letter.
9. Please see electric connection design comments from Public Services attached to this letter.

Please address all insufficiencies outlined above in writing and provide 13 *double-sided, three-hole punched sets* of each application package and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*. Deadline for submission of revised application materials is **4:00 p.m., Monday, February 27, 2017**.

Please note that if the submitted revised application does not adequately address all outstanding comments, the application may be delayed to a future Planning and Zoning Board meeting, and the applicant shall be responsible for all costs associated with re-advertising the public hearing.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 108 or via e-mail at ahall@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Adam Hall, AICP
Planner

cc: Kathy Winburn, AICP, Planning & Community Development Director
Justin Tabor, AICP, Principal Planner
Project File



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: February 16th, 2017

TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. 
Public Services Director

RE: Farm Bureau Insurance Site Plans

Public Services have reviewed the Farm Bureau Insurance Site Plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	<u>General Note.</u> Reference <i>City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater</i> . Requirements and details may be found on City website. Water Meter Assembly shall be in accordance with City standard details. Waste Water Service Lateral shall be in accordance with City standard details. [Approved as Noted] [No Response Required.] Drawing annotates brass packing. As per City Standards, no brass pack joint coupling will be acceptable.
2.	<u>Wastewater</u> ; sheet C-200. Cleanout and collar shall be installed at the edge of P.U.E. [Approved as Noted] [No Response Required.]
3.	<u>Wastewater</u> ; sheet C-200. Provide dog house manhole connection when connecting to City gravity main. [Approved as Noted] [No Response Required.] Comment to be disregarded.
4.	<u>Water</u> ; sheet C-200. 8" x 4" tap by City approved contractor. [Approved as Noted] [No Response Required.]



engineers • surveyors • planners, inc.

November 7, 2016

Legal Description

Utility Easement No. 2 – Alachua Gateway

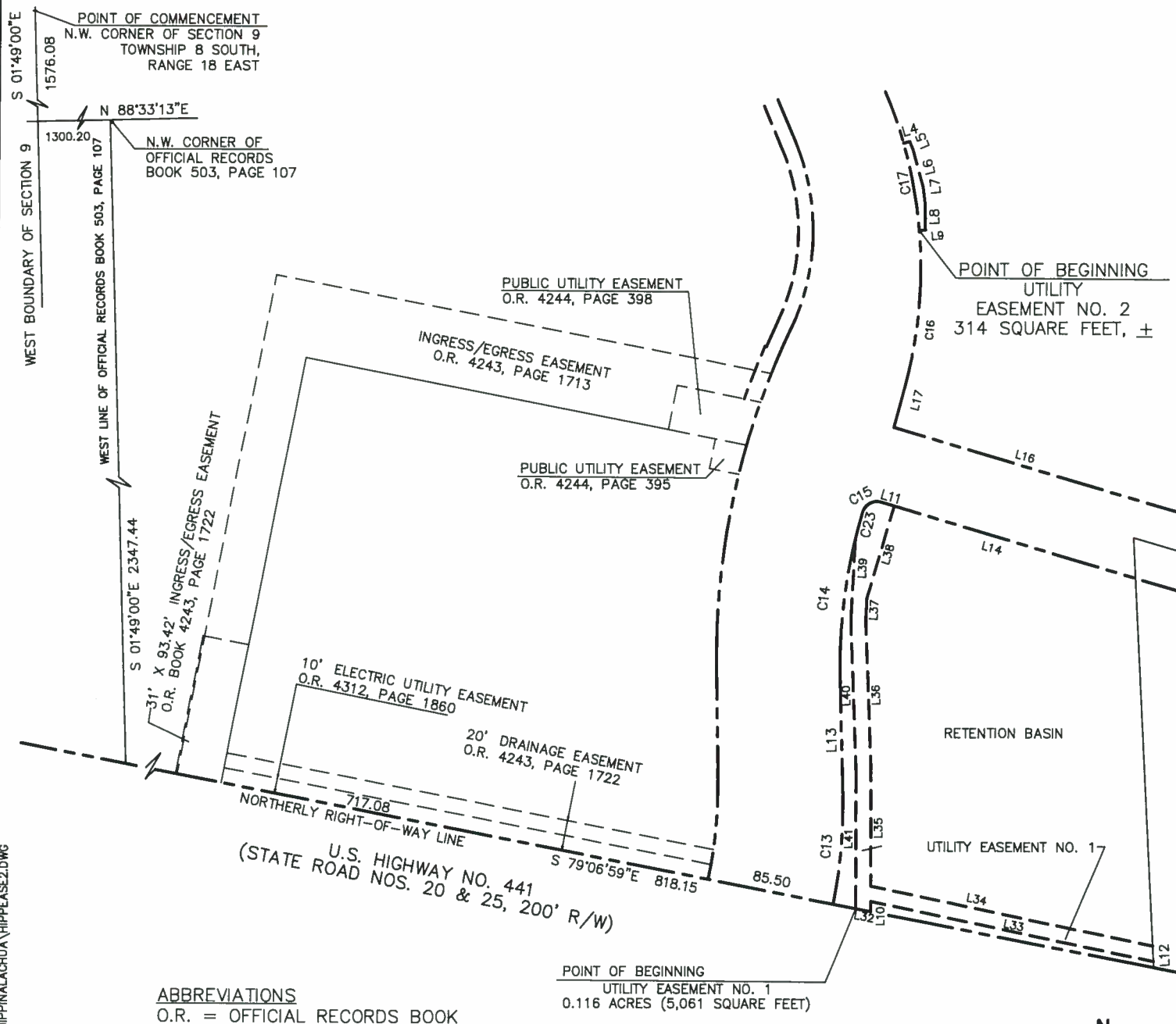
A portion of Section 9, Township 8 South, Range 18 East, Alachua County, Florida; being more particularly described as follows:

Commence at the northwest corner of Section 9, Township 8 South, Range 18 East, Alachua County, Florida, and run thence South $01^{\circ}49'00''$ East, along the west boundary of said Section, 1576.08 feet; thence North $88^{\circ}33'13''$ East, 1300.20 feet to the northwest corner of that certain tract of land as described in Official Records Book 503, page 107 of the Public Records of Alachua County, Florida; thence South $01^{\circ}49'00''$ East, along the west line of said certain tract of land, 2347.44 feet to a point on the northerly right of way line of U.S. Highway No. 441 (State Road Nos. 20 & 25, 200' R/W); thence South $79^{\circ}06'59''$ East, along said right of way line, 802.58 feet to a point lying on the arc of a curve, concave westerly, having a radius of 337.01 feet; thence northerly, along the arc of said curve, through a central angle of $12^{\circ}47'39''$, an arc distance of 75.25 feet to the end of said curve, said arc being subtended by a chord having a bearing and distance of North $04^{\circ}34'53''$ East, 75.10 feet; thence North $01^{\circ}49'02''$ West, 74.48 feet to the beginning of a curve, concave easterly, having a radius of 352.50 feet; thence northerly, along the arc of said curve, through a central angle of $18^{\circ}19'21''$, an arc distance of 112.73 feet, said arc being subtended by a chord having a bearing and distance of North $07^{\circ}20'38''$ East, 112.25 feet to the end of said curve and the beginning of a curve concave southeasterly having a radius of 10.00 feet; thence northeasterly, along the arc of said, curve, through a central angle of $89^{\circ}43'19''$, an arc distance of 15.66 feet to the end of said curve, said arc being subtended by a chord having a bearing and distance of North $61^{\circ}21'58''$ East, 14.11 feet; thence South $73^{\circ}46'22''$ East, 176.75 feet; thence North $16^{\circ}13'38''$ East, 50.00 feet; thence North $73^{\circ}46'22''$ West, 182.80 feet; thence North $14^{\circ}44'53''$ East, 28.60 feet to the beginning of a curve, concave westerly, having a radius of 301.00 feet; thence northerly, along the arc of said curve, through a central angle of $19^{\circ}48'09''$, an arc distance of 104.03 feet to the Point of Beginning, said arc being subtended by a chord having a bearing and distance of North $04^{\circ}50'49''$ East, 103.51 feet; thence continue northerly, along the arc of said curve, through a central angle of $11^{\circ}14'23''$, an arc distance of 59.05 feet, said arc being subtended by a chord, having a bearing and distance of North $10^{\circ}40'27''$ West, 58.95 feet; thence North $73^{\circ}42'22''$ East, 4.14 feet; thence South $23^{\circ}30'37''$ East, 5.97 feet; thence South $15^{\circ}30'02''$ East, 26.07

8

feet; thence South $07^{\circ}48'16''$ East, 10.48 feet; thence South $00^{\circ}53'19''$ East, 17.75 feet; thence South $84^{\circ}56'44''$ West, 4.12 feet to the Point of Beginning.

Containing 314 square feet, more or less.



THIS IS NOT A BOUNDARY SURVEY

DRN. B.G.	CHKD. B.G.	SURVEY DATE	DWG COMP	PROJ. NO.	FIELD BK.	PAGE NO.
		11/7/16		13-105		

LEGAL DESCRIPTION SKETCH OF

A PORTION OF SECTION 9
TOWNSHIP 8 SOUTH, RANGE 18 EAST
ALACHUA COUNTY, FLORIDA.

UTILITY EASEMENTS NOS. 1 AND 2

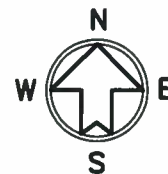
FOR: HIPP INVESTMENTS, LLC

THIS SKETCH OF LEGAL DESCRIPTION MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2016), FLORIDA STATUTES.

BY: ROBERT W. GRAVER P.S.M. 4239

Corporate Authorization
No. LB 2389

NOT VALID WITHOUT THE SIGNATURE AND
THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER.



SCALE: 1" = 100'



eda engineers-surveyors-planners, inc.

LB 2389
2404 N.W. 43rd ST, GAINESVILLE, FLORIDA 32606-6602
TEL. (352) 373-3541 FAX. (352) 373-7249
E-MAIL: mail@edafl.com

Zimbra**ad_hall@cityofalachua.org**

RE: Revised Farm Bureau Site Plan

From : Robert Walpole <Walpole@chw-inc.com> Wed, Feb 15, 2017 07:46 AM
📌 Florida Farm Bureau Office

Subject : RE: Revised Farm Bureau Site Plan

To : Adam Hall <ad_hall@cityofalachua.org>, Monique Heathcock <MoniqueH@chw-inc.com>

Adam

I have reviewed these and my prior comments have been adequately addressed.

ROBERT J. WALPOLE, PE | President

t: (352) 519-5906 | c: (352) 339-2859

e: walpole@chw-inc.com

w: www.chw-inc.com

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Tuesday, February 14, 2017 3:14 PM

To: Monique Heathcock <MoniqueH@chw-inc.com>

Cc: Robert Walpole <Walpole@chw-inc.com>

Subject: Revised Farm Bureau Site Plan

Monique: Please see the attached request regarding the revised set of Farm Bureau plans. The parking lot and DRA have been reconfigured to address Mr Walpole's and th

e City's comments.

If you have any questions or need anything else, please feel free to contact me.

Thank you,

--

Adam Hall, AICP | Planner | Office of Planning and Community Development

City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 24, 2017

Also sent by electronic mail to chrisg@gmuereng.com

Christopher Gmuer, PE
Gmuer Engineering, Inc.
2603 NW 13th Street
Box 314
Gainesville, FL 32609

RE: Development Review Team (DRT) Summary for:
Farm Bureau Insurance (Site Plan)

Dear Mr Gmuer:

On December 21, 2016 the City of Alachua received your revised application for the approval of a Site Plan for the development located on NW 167th Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a 1.176 acre subject property and your application for an associated lot split. A meeting was held on January 24, 2017 to discuss these items.

The application has been reviewed for compliance with the applicable review standards, including the City's Comprehensive Plan and Land Development Regulations (LDRs). Based upon Staff's review, revisions must be made to the application before it may be scheduled for a public hearing before the City's Planning & Zoning Board (PZB). Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed by **5:00 PM on Tuesday, February 7, 2017**. A total of four (4) copies of the **complete** application package (i.e., all application materials and attachments) and a CD containing a PDF of **all** application materials must be provided by this date. Submission of an incomplete package may delay your tentative hearing at the Planning and Zoning Board. Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved, if any, before the item may be scheduled for a public hearing before the PZB.

Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide 13 *double-sided, three-hole punched sets* of each application package and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

Please address the following insufficiencies:

Deficiencies to be Addressed

Unless otherwise noted, references to code Sections refer to City of Alachua Land Development Regulations.

A. Comprehensive Plan Consistency

1. Future Land Use Element Policy 1.3.d analysis located on Page 2 of submitted consistency report indicates that access way provided on site plan is for access to parcel located to the west. The access way is for public access to the east of the subject property. Also, please see note below regarding access. Proposed access must be through deeded right-of-way.

B. Land Rights Issues

1. The proposed access easement must be in a form acceptable to the City. This access must be by deeded right-of-way.
2. If wastewater line is relocated to eastern property boundary, a 30 foot public utility easement along his boundary will be required.

C. Concurrency Impact Analysis

1. Concurrency Impact analysis includes I-75 NB (Comprehensive Plan Segment 1) for analysis. This segment is located greater than ½ mile away from subject property (as measured through actual travel distance) and should therefore be removed from analysis.
2. Traffic concurrency table should include residual capacities for each impacted segment.
3. Water and wastewater demand formulas or data sources must be provided.

D. Development Standards

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District
 - a. Per Section 3.7.2 (C)(5)(iv), accessory structures such as dumpster enclosures must be of comparable design and materials as primary structure.
 - b. Property is substantially visible from US Highway 441. Glazing requirements as found in 3.7.2 (C)(5)(vi) are applicable to the proposed front elevation. A minimum of 35 % glazing of the first floor area façade is required.
 - c. To demonstrate compliance with 3.7.2 (C)(5)ii and 3.7.2 (C)(5)(vi), a description of each façade material and color is required. See comment D.6.a below.
 - d. To demonstrate compliance with 3.7.2 (C)(5)(vi), please identify, on the architectural elevations, the accent materials referenced in application materials. Articulated cornice lines must be along entire top of building in order to be considered for a contributing architectural element. Please provide breakdown of cladding materials with per-cent totals on architectural elevation plans showing façade is at least 30% brick in order to claim for a contributing architectural element.
 - e. Per Section 3.7.2 (C)(5)(d)(ii), the minimum landscape street buffer is 15'. Parking lot appears to encroach into landscape buffer from southern property line.
 - f. Per Section 3.7.2 (C)(5)(d)(iii), the street buffer landscaping must include Live Oaks as required canopy tree, other materials must come from list provided in this code section.
2. Article 5 – Density, Intensity, and Dimensional Standards

- a. Section 5.2.2 (A)(7) states that the front yard setback of a corner lot shall be required on road frontage side of the lot that the primary building faces. The proposed primary building faces NW 163rd Lane, therefore the required 20 foot setback would apply to the southern lot line. The proposed waste receptacle enclosure would encroach on the required 20 foot setback. Please address.
3. Section 6.2- Tree protection/landscape/xeriscape standards
 - a. Generally, the plans do not indicate how the tree preservation credits will be used. Tree preservation credits can be used towards site landscaping requirements, perimeter buffering, and interior and perimeter landscaping for parking areas. The credits cannot be used towards tree mitigation. The landscaping plans should show the required number of trees for each landscaped area and how many tree preservation credits will be applied to that required area. Landscaping plan should indicate which trees are being counted towards meeting the required mitigation amounts. A tree survey showing the location, size, and species of trees proposed to be removed and those proposed to remain must be provided.
 - b. Proposed landscape plan must provide differentiation between canopy and understory trees.
 - c. Façade length calculated at 440 linear feet which would require a total of 33 canopy trees for site landscaping requirements (9 located in front of the front façade, and 8 located in sides and rear) [LDR Section 6.2.2(D)(1)(c)].
 - d. Must provide at least 2 ½ feet clearance between planting materials and edge of curb on southernmost row of parking spaces [LDR Section 6.2.2 (D)(2)(a)(ii)].
 - e. Proposed access area to parcel located to east need to be shown on landscape plan. Proposed trees and shrubs must not be located in proposed access areas.
 - f. The row of parking located immediately in front of entrance requires an additional tree island [LDR Section 6.2.2 (D)(2)(a)(iii)c)].
 - g. Unpaved parking area also must be screened [LDR Section 6.2.2 (D)(2)(b)(iv)c)].
 - h. An irrigation system plan must be provided that shows that the requirements found in Section 6.2.2(D)(6) have been met.
 - i. Waste Receptacle screening does not meet requirements of Section 3.7.2 (C)(5)(iv). Must be of comparable design and building materials to the principal structure.
 - j. Please provide slope of berm proposed. Per Section 6.2.2 (D)(2)(a)(vii), berms in landscaped areas cannot exceed a 2:1 slope.
4. Section 6.4- Exterior lighting Standards
 - a. Additional photometric data needed showing maximum and minimum lighting levels, uniformity ratio, and cutsheet/ specification information for lighting fixtures, including height of poles.
 - b. Full cutoff lenses or hoods are required [LDR Section 6.4.4 (F)].
5. Section 6.6.3 – Residential Protection Standards
 - a. GIS analysis indicates that the subject property is located within 500' of a residential zoning district (Heritage Oaks). Please submit an analysis that addresses the 12 conditions identified in Section 6.6.3(A).

6. Section 6.8- Design Standards for Business Uses

- a. Plans should show percentage calculations of each building material on each façade. Note that exposed split face block is limited to less than 60% on any façade. Additionally, east and west elevation labels appear to have been inverted.
- b. West elevation does not appear to meet glazing requirement of 20% [Section 6.8.2 (A)(2)(a)a].
- c. In order to determine compliance with Section 6.8.2(A)(2)(b)(ii), fully dimensioned, color architectural elevations must be submitted. Additionally, see Comment C.6.a of this memo.
- d. Location and screening method (with detail or narrative) for mechanical equipment must be shown on site plan.

E. Fire Marshal/Public Services/Outside Engineering Review Comments

1. No comments (email attached to this memo).
2. The applicant must address the comments provided by Robert J. Walpole, PE of CHW, Inc in a letter received by the City on January 4, 2017 (attached to this memo).
3. The applicant must comply with all comments provided by the Public Services Department in a memo dated January 18, 2017 (attached to this memo).

F. Miscellaneous

1. Identify structure(s) located to east of primary structure

G. Completeness Review Comments:

1. The applicant must address all completeness review deficiencies as provided in correspondence dated January 2, 2017 and noted below (items which have been addressed or discussed elsewhere in this memo have been removed from this list):
5. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing public right-of-way, must be in sufficient detail to demonstrate compliance with façade massing requirements and must be in color.
Action Needed to Address Deficiency: Amend architectural plans to provide glazing calculations for all facades facing public rights-of-way. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.
10. **Required Attachment 7.ii:** Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice.
Action Needed to Address Deficiency: The mailing labels or list provided in application appear to only include property owner located within 400' of the proposed project, but not those persons/organizations registered to receive notice. Please confirm if those persons/organizations received notice of the neighborhood meeting.
11. **Required Attachment 10:** Proof of payment of taxes
Action Needed to Address Deficiency: Proof of payment of all property taxes and assessments must be submitted with application.

12. **Required Attachment 11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

Action Needed to Address Deficiency: Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 108 or via e-mail at ahall@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Adam Hall, AICP
Planner

cc: Kathy Winburn, AICP, Planning & Community Development Director
Justin Tabor, AICP, Principal Planner
Project File

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Farm Bureau Insurance

APPLICATION TYPE: Site Plan

APPLICANT/PROPERTY OWNER: Hipp Investments, LLC

AGENT: Chris Gmuer, P.E., Gmuer Engineering, Inc.

DRT MEETING DATE: January 24, 2017

DRT MEETING TYPE: Applicant

FLUM DESIGNATION: Commercial

ZONING: CI

OVERLAY: I-75/441 Gateway

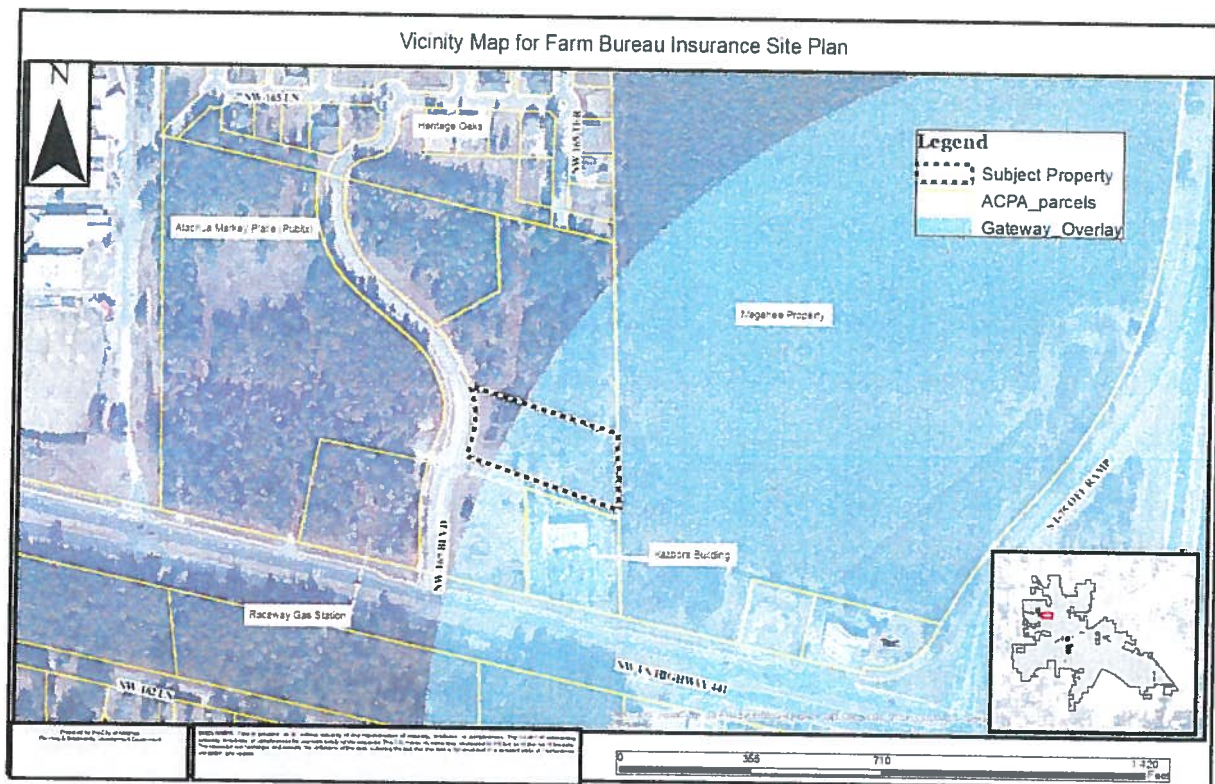
DEVELOPMENT AREA ACREAGE: ± 1.8 acres

PARCEL: 03053-0001-001

PROJECT LOCATION: South of Holiday Inn- Alachua site plan, east of Alachua Market Place (Publix), north of Hungry Howie's/El Patio Restaurant building

PROJECT SUMMARY: A request for a Site plan for a new ±5,560 square foot building with associated drainage, paving, grading, and utility infrastructure improvements

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before **5:00 PM on Tuesday, February 7, 2017.**



Deficiencies to be Addressed

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E. Fire Marshal/Public Services/Outside Engineering Review Comments

1. No comments (email attached to this memo). *John M. J.*
2. The applicant must address the comments provided by Robert J. Walpole, PE of CHW, Inc in a letter received by the City on January 4, 2017 (attached to this memo).
3. The applicant must comply with all comments provided by the Public Services Department in a memo dated January 18, 2017 (attached to this memo).

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Action Needed to Address Deficiency: Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

ALL COMMENTS AND REQUIREMENTS LISTED ABOVE MUST BE COMPLIED WITH AND PROVIDED TO CITY STAFF ON OR BEFORE 5:00 PM ON THE RESUBMISSION DATE OF FEBRUARY 7, 2017.

Zimbra

ad_hall@cityofalachua.org

RE: Application for Farm Bureau Insurance Site Plan

From : Brian Green
<bgreen@AlachuaCounty.US>

Mon, Jan 09, 2017 01:17 PM

Subject : RE: Application for Farm Bureau
Insurance Site Plan

To : Adam Hall
<ad_hall@cityofalachua.org>,
William P. Whitelock
<wi_whitelock@cityofalachua.org>

Adam,

I have reviewed this plan and have no comments

Brian Green

Alachua County Fire Rescue
Life Safety / Internal Affairs Branch
352-384-3103 office
352-494-3140 cell
352-384-3157 fax

BGREEN@ALACHUACOUNTY.US

From: Adam Hall [mailto:ad_hall@cityofalachua.org]

Sent: Monday, January 02, 2017 3:22 PM

To: William P. Whitelock; Brian Green

Subject: Application for Farm Bureau Insurance Site Plan

Importance: High

Brian and Bill,

Please find a link to an electronic version of plans for the Farm Bureau Insurance office site plan application here: <http://cloud.cityofalachua.org/index.php/s/kfaMHsgOU0UdQqz>.

Please submit any comments by Wednesday, January 18, 2017 at 5 PM. The Staff DRT is scheduled for Thursday, January 19, 2017 at 4 PM. The applicant DRT is scheduled for Tuesday, January 24, 2017 at

2 PM.

Bill, the application can also be found on our shared drive at: X: Planning and Community Development Planning Division Development Applications Site Plans Farm Bureau Insurance Submittals December 21, 2016

If you have any questions or need more information, please let me know.

Thank you.

--

Adam Hall, AICP | Planner | Office of Planning and Community Development
City of Alachua | ahall@cityofalachua.com | Phone: 386.418.6121 | Direct: 386.418.6125

From : Adam Hall

Mon, Jan 02, 2017 03:21 PM

<ad_hall@cityofalachua.org>

Subject : Application for Farm Bureau
Insurance Site Plan

To : William P. Whitelock

<wi_whitelock@cityofalachua.org> ,

Brian Green

<bgreen@alachuacounty.us>

Brian and Bill,

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Please submit any comments by **Wednesday, January 18, 2017** at 5 PM. The Staff DRT is scheduled for **Thursday, January 19, 2017** at 4 PM. The applicant DRT is scheduled for **Tuesday, January 24, 2017** at 2 PM.

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If you have any questions or need more information, please let me know.



January 4, 2017

City Of Alachua
Planning & Community Development
Adam Hall, AICP
PO Box 9
Alachua FL, 32616

RE: Farm Bureau Insurance Site Plan
Alachua, FL

Dear Adam:

We have completed our review pursuant to your request for engineering review for the referenced project. Our review was based on an application package supplied by your office on January 2, 2017 and certified by Chris Gmuer, PE.

Our review is based on the City Comprehensive Plan, Land Development Regulations, applicable engineering standards and best practices.

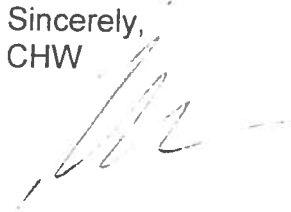
1. The City does not perform Wet Taps. Please revise note to indicate by a properly licensed contractor, witnessed by the City.
2. The sanitary lateral exceeds the plumbing code maximum of 100 ft without a clean out. Please revise.
3. Transformer and electric service needs to be shown and coordinated on the site plan.
4. It's recommended, but not required for the applicant to add the new City standard utility notes and details as applicable to the plan.
5. Grading within the I/E easement on the project side should not exceed 2% from back of curb to the extent of the 50 ft. easement line to allow placement of a future sidewalk. Similarly the driveway slope should be adjusted now to accommodate a 2% cross slope in the easement area to accommodate a cross walk.
6. The SMF back slope and maintenance path may remain in the easement as the future access road will become the maintenance path, however the SMF volume should be contained outside the easement limits. Slight adjustment is required.

7. Grading from the parking lot to the stormwater management area is problematic and will cause long term maintenance issues especially to the City's existing PUE. Running water across a grassed area after being concentrated on asphalt is not advisable and will cause erosion and maintenance issues. In addition contours can't split as shown. The split of the 95 contour creates a flat spot of nearly 100 ft. across the PUE where water will stand. This can be corrected by completely removing the split 95 and allowing a slope from 96 to the top of the SMF at 95. Finally the eastern grass swale points due south instead of into the SMF. The grading should be revised to direct the water to the SMF and not south where it will likely continue south due to the lack of positive drainage.

From an Engineering perspective the project is approvable with these comments addressed and would make a recommendation for approval of the plans subject to these minor items being corrected.

We appreciate the opportunity to complete this review and please do not hesitate to contact us with questions or if we can be of further assistance.

Sincerely,
CHW



Robert J. Walpole, PE
President



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: January 18th, 2017

TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. *RTV*
Public Services Director

RE: Farm Bureau Insurance Site Plans

Public Services have reviewed the Farm Bureau Insurance Site Plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1	<u>General Note.</u> Reference <i>City of Alachua Requirements for Design and Construction for Potable Water, Reclaimed Water and Wastewater</i> . Requirements and details may be found on City website. Water Meter Assembly shall be in accordance with City standard details. Waste Water Service Lateral shall be in accordance with City standard details. [Approved as Noted]
2.	<u>Wastewater</u> ; sheet C 200. Cleanout and collar shall be installed at the edge of P.U.E. [Approved as Noted]
3.	<u>Wastewater</u> ; sheet C 200. Provide dog house manhole connection when connecting to City gravity main. [Approved as Noted]
4.	<u>Water</u> ; sheet C 200. 8" x 4" tap by City approved contractor. [Approved as Noted]
5.	<u>Water</u> ; sheet C 200. Water meter shall be located within P.U.E. for water meter main area [Approved as Noted]
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Adam Hall – AICP Planner
Harry Dillard – Lead Engineering Technician

Development Review Team (DRT) Meeting
Project Name: Farm Bureau Insurance
Meeting Date: January 24, 2017 1:30 PM (Applicant)

[illegible]



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 2, 2017

Christopher Gmuer
Gmuer Engineering, Inc.
2603 NW 13th Street
Box 314
Gainesville, FL 32609

Also submitted electronically to chrisg@gmuereng.com

RE: Completeness Review for Farm Bureau Insurance Site Plan Application

Dear Mr. Gmuer:

On December 21, 2016 the City of Alachua received your application for the approval of a Site Plan for the development located on NW 167th Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a 1.176 acre subject property and your application for an associated lot split.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the application is complete. Detailed comments will be provided at the Development Review Team (DRT), which will be scheduled separately.

It should be noted, the contents of the applications have not been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any issues with content will be addressed at DRT. The following comments originally found in the Completeness Review will be included with the DRT comments.

3. **Required Attachment D.1.n:** Structures and dimensions of major features including setbacks, distances between structures, width of driveways, parking spaces, property or lot lines, and floor area ratio.
Action Needed to Address Deficiency: Front setback is determined based on the street frontage that the primary structure's façade is facing. Proposed site plan displays front setback from NW 167th Boulevard even though the primary structure is facing the right-of-way on the southern property line. Front setback line should be displayed from property/ right-of-way line that the structure is facing.
5. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing public right-of-way, must be in sufficient detail to demonstrate compliance with façade massing requirements and must be in color.

Action Needed to Address Deficiency: Amend architectural plans to provide glazing calculations for all facades facing public rights-of-way. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.

10. **Required Attachment 7.ii:** Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice.

Action Needed to Address Deficiency: The mailing labels or list provided in application appear to only include property owner located within 400' of the proposed project, but not those persons/organizations registered to receive notice. Please confirm if those persons/organizations received notice of the neighborhood meeting.

11. **Required Attachment 10:** Proof of payment of taxes

Action Needed to Address Deficiency: Proof of payment of all property taxes and assessments must be submitted with application.

12. **Required Attachment 11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

Action Needed to Address Deficiency: Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

13. **Additional Comments:** Please address the following issues:

- b. Property is located with the US Highway 441/ Interstate 75 Gateway Overlay District. Please review plans for compliance with Section 3.7 (C), including building design and orientation standards.

Action Needed to Address Deficiency: Update site plan that addresses these comments.

Please note, the contents of the applications **have not** been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any further issues with content will be provided to you at the Development Review Team meeting, which will be scheduled separately from this letter.

Should you have any questions, please feel free to contact me at (386) 418-6100, ext. 108 or via email at ahall@cityofalachua.com.

Sincerely,



Adam Hall, AICP
Planner

c: Kathy Winburn, AICP, Planning Director
Justin Tabor, AICP, Principal Planner
File



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

November 7, 2016

Christopher Gmuer
Gmuer Engineering, Inc.
2603 NW 13th Street
Box 314
Gainesville, FL 32609

Also submitted electronically to chrisg@gmuereng.com

RE: Completeness Review for Farm Bureau Insurance Site Plan and Lot Split Applications

Dear Mr. Gmuer:

On November 1, 2016 the City of Alachua received your application for the approval of a Site Plan for the development located on NW 167th Boulevard (Tax Parcel 03053-001-001), consisting of a 5, 560 square foot office and all associated drainage, paving, grading, and utility infrastructure improvements on a 1.176 acre subject property and your application for an associated lot split.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

The comments below are based solely on a preliminary review of your applications for completeness. Detailed comments will be provided at the Development Review Team (DRT) Meeting. A DRT Meeting will be scheduled upon satisfaction of the application's completeness review deficiencies, as indicated below.

Please address the following for the site plan application:

1. **Required Attachment C.1:** Application does not indicate if there exists a contract for sale of, or option to purchase, the subject property.
Action Needed to Address Deficiency: Respond to Section C.1. of the Site Plan Application.

2. **Required Attachment D.1.l:** Location, size, and design of proposed landscaped areas with detail illustrating compliance with Section 6.2.2 of the Land Development Regulations.
Action Needed to Address Deficiency: Landscape plan must show the following: buffer types and selected option to address each perimeter, parking perimeter and interior parking area calculations, building façade trees, required tree mitigation calculations and trees that will be used to satisfy tree mitigation requirements, trees to be left on site, and trees to be removed.
3. **Required Attachment D.1.n:** Structures and dimensions of major features including setbacks, distances between structures, width of driveways, parking spaces, property or lot lines, and floor area ratio.
Action Needed to Address Deficiency: Front setback is determined based on the street frontage that the primary structure's façade is facing. Proposed site plan displays front setback from NW 167th Boulevard even though the primary structure is facing the right-of-way on the southern property line. Front setback line should be displayed from property/ right-of-way line that the structure is facing.
4. **Required Attachment D.1.o:** Location of waste receptacles and waste receptacle screening
Action Needed to Address Deficiency: Detail of waste receptacle screening must be provided.
5. **Required Attachment D.1.p:** Architectural plans must include glazing calculations for all facades facing public right-of-way, must be in sufficient detail to demonstrate compliance with façade massing requirements and must be in color.
Action Needed to Address Deficiency: Amend architectural plans to provide glazing calculations for all facades facing public rights-of-way. Provide detail or note demonstrating compliance with the massing requirements found in Section 6.8.2 (A)(2)(b). Provide physical copies of color architectural plans.
6. **Required Attachment 3:** Fire Department Access and Water Supply Plan.
Action Needed to Address Deficiency: Please provide documentation from the local water purveyor (City of Alachua Public Services) verifying required flow can be provided at proposed development site.
7. **Required Attachment 4:** Concurrency Impact Analysis showing the impact on public facilities.
Action Needed to Address Deficiency: Please provide a Concurrency Impact Analysis showing the impact on the public facilities. This Analysis should be based on current development data provided by the City and should demonstrate that the minimum Level of Service for any public facility will not be negatively impacted by the proposed development.
8. **Required Attachment 5:** Analysis of Consistency with the City of Alachua Comprehensive Plan
Action Needed to Address Deficiency: The application must include an analysis of consistency with the City of Alachua Comprehensive Plan that identifies specific goals, objectives, and policies that support the proposed project.

Additionally, the application must specifically address Policy 1.3.d, of the City of Alachua Comprehensive Plan.

9. **Required Attachment 6:** One (1) set of mailing labels for all property owners within 400 feet *and* all persons/organizations registered to receive notice of development applications.

Action Needed to Address Deficiency: The application must include One (1) set of mailing labels for all property owners within 400 feet *and* all persons/organizations registered to receive notice of development applications. Mailing labels appear to only include property owners located within 400 feet of proposed development.

10. **Required Attachment 7.ii:** Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice.

Action Needed to Address Deficiency: The mailing labels or list provided in application appear to only include property owner located within 400' of the proposed project, but not those persons/organizations registered to receive notice. Please confirm if those persons/organizations received notice of the neighborhood meeting.

11. **Required Attachment 10:** Proof of payment of taxes

Action Needed to Address Deficiency: Proof of payment of all property taxes and assessments must be submitted with application.

12. **Required Attachment 11:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

Action Needed to Address Deficiency: Provide ERP, Letter of Exemption, Self-Certification or proof that applications for one or more of these have been applied for to the Suwannee River Water Management District.

13. **Additional Comments:** Please address the following issues:

- a. Submitted plans do not indicate location or arrangement of all mechanical equipment. If located at the ground level, please provide screening location and detail. If located on roof of proposed structure, please provide a detailed roof plan demonstrating compliance with the screening requirements set forth in Section 6.8.2 (A) (3).
- b. Property is located with the US Highway 441/ Interstate 75 Gateway Overlay District. Please review plans for compliance with Section 3.7 (C), including building design and orientation standards.
- c. Site Photometric Plan: Photometric plan should identify fc levels at property boundaries.
- d. Landscaping plan: please provide design detail for the following: all fencing and retaining walls, and the dumpster enclosure.
- e. Please note that the proposed development appears to be located within 500 feet of a residential district and subject to the residential protection standards set forth in Section 6.6.3. Additional conditions may be imposed to minimize

adverse impacts to the residential areas if located within the 500 feet of a residential district.

Action Needed to Address Deficiency: Update site plan that addresses these comments.

Please address the following for the lot split application:

1. **Required Attachment D.1:** Materials to support that the proposed action is consistent with the City of Alachua Comprehensive Plan and Land Development Regulations.
Action Needed to Address Deficiency: Provide materials to support that the proposed action is consistent with the City of Alachua Comprehensive Plan and Land Development Regulations. These materials may include comprehensive plan consistency analysis and land development regulations consistency analysis.
2. **Required Attachment D.2:** Aerial map indicating location of proposed lots
Action Needed to Address Deficiency: Submitted aerial map does not indicate location of proposed lots
3. **Required Attachment D.3:** Legal description with tax parcel number
Action Needed to Address Deficiency: Legal description with tax parcel number required (in addition to the one submitted for the site plan application).
4. **Required Attachment D.4:** Land Description of Lots to be created with a survey or scaled drawing showing all recorded easements, area of each lot, and dimensions of each lot to be created.
Action Needed to Address Deficiency: Provide a Land Description of Lots to be created with a survey or scaled drawing showing all recorded easements, area of each lot, and dimensions of each lot to be created.
5. **Required Attachment D.5:** Legal Description of each Lot to be created
Action Needed to Address Deficiency: Provide a legal description for each lot to be created by this lot split.
6. **Required Attachment D.6 and D.7:** Proof of ownership and copy of warranty deed.
Action Needed to Address Deficiency: Provide proof of ownership and copy of warranty deed (in addition to any proof of ownership and deed provided for site plan application).
7. **Required Attachment D.8:** Proof of payment of taxes
Action Needed to Address Deficiency: Proof of payment of all property taxes and assessments must be submitted with application.

It should be noted, the contents of the applications **have not** been thoroughly reviewed. An in-depth review of the content of the application will be performed subsequently and any issues with content will be addressed at DRT.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. The time frame and cycle for review shall be based upon the date the application is determined to be complete. If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the applications shall be considered withdrawn.

Should you have any questions, please feel free to contact me at (386) 418-6100, ext. 108 or via email at ahall@cityofalachua.com.

Sincerely,



Adam Hall, AICP
Planner

c: Kathy Winburn, AICP, Planning Director
Justin Tabor, AICP, Principal Planner
File



City of
ALACHUA

THE GOOD LIFE COMMUNITY

FOR PLANNING USE ONLY

Case #: _____
Application Fee: \$ _____
Filing Date: _____
Acceptance Date: _____
Review Type: P&Z

Site Plan Application

Reference City of Alachua Land Development Regulations Article 2.4.9

A. PROJECT

1. Project Name: Farm Bureau Insurance at NW 167th Blvd
2. Address of Subject Property: Approx 16151 NW US Hwy 441, Alachua, FL
3. Parcel ID Number(s): 1.776 Acre Portion of TP# 03053-001-001
4. Existing Use of Property: Vacant
5. Future Land Use Map Designation : Commercial
6. Zoning Designation: CI - Commercial Intensive District
7. Acreage: 1.776 Acres

B. APPLICANT

1. Applicant's Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s) or Contact Person(s): Christopher Gmuer Title: President
Company (if applicable): Gmuer Engineering, LLC
Mailing address: 2603 NW 13th ST Box 314
City: Gainesville State: FL ZIP: 32609
Telephone: (352) 281-4928 FAX: _____ e-mail: chrisg@gmuereng.com
3. If the applicant is agent for the property owner*:
Name of Owner (title holder): HIPP INVESTMENTS LLC
Mailing Address: 14610 NW 129TH TER
City: ALACHUA State: FL ZIP: 32615

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property? ☒ Yes ☐ No
If yes, list names of all parties involved: HIPP INVESTMENTS LLC and ALACHUA COUNTY FARM BUREAU INC
If yes, is the contract/option contingent or absolute? ☐ Contingent ☒ Absolute

D. ATTACHMENTS

1. Site Plan including but not limited to:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Zoning of the subject property.
 - c. Vicinity map - indicating general location of the site and all abutting streets and properties.
 - d. Complete legal description.
 - e. Statement of Proposed Uses.
 - f. Location of the site in relation to adjacent properties, including the means of ingress and egress to such properties and any screening or buffers along adjacent properties.
 - g. Date, north arrow, and graphic scale (not to exceed one (1) inch equal to fifty (50) feet.)
 - h. Area and dimensions of site.
 - i. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - j. Access and points of connection to utilities (electric, potable water, sanitary sewer, gas, etc.)
 - k. Location and dimensions of all existing and proposed parking areas and loading areas.
 - l. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas) with detail illustrating compliance with Section 6.2.2 of the Land Development Regulations.

- m. Location and size of any lakes, ponds, canals, or other waters and waterways.
- n. Structures and major features – fully dimensioned – including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and floor area ratio.
- o. Location of waste receptacles and detail of waste receptacle screening.
- p. For development consisting of a nonresidential use, except for single tenant retail sales and services uses greater than or equal to 20,000 square feet in area and except for use types within the industrial services, manufacturing and production, warehouse freight and movement, waste-related services, and wholesale sales use categories:
 - i. Architectural plans and dimension plans which demonstrate compliance with the design standards for business uses as provided in Section 6.8.2 of the LDRs, including:
 - (a) Calculation of glazing of the front façade.
 - (b) Calculation of the area of ground floor façades subject to glazing.
 - (c) Detail on the architectural plans and dimension plans depicting façade massing and/or alternatives to required façade massing.
 - (d) Sufficient plan detail and calculations of each material utilized in each façade.
- q. For development consisting of a nonresidential use where a single tenant is greater than or equal to 20,000 square feet in area:
 - i. Architectural plans and dimension plans which demonstrate compliance with the design standards for single tenant retail sales and service uses greater than or equal to 20,000 square feet in area as provided in Section 6.8.3 of the LDRs, including:
 - (a) Calculation of glazing of the façades facing streets, residential uses, and vacant residential/agricultural land.
 - (b) Calculation of the area of ground floor façades subject to glazing.
 - (c) If glazing alternatives are used, calculation of area of alternative materials used.
 - (d) Detail on the architectural plans and dimension plans depicting façade massing and/or alternatives to required façade massing.
 - (e) Color architectural plans depicting the color of all materials used in the façade.
- r. For development consisting of one or more of the following: Multi-family residential; Hotel; or Mobile Home Park:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Floor area of dwelling units.
 - vi. Number of proposed parking spaces.
 - vii. Street layout.
 - viii. Layout of mobile home stands (for mobile home parks only).
 - ix. City of Alachua Public School Student Generation Form.

Sheet Size: 24" X 36" with 3" left margin and ½" top, bottom, and right margins

- 2. Stormwater management plan - including the following:
 - a. Existing contours at one (1) foot intervals based on U.S. Coastal and Geodetic Datum.
 - b. Proposed finished floor elevation of each building site.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water Management District surfacewater management Statement of proposed uses on the site plan
- 3. Fire Department Access and Water Supply: The design criteria shall be Chapter 18 of the Florida Fire Prevention Code. Plans must be on separate sealed sheets and must be prepared by a professional Fire engineer licensed in the State of Florida. Fire flow calculations must be provided for each newly constructed building. When required, fire flow calculations shall be in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (ISO) and /or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater. All calculations must be demonstrated and provided. All calculations and specifications must be on the plans and not on separate sheets. All fire protection plans are reviewed and approved by the Alachua County Fire Marshal.
- 4. Concurrency Impact Analysis showing the impact on public facilities, including potable water, sanitary sewer, transportation, solid waste, recreation, stormwater, and public schools in accordance with Article 2.4.14 of the Land Development Regulations.
- 5. Analysis of Consistency with the City of Alachua Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies and describe in detail how the application complies with the noted Goal, Objective, or Policy.)

For commercial project Applications:

- a. In addition to submitting specific written information regarding your **commercial** development's compliance with the relevant Goals, Objectives, and Policies of the City of Alachua Comprehensive Plan, you must respond directly to the standards listed below. You should be specific in terms of how your commercial development will comply with these standards.

Policy 1.3.d Design and performance standards

The following criteria shall apply when evaluating commercial development proposals:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;
2. Buffering from adjacent existing/potential uses;
3. Open space provisions and balance of proportion between gross floor area and site size;
4. Adequacy of pervious surface area in terms of drainage requirements;
5. Placement of signage;
6. Adequacy of site lighting and intrusiveness of lighting upon the surrounding area;
7. Safety of on-site circulation patterns (patron, employee and delivery vehicles), including parking layout and drive aisles, and points of conflict;

8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;
9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and
10. Performance based zoning requirements, which may serve as a substitute for or accompany land development regulations in attaining acceptable site design.
11. Commercial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres but 5 acres or greater, a .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio to parcels 1 acre or less.

For industrial project Applications:

- b. In addition to submitting specific written information regarding your **industrial** development's compliance with the relevant Goals, Objectives, and Policies of the City of Alachua Comprehensive Plan, you must respond directly to the standards listed below. You should be specific in terms of how your industrial development will comply with these standards.

Policy 1.5.d

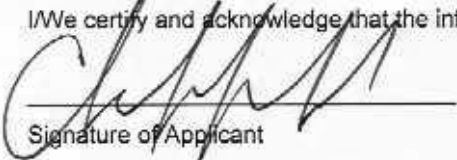
The City shall develop performance standards for industrial uses in order to address the following:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;
2. Buffering from adjacent existing/potential uses;
3. Open space provisions and balance of proportion between gross floor area and site size;
4. Adequacy of pervious surface area in terms of drainage requirements;
5. Placement of signage;
6. Adequacy of site lighting and intrusiveness of lighting upon the surrounding area;
7. Safety of on-site circulation patterns (patron, employee and delivery vehicles, trucks), including parking layout and drive aisles, and points of conflict;
8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations;
9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and
10. Performance based zoning requirements that may serve as a substitute for or accompany land development regulations in attaining acceptable site design.
11. Industrial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres by 5 acres or greater, .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio for parcels 1 acre or less.

6. For Site Plans for Buildings Less than 80,000 Square Feet in Area: One (1) set of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits (obtain from the Alachua County Property Appraiser's web site) – and all persons/organizations registered to receive notice of development applications.
For Site Plans for Buildings Greater than or Equal to 80,000 Square Feet in Area: Two (2) sets of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits (obtain from the Alachua County Property Appraiser's web site) – and all persons/organizations registered to receive notice of development applications.
7. Neighborhood Meeting Materials, including:
 - i. Copy of the required published notice (advertisement) – must be published a newspaper of general circulation, as defined in Article 10 of the City's Land Development Regulations
 - ii. Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice
 - iii. Written summary of meeting – must include (1) those in attendance; (2) a summary of the issues related to the development proposal discussed; (3) comments by those in attendance about the development proposal; and, (4) any other information deemed appropriate.
8. Legal description with tax parcel number, separate from all other documentation on 8.5" x 11" paper.
9. Proof of ownership (i.e., copy of deed.)
10. Proof of payment of taxes.
11. Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.
12. If access is from a County Road, access management permit from Alachua County Public Works (or documentation providing evidence that a permit application has been submitted).
13. If access is from a State Road, access management permit from Florida Department of Transportation (or documentation providing evidence that a permit application has been submitted).
14. **Fee.** Please see fee schedule for fee determination. No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any necessary technical review or additional reviews of the application beyond the initial engineering review fee will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any legislative and/or quasi-judicial action of any kind on the petition, appeal, or development application.

All 14 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge.


 Signature of Applicant

 Signature of Co-applicant

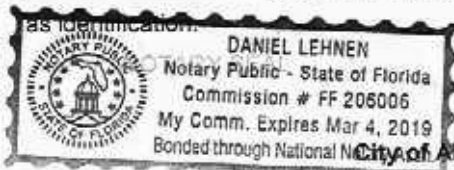
Christopher Gmuer
 Typed or printed name and title of applicant

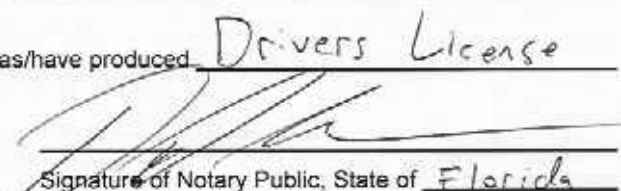
 Typed or printed name of co-applicant

State of Florida County of Alachua

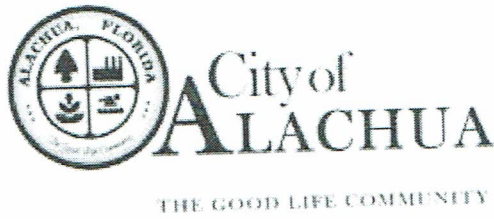
The foregoing application is acknowledged before me this 1st day of November, 2016, by Christopher Gmuer

, who is/are personally known to me, or who has/have produced Drivers License




 Signature of Notary Public, State of Florida

City of Alachua + Planning and Community Development Department
PO Box 9 + Alachua, FL 32616 + (386) 418-6121



Authorized Agent Affidavit

A. PROPERTY INFORMATION

Address of Subject Property: 16151 NW US Hwy 441

Parcel ID Number(s): 03053-001-001

Acreage: 9.77

B. PERSON PROVIDING AGENT AUTHORIZATION

Name: Virginia Johns Title: Manager

Company (if applicable): HIPP INVESTMENTS LLC

Mailing Address: 14610 NW 129TH TERRACE

City: ALACHUA State: FL ZIP: 32615

Telephone: _____ FAX: _____ e-mail: _____

C. AUTHORIZED AGENT

Name: Christopher Gmuere Title: President

Company (if applicable): Gmuere Engineering, LLC

Mailing address: 2603 NW 13th ST Box 314

City: Gainesville State: FL ZIP: 32609

Telephone: (352) 281-4928 FAX: N/A e-mail: chrisg@gmuereeng.com

D. REQUESTED ACTION:

Site Plan Application and Lot Split Application for a New Office Building with associated parking, driveway connection, utility connections, and stormwater management facility.

I hereby certify that I am the property owner of record, or I have received authorization from the property owner of record to file an application for a development permit related to the property identified above. I authorize the agent listed above to act on my behalf for purposes of this application.

Signature of Applicant

Virginia H Johns, Manager
Typed or printed name and title of applicant

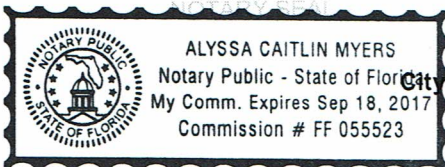
Signature of Co-applicant

Typed or printed name of co-applicant

State of Florida County of Alachua

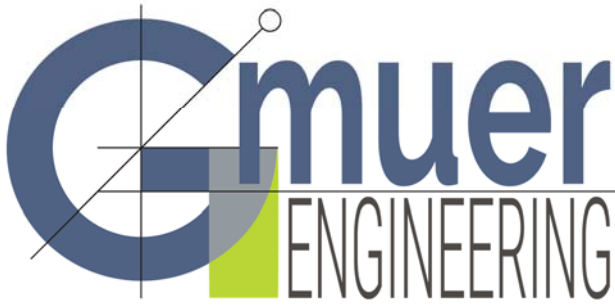
The foregoing application is acknowledged before me this 28 day of October, 2016 by Virginia H

Johns, who is/are personally known to me, or who has/have produced _____ as identification.



Alyssa Myers
Signature of Notary Public, State of Florida

City of Alachua ♦ Planning and Community Development Department
PO Box 9 ♦ Alachua, FL 32616 ♦ (386) 418-6121
Revised 9/30/2014



2603 NW 13th St, Box 314
Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

December 21, 2016

City of Alachua Planning & Zoning
15100 NW 142nd Terr
Alachua, FL 32615

Re: Farm Bureau Insurance at NW 167th Blvd
Consistency with the City of Alachua Comprehensive Plan

This proposed development for the Farm Bureau Insurance at NW 167th Blvd is located approximately at 16151 NW US Hwy 441 and proposes the construction of a ±5,600 sf building with parking, utility connections, and a stormwater management facility. The building will function as offices providing insurance services consistent with the Commercial (COMM) Future Land Use classification and the Commercial Intensive (CI) zoning district. The following is a Comprehensive Plan Concurrency Analysis for this development and is submitted in accordance with the City of Alachua Site Plan requirements.

The Comprehensive Plan language is provided and followed with the consistency statement in bold.

Goal One: Economic Development

The City of Alachua has a unique business climate. The City is home to Corporations, technology incubators, local businesses, and start-up companies. The US 441 corridor is beginning to develop into a "corporate corridor" with businesses, such as Sabine and JA Webster, and corporate campuses such as the Progress Corporate Park and Alachua Professional Center. Alachua desires to continue to be a home to innovative businesses that want to be partners with the community.

The proposed development is located within a newly developed area consisting of a mixture of services from groceries, fuel service, bank, restaurants, and this proposed insurance office. This will offer economic growth consistent with the City of Alachua's vision to provide new, aesthetically pleasing infrastructure along the "corporate corridor".

Vision 2020

Future Land Use Element

Objective 1.3: Commercial:

The City of Alachua shall establish three commercial districts: Community Commercial, Commercial, and Central Business District. These districts shall provide a broad range of retail sales and services, as well as office uses, in order to provide for the availability of goods and services, both to the citizens of Alachua and to the citizens of the North Central Florida region.

The proposed use is consistent with the uses allowed in the Commercial land use category and is located along the U.S. HWY 441 corridor.

Policy 1.3.b: Commercial:

The Commercial land use category is established to provide for general commercial uses, as well as more intense commercial and highway commercial uses. This is the land use category in which large-scale, regional commercial uses may locate.

The proposed development will provide the more general commercial uses in the form of insurance services to the community.

Policy 1.3.d:

The City shall develop performance standards for commercial development in order to address the following:

1. Integration of vehicular and non-vehicular access into the site and access management features of site in terms of driveway cuts and cross access between adjacent sites, including use of frontage roads and/or shared access;

The existing 167th Blvd will continue to provide vehicular and non-vehicular access into the proposed development. The City has expressed their want for cross access between 167th Blvd and the parcel to the west. The proposed development provides an easement for this purpose that can be utilized by any future development of that adjacent eastern property. A sidewalk is proposed from 167th Blvd to the proposed building.

2. Buffering from adjacent existing/potential uses;

A minimum 7.5' wide landscape buffer will be provided along the North, East, and South boundaries of the site. A minimum 15' Street Buffer will be provided along the 167th Blvd. street frontage per the 441 / I75 Gateway Overlay District requirements. All required buffers are shown on the landscaping plan.

3. Open space provisions and balance of proportion between gross floor area and site size;

Approximately 88% of the site will be pervious area/ open space. This far exceeds the 10% open space requirement in FLUE Policy 2.5.1 of the City's Comprehensive Plan. The proposed building has a FAR of 0.072, below the 0.75 FAR allowed for Commercial sites less than 5 acres yet greater than 1 acre.

4. Adequacy of pervious surface area in terms of drainage requirements;

Storm water management will be provided on site and is designed to SRWMD criteria.

5. Placement of signage;

Minimal signage will be placed along 167th Blvd. to identify the facility and will be consistent with LDR Sec. 6.5.

6. Adequacy of site lighting and potential impacts of lighting upon the surrounding area. Lighting should be designed to minimize impacts and preserve the ambiance and quality of the nighttime sky by reducing light trespass and light pollution on adjacent properties by utilizing lighting at an appropriate intensity, direction and times to ensure light is not overused or impacting areas where it is not intended;

The site is surrounded by Commercial (COMM) category and Commercial Intensive (CI) zoning district. Site lighting will follow the requirements of LDR Sec. 6.4 and not exceed five (5) foot-candles within the parking lot.

7. Safety of on-site circulation patterns (patron, employee and delivery vehicles, trucks), including parking layout and drive aisles, and points of conflict;

One driveway is provided from the parking area to a shared driveway located within an easement to the south. Sidewalk connection has been made to the west to reduce travel distances but also reduce points of conflict between automobile traffic and pedestrians.

8. Landscaping, as it relates to the requirements of the Comprehensive Plan and Land Development Regulations; **A landscape plan is included as part of the site plans meeting all of the code requirements. A minimum 7.5' wide landscape buffer will be provided along the North, East, and South boundaries of the site. A minimum 15' Street Buffer will be provided along the 167th Blvd. street frontage per the 441 / I75 Gateway Overlay District requirements. All required buffers are shown on the landscaping plan.**

9. Unique features and resources which may constrain site development, such as soils, existing vegetation and historic significance; and

The site is generally clear of trees and vegetation with no environmentally sensitive areas. Site soils consists of Kendrick sand and will not provide any significant limitation on development.

10. Performance based zoning requirements that may serve as a substitute for or accompany land development regulations in attaining acceptable site design.

The proposed development is office services and Table 4.1-1 of the City of Alachua LDRs indicate no performance based zoning requirements for the proposed use.

11. Commercial uses shall be limited to an intensity of less than or equal to .50 floor area ratio for parcels 10 acres or greater, .50 floor area ratio for parcels less than 10 acres but 5 acres or greater, .75 floor area ratio for parcels less than 5 acres but greater than 1 acre, and 1.0 floor area ratio for parcels 1 acre or less.

The proposed building has a FAR of 0.072, below the 0.75 FAR allowed for Commercial sites less than 5 acres yet greater than 1 acre.

Objective 2.4: Landscaping and Tree Protection Standards:

Policy 2.4.a: Landscaping: General - The City shall require landscaping plans to be submitted with each nonresidential and multiple family residential site plan. The minimum landscaped area shall be 30% of the development site. Landscaping designs shall incorporate principles of xeriscaping, where feasible. The City shall develop a plant pallet to assist in the landscape design. Landscape plans shall include a mixture of perimeter and internal landscaping. **A landscape plan is included as part of the site plan set and shows 80% of the site has been landscaped, which includes both perimeter and interior landscaping.**

Policy 2.4.2: Landscaping: Buffering - A buffer consists of horizontal space (land) and vertical elements (plants, berms, fences, walls) that physically separate and visually screen adjacent land uses that may not be fully compatible. The City shall establish buffer yard requirements that are based on the nature of the adjacent uses and the desired result of the buffer.

A landscape plan is included as part of the site plans meeting all of the code requirements. A minimum 7.5' wide landscape buffer will be provided along the North, East, and South boundaries of the site. A minimum 15' Street Buffer will be provided along the 167th Blvd. street frontage per the 441 / I75 Gateway Overlay District requirements. All required buffers are shown on the landscaping plan.

Objective 2.5: Open Space Standards:

Policy 2.5.a: There shall be a minimum of 10% percent open space required. The City shall establish incentives for the provision of open space beyond minimum requirements.

Approximately 88% of the site will be pervious area/ open space. This far exceeds the 10% open space requirement.

Objective 4.1 Infill development:

Infill development shall be encouraged in order to protect the unique character of existing neighborhoods and commercial developments, provide for a safe urban environment, increase densities in a manner compatible with existing uses, provide open spaces, and restore or maintain economic vitality and cultural diversity.

The proposed development is approximately the final open parcel remaining in the overall Alachua Marketplace.

GOAL 5: Development Standards: The City shall include provisions through its comprehensive plan amendment process, development review process and in its land development regulations for development standards that address natural features and availability of facilities and services. These development standards will strive to protect natural resources and public facility resources while allowing for innovative and flexible development patterns.

Policy 5.1.a: Topography: The City shall protect the natural topography of the City, including steep and seepage slopes, by requiring new development to include techniques to minimize negative impacts on the natural terrain. An emphasis will be placed on retaining the natural function of seepage slopes during development. Additionally, retention of existing native vegetation will be encouraged as one method of protecting slopes.

The project site is generally sloped with minimal trees or vegetation. The highest portion of the site runs from the northwest to the southeast with a total elevation change of about 19 feet across the ±1.77 acre site. The site appears to have been historically cleared of any native vegetation.

Policy 5.1.b: Soils: The City shall ensure soil protection and intervention measures are included in the development review process.

The site plans show the erosion control measures per state requirements.

Policy 5.1.c: Flood prone areas: The City shall require as part of the development review process the identification of FEMA flood zone areas. Where necessary, minimum flood elevations shall be surveyed and established. The City shall also require finished floor elevations on subdivision plats, site plans and building permit plans. The City shall establish standards for a limitation on filling in flood prone areas.

The proposed project site does not include any FEMA 100 year floodplain.

Policy 5.1.d: Wetlands: The City shall utilize statewide wetland delineation methodology in accordance with Florida Administrative Code (FAC) and regulations adopted by the FDEP and the Suwannee River Water Management District.

The proposed project site does not include any delineated wetlands.

Objective 5.2: Availability of facilities and services:

All new development shall be planned and constructed concurrently with the availability of facilities and services necessary for the development.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, storm water, solid waste, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

A separate Concurrency Analysis is included as part of this site plan application package to address these concerns.

GOAL 9: Water and Wastewater Service:

The City will ensure that new development within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the Comprehensive Plan shall connect to the City of Alachua's potable water and wastewater system.

Policy 9.1: Any new development within Commercial and Industrial Land Uses within the corporate limits, where potable water and wastewater service are available, as Defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

The proposed development connects to the City centralized potable water and sanitary sewer systems.

Transportation ElementObjective 1.1: Level of Service

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

A separate Concurrency Analysis is included as part of this site plan application package to address these concerns.

Policy 1.3.a: The City shall establish minimum and maximum parking standards in order to avoid excessive parking areas.

The proposed development proposes the minimum number of parking spaces.

Policy 1.3.g: The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

The proposed development currently proposed one handicap space as required per ADA.

Community Facilities and Natural Groundwater Aquifer Recharge Element

Policy 1.1.d: The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service:

A. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).

The proposed development will comply with all applicable sanitary sewer quality standards of the EPA and FDEP.

B. Quantity: System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.

A separate Concurrency Analysis is included as part of this site plan application package to address these concerns.

C. System capacity: If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without

reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

A separate Concurrency Analysis is included as part of this site plan application package to address these concerns.

Objective 1.2:

Wastewater service will be made available to new development in a manner to promote compact urban growth, promoting development where wastewater service is available, and discouraging urban sprawl. For purposes of this objective, new development does not include remodeling of existing developments or additions of less than 33% to existing developments.

The proposed development will connect to the City's centralized sanitary sewer system without any off-site or other main extensions.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:
FACILITY TYPE LEVEL OF SERVICE STANDARD Solid Waste Landfill .73 tons per capita per year

A separate Concurrency Analysis is included as part of this site plan application package to address these concerns.

Policy 3.1.a: The City hereby establishes the following water quantity and quality level of service standards for drainage facilities:

LEVEL OF SERVICE STANDARD

For all projects which fall totally within a stream, or open Lake Watershed, detention systems must be installed such that the peak rate of post-development runoff will not exceed the peak-rate of predevelopment runoff for storm events up through and including either:

1. A design storm with a 10-year, 24-hour rainfall depth with Soil Conservation Service type II distribution falling on average antecedent moisture conditions for projects serving exclusively agricultural, forest, conservation, or recreational uses; or
2. A design storm with 100-year critical duration rainfall depth for projects serving any land use other than agricultural, civilizational, conservation, or recreational uses.
3. The LOS standard for water quality treatment shall be treatment for the "first one inch" of runoff, and compliance with the design and performance standards established in Chapter 40C-42.025, FAC, and 42.035, FAC to ensure that the receiving water quality standards of Chapter 62.302.500, FAC are met and to ensure their water quality is not degraded below the minimum conditions necessary to maintain their classifications as established in Chapter 62-302, FAC. These standards shall apply to all new development and redevelopment and any exemptions, exceptions or - thresholds in these citations are not applicable. Infill residential development within improved residential areas or subdivisions existing prior to the adoption of this comprehensive plan must ensure that its post-development stormwater runoff will not contribute pollutants which will cause the runoff from the entire improved area or subdivision to degrade receiving water bodies and their water quality as stated above.

A Grading and Drainage Plan and Stormwater Management Report is included as part of the development plan application. The site will convey runoff via overland flow to the proposed stormwater management facility. The treated storm water will discharge at a rate below predevelopment flows to the eastern property line. The design is consistent with LOS standards provided in the City's Comprehensive Plan Community Facilities and Natural Groundwater Aquifer Recharge Element Policy 3.1.a, and the Suwannee River Water Management District.

Objective 4.1:

Achieve and maintain acceptable levels of service for potable water quantity and quality.

Policy 4.2.a: New urban development will only occur within areas where potable water services are available concurrent with development. For purposes of this policy, new development does not include remodeling of existing developments or additions of less than 33% to existing developments.

The proposed development will connect to the City's centralized potable water system.

Conservation and Open Space Element

OBJECTIVE 1.10: Wetlands The City shall protect and preserve wetland values and functions from adverse, human caused, physical and hydrologic disturbances.

There are no identified wetlands on the proposed project site.

Economic Element

GOAL 1: To emphasize economic principles consistent with the City's Vision that support the prosperity of the community and enhance its quality of life.

The proposed development will provide economic growth consistent with the City of Alachua's goal to provide local neighborhoods with convenient products and services.

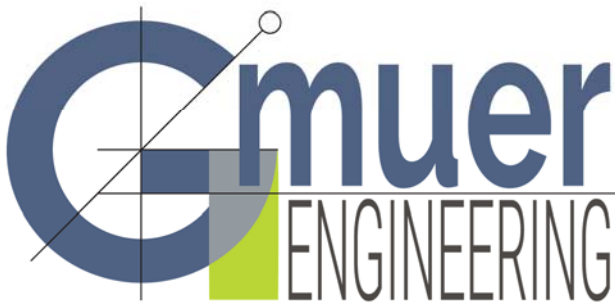
Please let us know if you need any additional information for your review.

Sincerely,

Gmuer Engineering, LLC



Christopher A Gmuer, PE
President



2603 NW 13th St, Box 314
Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

February 7, 2017

City of Alachua Planning & Zoning
15100 NW 142nd Terr
Alachua, FL 32615

Re: Farm Bureau Insurance at NW 167th Blvd
Concurrency Impact Analysis

This proposed development for the Farm Bureau Insurance at NW 167th Blvd is located approximately at 16151 NW US Hwy 441 and proposes the construction of a ±5,600 sf building with parking, utility connections, and a stormwater management facility. The building will function as offices providing insurance services consistent with the Commercial (COMM) Future Land Use classification and the Commercial Intensive (CI) zoning district. The following is a Concurrency Impact Analysis for this development and is submitted in accordance with the City of Alachua Site Plan requirements and includes roads, potable water facilities, sanitary sewer facilities, and solid waste facilities.

A Grading and Drainage Plan and Stormwater Management Report is included as part of the development plan application. The site will convey runoff via overland flow to the proposed stormwater management facility. The treated storm water will discharge at a rate below predevelopment flows to the eastern property line. The design is consistent with LOS standards provided in the City's Comprehensive Plan Community Facilities and Natural Groundwater Aquifer Recharge Element Policy 3.1.a, and the Suwannee River Water Management District.

The office use will not have impact to the City's Park and Recreation Facilities.

Transportation

Trip Generation Calculations per ITE Trip Generation 9th Edition

Land Use (ITE)	KSF	AADT		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
General Office (710)	5,560	11.03	61	1.56	9	1.49	8

Public facility capacities are based on the September 26, 2016 Development Monitoring Report. Below are the roadway segments within a half mile of the development.

Affected Roadway Segments

Roadway Segment (FDOT Segment #, CoA Comp Plan #)	Comp Plan MSV ^{AA}	Existing Traffic ^{AA}	Reserved Trips	Available Capacity ^{**}	Additional Trips	Residual Capacity
Interstate	Min LOS Std: C					
I-75 (31, 2)	85,600	56,476	746	28,378	19	28,359
From US 441 to SCL of Alachua	7,710	5,930	69	1,711	3	1,708
State Roads	Min LOS Std: D					
U.S. Hwy 441 (107/1407, 5)	35,500	24,411	3,769	7,320	61	7,259
From SR 235 to NCL of Alachua	3,200	2,319	362	519	8	511
SR 235 (108, 8)	13,300	10,000	271	3,029	26	3,003
From 235/241 Intersection to US 441	1,200	950	27	223	3	220
SR 235 (109/4109, 9)	13,300	6,189	271	6,840	16	6,824
From US 441 to NCL of Alachua	1,200	588	27	585	2	583

Trip distribution is based on the published FDOT D-Factors. 100% of the trips were assigned to US 441. The D factor for the adjacent segment of US 441 is 57.8. It is presumed that 57.8% (35 AADT, 5 PM) of the trips will head east on US 441 toward I-75. The D-Factor for this segment of I-75 is 54.9. It is presumed that 54.9% (19 AADT, 3 PM) will head on I-75 towards Gainesville and the remaining trips (16 AADT, 2 PM) will head east on 441. Based on these assumptions, 26 AADT / 3 PM trips will head west on US 441. The D-Factor for CR 235A is 57.8. It is presumed that 57.8% (15 AADT, 2 PM) of these trips will head south and the remaining trips (11 AADT, 1 PM) will head north.

Conclusion: The relatively low traffic generation of the development means there is available capacities in the identified road segments and will not exceed the adopted LOS standards.

Potable Water: Per FAC 64E-6

Current Permitted Capacity	2,300,000 GPD
Less Actual Potable Water Flow	1,190,000 GPD
Reserved Capacity	112,897 GPD
Residual Capacity	997,103 GPD
Proposed Demand	834 GPD
Residual Capacity after Proposed	996,269 GPD
Percentage of Permitted Capacity	43.3%

Conclusion: The demand of the development will not exceed the adopted LOS standards.

Sanitary Sewer: Per FAC 64E-6

Current Permitted Capacity	1,500,000 GPD
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Less Actual Potable Water Flow	615,000 GPD
Reserved Capacity	73,307 GPD
Residual Capacity	811,693 GPD
Proposed Demand	834 GPD
Residual Capacity after Proposed	810,859 GPD
Percentage of Permitted Capacity	54.0%

Conclusion: The demand of the development will not exceed the adopted LOS standards.

Solid Waste

Existing Demand	39,152 lbs/day	7,145.24 tons/yr
Reserved Capacity	4,928.41 lbs/day	899.43 tons/yr
Proposed Demand	33.3 lbs/day	6.1 tons per year
(6 lbs per 1000SF) * 5,560 SF Bldg * 365 days per year / 2000 lbs per ton		

Conclusion: The demand of the development will not exceed the adopted LOS standards.

Stormwater

A separate stormwater report has been provided along with the site grading plan.

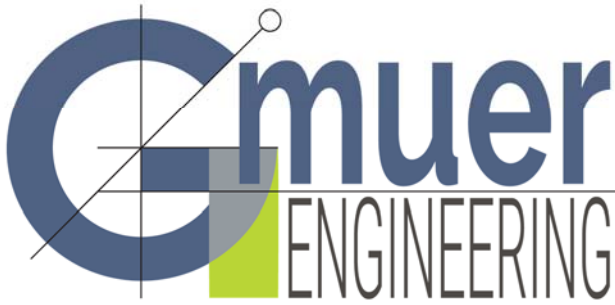
Please let us know if you need any additional information for your review.

Sincerely,

Gmuer Engineering, LLC



Christopher A Gmuer, PE
President



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Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

Neighborhood Meeting

For a site plan to construct a single story office building fronting NW 167th Blvd. The site is located on a portion of TP#3053-1-1 at approximately 16150 NW US 441, Alachua, FL.

Date: Thursday, October 27, 2016

Time: 5:15pm

Place: 14435 NW US Hwy 441 #40, Alachua, FL 32615

Contact: Christopher A. Gmuer, PE, (352) 281-4928, Gmuer Engineering, LLC

Mr. Gmuer will be holding a workshop to discuss the proposed site plan described above. The development proposes to construct a single story office building with associated parking lot and stormwater facility fronting NW 167th Blvd. The site is located on a ± 1.8 acre portion of TP#3053-1-1 at approximately 16150 NW US 441, Alachua, FL

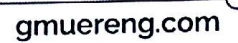
Per the City of Alachua Land Development Regulations, the CI, Commercial Intensive District is intended to provide lands and facilitate highway-oriented development opportunities within the City, for uses that require high public visibility and an accessible location. Offices of many types are a permitted use in this district. Please see the complete list of permitted uses on the back of this letter.

The purpose of the workshop is to inform neighboring property owners about the nature of the proposal and to seek comments. We look forward to seeing you there.

Neighborhood Meeting

List of uses permitted within the CI, Commercial Intensive District Per the Alachua Land Development Regulations

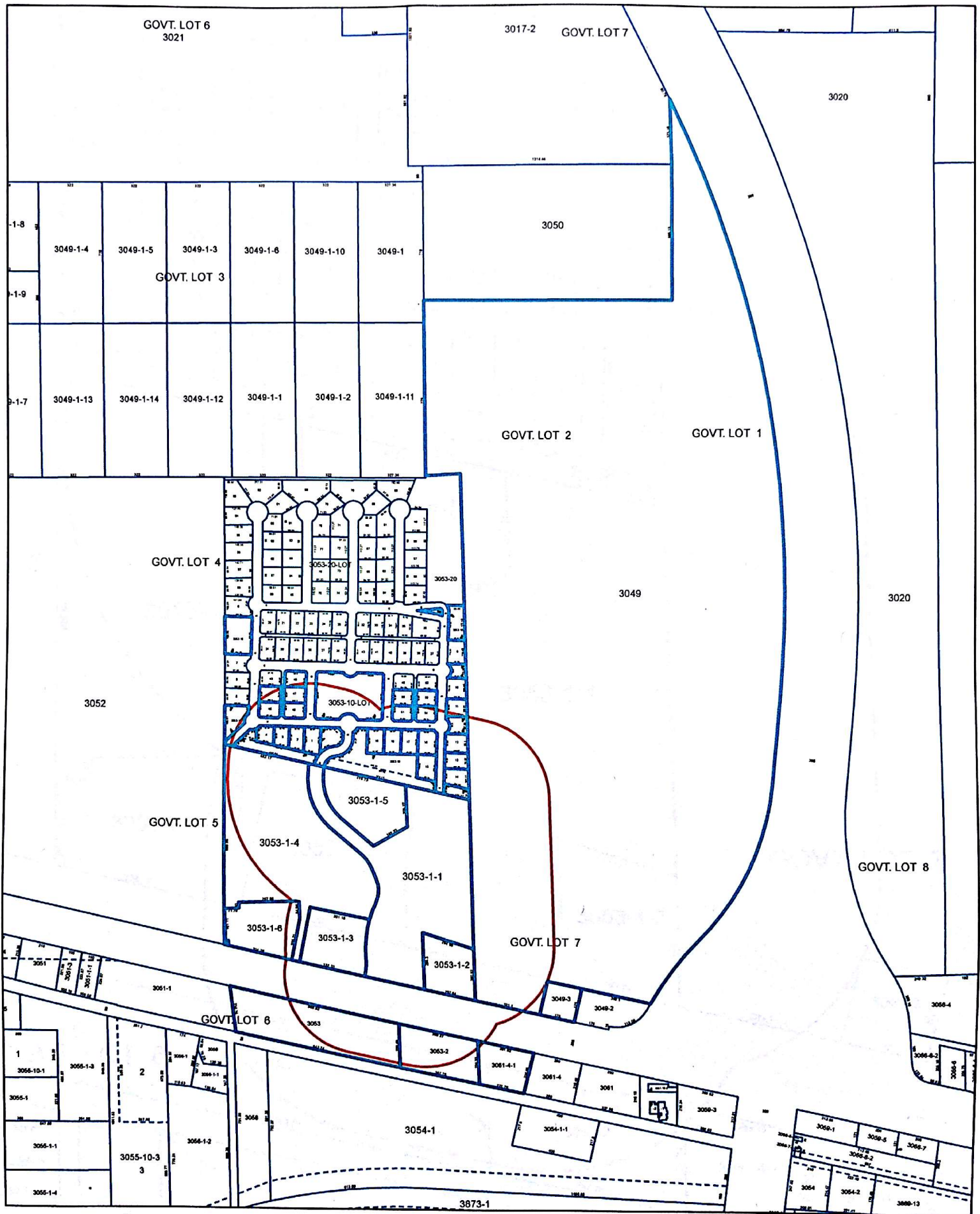
Residential	Airplane landing strip	Laundry, dry cleaning, and carpet cleaning facilities	Personal services establishment
Dwelling, multiple-family	Helicopter landing facilities	Machine shop	Repair establishment
Dwelling, single-family attached	Passenger terminal, surface transportation	Repair of scientific or professional instruments	Sales establishment
Dwelling, townhouse	Utilities	Tool repair	Large-scale retail establishments ≥ 20,000 sf, but < 80,000 sf
Dwelling, two- to four-family	Wireless communication tower and/or antenna, freestanding	Offices	Large-scale retail establishments ≥ 80,000 sf
Upper story dwelling	Wireless communication antenna, collocation on existing tower	Business services	Self-service storage
Educational facilities	Wireless communication antenna, placement on existing building	Financial services	All uses
College or university	Wireless communication tower	Professional services	Sexually oriented business
Vocational school	Wireless communication antenna, placement on existing building	Radio and television broadcasting studio	Sexually oriented cabaret
Government facilities	Railroad right-of-way	Sales	Sexually oriented media store
Government maintenance, storage, and distribution facility	Utility, major	Parking, commercial	Sexually oriented motion picture theater
Government office	Utility, minor	Parking lot	Sex shop
Post office	Agriculture support and services (directly related)	Parking structure	Vehicles, sales and services
Health care facilities	Equestrian facility	Recreation/entertainment, indoor	Automobile body shop
Blood collection facility	Nursery, production	Commercial recreation, indoor	Automobile parts sales
Medical and dental clinic	Agriculture support and services (not directly related)	Private club or lodge with seating capacity of less than 300 in main activity area	Automobile rental and sales
Medical and dental lab	Farm machinery repair	Private club or lodge, with seating capacity of 300 or greater in main activity area	Automobile repair and servicing
Outpatient facility	Farm machinery sales, rental, and service	Theater	Automobile service station
Institutions	Animal sales, service and care	Recreation/entertainment, outdoor	Automobile service station with wash and detail
Auditorium	Animal hospital	Archery range	Boat and marine rental and sales
Convention center	Animal grooming	Arena, amphitheater, auditorium, or stadium	Carwash or auto detailing
Religious institution, with seating capacity less than 300 in sanctuary or main activity area	Kennel, indoor	Commercial recreation, outdoor	Gasoline sales
Religious institution, with seating capacity of 300 or greater in sanctuary or main activity area, or with accessory schools, day care centers with more than 50 children, or recreational facilities	Kennel, outdoor	Retail sales and services	Recreational vehicle rental and sales
Parks and open areas	Veterinary clinic	Auction house	Taxicab service
Arboretum	Eating establishments	Bar, nightclub, or cocktail lounge	Tire sales and mounting
Botanical garden	Ice cream shop	Convenience store	Towing service
Cemetery, columbaria, mausoleum	Restaurant, indoor seating only	Department or discount store	Transmission or muffler shop
Park, private and public	Restaurant, with outdoor seating	Drug store or pharmacy (stand alone)	Truck or tractor rental or sales
Public square	Restaurant, with drive-through or drive-in service	Crematory	Visitor accommodations
Recreational trail	Specialty eating establishment	Entertainment establishment	Hotel or motel
Public safety	Conference and training centers	Financial institution	Warehouse and freight movement
Fire and EMS	Conference center	Funeral home	Parcel services
Police station	Industrial services	General media store	Waste-related services
Substation for fire and City police	General industrial service	Liquor store	Recycling dropoff center
Transportation	Heavy equipment sales, rental, or repair	Laundromat	Wholesale sales
Airport			All uses



Neighborhood Meeting 10/27 @ 5:15

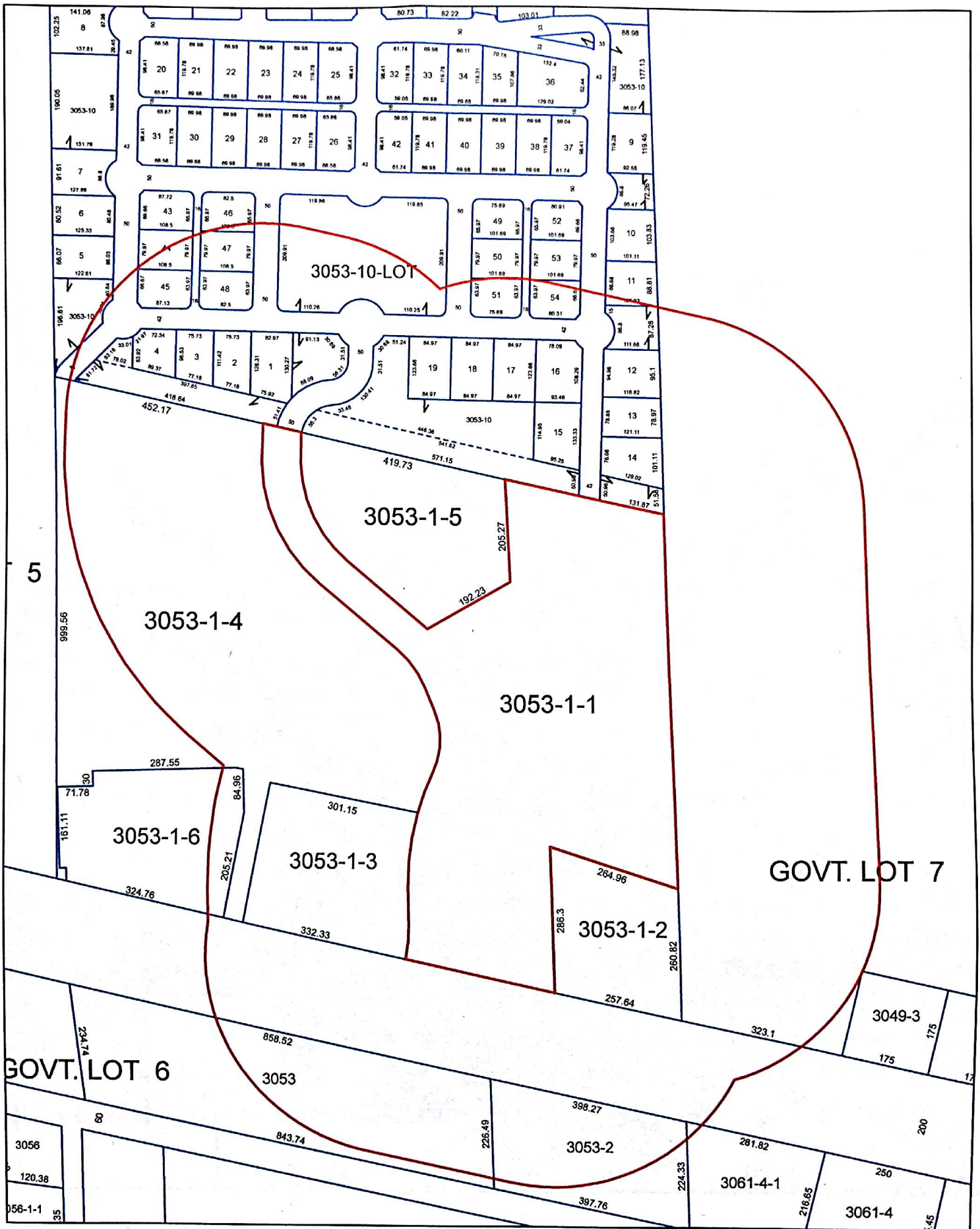
Farm Bureau Insurance @ NW 167th Blvd

- Wondering if the road from the subdivision would ever be extended South.
- Concern over visibility of the condensers.
- Asking about the hours + frequency of the member gathering.
- Question about color schemes
- Question about the drainage maintenance association.



ALACHUA COUNTY
PROPERTY
APPRAISER

INFORMATION MAP – NOT A SURVEY
The Alachua County Property Appraiser's Office
does not assume responsibility for errors
or omissions contained herein.

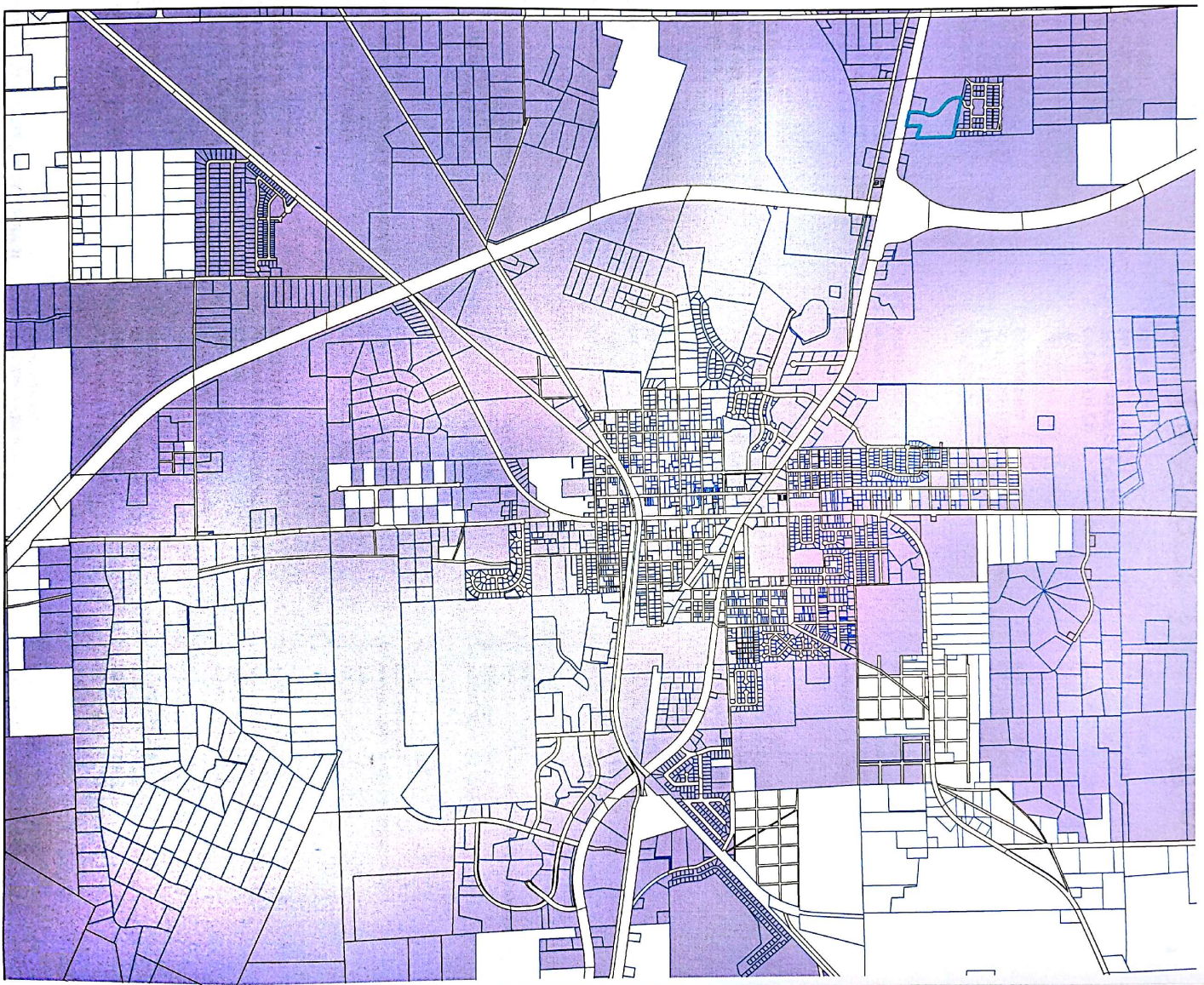


ALACHUA COUNTY
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APPRAISER

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ALACHUA COUNTY
PROPERTY
APPRAISER



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03049-000-000
MEGAHEE ENTERPRISES LTD.,LLLP
2632 NW 43RD ST # 2138
GAINESVILLE FL 32606

03049-003-000
MURPHY'S LOT LLC
2632 NW 43RD ST STE 2138
GAINESVILLE FL 32606-7545

03053-000-000
CAVACEPPI, SHARLEEN O TRUSTEE
PO BOX 1325
ALACHUA FL 32616-1325

03053-001-001
HIPP INVESTMENTS LLC
14610 NW 129TH TER
ALACHUA FL 32615

03053-001-002
TALAL PROPERTIES LTD & TAREK
1326 E LUMSDEN RD
BRANDON FL 33511

03053-001-003
RACETRAC PETROLEUM INC
PO BOX 56607
ATLANTA GA 30343

03053-001-004
ALACHUA-WINDCREST LLC
605 EAST ROBINSON ST STE 340
ORLANDO FL 32801

03053-001-005
A MASON GRACE RENTALS LLC
13929 NW 166TH TER
ALACHUA FL 32615

03053-002-000
PATEL, INDIRA K
8706 SADDLEHORN DR
IRVING TX 75063

03053-010-000
HERITAGE OAKS PROPERTY, OWNERS
PO BOX 969
Alachua FL 32516

03053-010-001
STEVENS JOHN J & JAMIE N
16775 NW 165TH LANE
ALACHUA FL 32615

03053-010-002
DOLBEC RICHARD D II & LAUREN K
16813 NW 165TH LANE
Alachua FL 32615

03053-010-003
GRIEVE THOMAS H & MELISA A
16843 NW 165TH LN
ALACHUA FL 32615

03053-010-004
BROOKS TODD B
16873 NW 165TH LN
ALACHUA FL 32615

03053-010-011
AXIAK LAURA ANNE
16611 NW 165TH TER
ALACHUA FL 32615

03053-010-012
FROMHOLT DAVID B & SUSAN E
16575 NW 165TH TER
ALACHUA FL 32615

03053-010-013
JELMBERG MICHAEL & MARY
16545 NW 165TH TER
ALACHUA FL 32615

03053-010-014
FORD NATHANIEL M III & TIROSHA T
16515 NW 165TH TER
ALACHUA FL 32615

03053-010-015
MITCHELL CHARLES E & NANCY E
16530 NW 165TH TER
ALACHUA FL 32615

03053-010-016
CARTER DIANE S
8502 NW 35TH RD
GAINESVILLE FL 32606

03053-010-017
NYGAARD & STRATTAN
16567 NW 165TH LN
ALACHUA FL 32615

03053-010-018
WALLACE CHARLES E & PATRICIA A
16621 NW 165TH LN
ALACHUA FL 32615

03053-010-019
MANDARINO TERRANCE M & LISA
CLARK
16651 NW 165TH LN
ALACHUA FL 32615

03053-010-044
GEPHART RALPH G & DOROTHY J
16623 NW 168TH TER
ALACHUA FL 32615

03053-010-045
NOTO & NOTO
16603 NW 168TH TER
Alachua FL 32615

03053-010-046
BOLANOS & MCKERCHER W/H
16642 NW 167TH DR
ALACHUA FL 32615

03053-010-047
ROGERS, MICHAEL C & FELICIA GA
16622 NW 167TH DR
ALACHUA FL 32615-6497

03053-010-048
WESTBROOK BENTON C & DORA H
16602 NW 167TH DR
ALACHUA FL 32615

03053-010-051
HARRIS AARON A
16609 NW 166TH DR
ALACHUA FL 32615

03053-010-053
DAVIS RICHARD E JR & MAUREEN
16624 NW 165TH TER
ALACHUA FL 32615

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1171 APPIAN WAY
SANTA ANA CA 92705

03061-004-001
CIRCLE K STORES INC
PO BOX 8019
GARY NC 27512-9998

03053-010-050

3053-001-006
VYSTAR CREDIT UNION
4949 BLANDING BLVD
JACKSONVILLE FL 32210

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Neighborhood Meeting Notice

Antoinette Endelicato
5562 NW 93rd Avenue
Gainesville, FL 32653

Neighborhood Meeting Notice

Dan Rhine
288 Turkey Creek
Alachua, FL 32615

Neighborhood Meeting Notice

Tom Gorman
9210 NW 59th Street
Alachua, FL 32653

Neighborhood Meeting Notice

Richard Gorman
5716 NW 93rd Avenue
Alachua, FL 32653

Neighborhood Meeting Notice

Peggy Arnold
410 Turkey Creek
Alachua, FL 32615

Neighborhood Meeting Notice

b David Forest
23 Turkey Creek
Alachua, FL 32615

Neighborhood Meeting Notice

John Tingue
333 Turkey Creek
Alachua, FL 32615

Neighborhood Meeting Notice

President, TCMOA
1000 Turkey Creek
Alachua, FL 32615

Neighborhood Meeting Notice

Linda Dixon, AICP
UF Assistant Director Planning
PO Box 115050
Gainesville, FL 32611

Neighborhood Meeting Notice

Craig Parenteau
FL Department of Environmental Protection
4801 Camp Ranch Road
Gainesville, FL 32641

Neighborhood Meeting Notice

Jeannette Hinsdale
P.O. Box 1156
Alachua, FL 32616

Neighborhood Meeting Notice

Lynn Coullias
7406 NW 126th Ave
Alachua, FL 32615

Neighborhood Meeting Notice

Lynda Coon
7216 NW 126 Avenue
Alachua, FL 32615

Neighborhood Meeting Notice

Tamara Robbins
PO Box 2317
Alachua, FL 32616

Neighborhood Meeting Notice

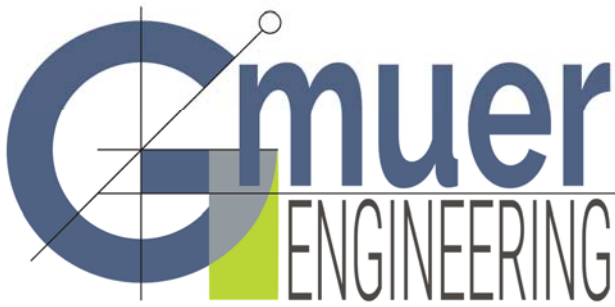
Dr. Lee A. Niblock
Alachua County Manager
12 SE 1st Street
Gainesville, FL 32601

Neighborhood Meeting Notice

John Amerson
All County Marion Property Management
2916 NE Jacksonville Rd
Ocala, FL 34479

Neighborhood Meeting Notice

City Manager, City of Alachua
P.O. Box 9
Alachua, FL 32616



2603 NW 13th St, Box 314
Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

February 7, 2017

City of Alachua Planning & Zoning
15100 NW 142nd Terr
Alachua, FL 32615

Re: Farm Bureau Insurance at NW 167th Blvd
Residential Protection Standards

This proposed development could have conditions applied in the following twelve Residential Protection Standards of Section 6.6.3.A. A discussion of each standard and the potential impacts associated with each is listed below in bold.

(1) Hours of operation and deliveries. Hours of operation and deliveries.

As an office use with no weekend hours, no significant deliveries are anticipated or any heavy traffic during a standard business day hours.

(2) Activities that generate potential adverse impacts. Location on a site of activities that generate potential adverse impacts on adjacent uses such as noise and glare.

A doctor office and hotel are proposed to the north, closer to the residential uses. As such, a small office use is not anticipated to overcome these other uses.

(3) Placement of trash receptacles. Placement of trash receptacles. **A doctor office and hotel are proposed to the north, closer to the residential uses. Visibility of trash receptacles are not anticipated.**

(4) Loading and delivery area. Location of loading and delivery areas. **None are required or proposed by the development.**

(5) Lighting. Lighting location, intensity, and hours of illumination. **A doctor office and hotel are proposed to the north, closer to the residential uses. Also the residential uses are more than 30' higher in elevation than the proposed use.**

(6) Placement of outdoor machines and activities. Placement and illumination of outdoor vending machines, telephones, or similar outdoor services and activities. **None are proposed.**

(7) Additional landscaping and buffering to mitigate adverse impacts. Additional landscaping and buffering to mitigate adverse impacts. **A doctor office and hotel are proposed to the north, closer to the residential uses as well as the residential units being more than 30' higher in elevation than the proposed use.**

(8) Height restrictions. Height restrictions to preserve light and privacy and views of significant features from public property and rights-of-way. **The proposed building is single story and again the residential units are more than 30' higher in elevation than the proposed use.**

(9) Preservation of natural lighting and solar access. Preservation of natural lighting and solar access. **The residential units are more than 30' higher in elevation than the proposed use and would not be affected.**

- (10) Ventilation and control of odors and fumes. Ventilation and control of odors and fumes. **No use is proposed that would generate any of these types of odors or fumes.**
- (11) Paving and parking areas. Paving to control dust. **All required parking will be paved. The adjacent grassed area will only be used if some annual event require overflow.**
- (12) Placement or configuration of site design. Placement or configuration of site design. **A doctor office and hotel are proposed to the north, closer to the residential uses. Visibility of use is not anticipated.**

Please let us know if you need any additional information for your review.

Sincerely,

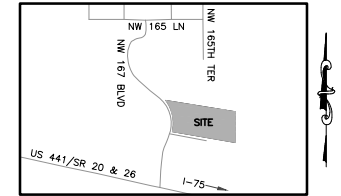
Gmuer Engineering, LLC



Christopher A Gmuer, PE
President

BOUNDARY SURVEY
PORTION OF TAX PARCEL
#03053-001-001
ALACHUA, FL 32615

SECTION 09, TOWNSHIP 08 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA



LOCATION MAP: NOT TO SCALE

LAND DESCRIPTION: (PREPARED BY THIS FIRM)

A PARCEL OF LAND BEING SITUATED IN SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 1576.08 FEET; THENCE RUN N88°33'13"E, 1300.20 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 503, PAGE 107, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 1347.44 FEET TO A FOUND 4"x4" CONCRETE MONUMENT ("LB 5091"), SAID CONCRETE MONUMENT BEING THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4076, PAGE 2345, OF SAID PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE CONTINUE S01°49'00"E, ALONG SAID WEST LINE, A DISTANCE OF 1000.00 FEET, TO A FOUND 5/8" IRON ROD (NO IDENTIFICATION), SAID IRON ROD BEING A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 20 & 25) (200 FOOT RIGHT-OF-WAY); THENCE RUN S79°06'59"E, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1279.84 FEET TO A FOUND 5/8" REBAR & CAP ("LB 2389"), SAID REBAR AND CAP ALSO BEING THE SOUTHEAST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 2392, PAGE 782; THENCE RUN N03°06'22"W, ALONG THE EAST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 260.82 FEET TO A FOUND 5/8" REBAR & CAP ("LB 2389"), SAID REBAR AND CAP ALSO BEING THE NORTHEAST CORNER OF SAID CERTAIN TRACT OF LAND; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.15 FEET TO A SET 1/2" REBAR & CAP ("LB 7996"); THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.49 FEET TO A SET 1/2" REBAR & CAP ("LB 7996"), SAID REBAR AND CAP ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 171.68 FEET TO A SET 1/2" REBAR & CAP ("LB 7996"); THENCE RUN N73°46'22"W, A DISTANCE OF 416.86 FEET TO A SET NAIL & DISK ("LB 7996"), SAID NAIL & DISK LYING AND BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF AN INGRESS-EGRESS ROAD IMPROVEMENTS AND PUBLIC UTILITIES EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 4400, PAGE 2104 AND ON A NON-TANGENT CURVE, CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 301.00 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID RIGHT-OF-WAY LINE AND CURVE, THROUGH A CENTRAL ANGLE OF 32°01'49", AND AN ARC DISTANCE OF 168.27 FEET TO A SET NAIL & DISK ("LB 7996"), SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S01°15'59"E, 166.09 FEET, RESPECTIVELY TO THE END OF SAID CURVE; THENCE RUN S14°44'53"W, A DISTANCE OF 28.60 FEET, ALONG SAID RIGHT-OF-WAY LINE TO A SET NAIL & DISK ("LB 7996"); THENCE RUN S73°46'22"E, A DISTANCE OF 177.62 FEET TO A SET 1/2" REBAR & CAP ("LB 7996"); THENCE SOUTH 89°08'38" EAST, A DISTANCE OF 94.31 FEET TO A SET 1/2" REBAR & CAP ("LB 7996"); THENCE SOUTH 73°46'22" EAST, A DISTANCE OF 154.47 FEET TO THE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINING 1.659 ACRES, MORE OR LESS.

SURVEYOR'S NOTES:

1. SURVEY BASED ON MONUMENTATION FOUND AND ACCEPTED AND ON LAND DESCRIPTIONS OF RECORD AS SHOWN ON THIS SURVEY.
2. BEARINGS ARE BASED ON A RECORDED CALL OF N03°06'22"W FOR THE EASTERLY LINE OF THAT CERTAIN TRACT OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 4076, PAGE 2345.
4. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LAND SURVEYOR IN RESPONSIBLE CHARGE.
5. UNLESS NOTED, NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS WERE LOCATED FOR THIS SURVEY.
6. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAYS, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
7. ONLY ABOVE GROUND UTILITIES WERE LOCATED FOR THIS SURVEY.
8. NORTH ARROW IS BASED ON BEARING STRUCTURE.
9. CERTIFICATION IS NOT TRANSFERABLE.
10. THE PURPOSE OF THIS SURVEY IS TO SHOW BOUNDARY INFORMATION AND IMPROVEMENTS. IT IS NOT TO BE USED FOR ARCHITECTURAL, ENGINEERING, DESIGN OR CONSTRUCTION PURPOSES.
11. THIS SURVEY COMPLIES WITH THE FLORIDA STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

FLOOD_ZONE:

IT IS THE OPINION OF THIS LAND SURVEYOR BASED ON AN INTERPRETATION OF F.I.R.M. PANEL No. 140 OF 640, COMMUNITY PANEL No. "120664 0140 D" THAT THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), MAP EFFECTIVE DATE JUNE 16, 2006.

ACCOUNT NUMBER	ESCROW CD	MILLAGE CODE
03053 001 001		1700

HIPP INVESTMENTS LLC
14610 NW 129TH TER
ALACHUA, FL 32615

16193 NW US HWY 441

COM NW COR SEC S 01 DEG 49 MIN 00
SEC E 1576.08 FT N 88
See Additional Legal on Tax Roll

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION(S)	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
CNTY GENERAL	8.9290	1,700	0	1,700	15.18
ALACHUA CNTY LIBRARY DISTRICT					
LIBRARY BONDS	0.0750	1,700	0	1,700	0.13
LIBRARY GENERAL	1.3371	1,700	0	1,700	2.27
SCHOOL BOARD OF ALACHUA COUNTY					
SCHL CAP32 PROJECT (S01)	1.5000	1,700	0	1,700	2.55
SCHL DISCRNRY & CN (S01)	0.7480	1,700	0	1,700	1.27
SCHL GENERAL	4.6880	1,700	0	1,700	7.97
SCHOOL VOTED (S01)	1.0000	1,700	0	1,700	1.70
SUWANNEE RIVER WATER MGT DIST	0.4093	1,700	0	1,700	0.70
17 CITY OF ALACHUA	5.9900	1,700	0	1,700	10.18
TOTAL MILLAGE 24.6764 AD VALOREM TAXES					\$41.95

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SCAN TO PAY

PAY ONLY ONE AMOUNT.

NON-AD VALOREM ASSESSMENTS			
LEVYING AUTHORITY	UNIT	RATE	AMOUNT
NON-AD VALOREM ASSESSMENTS			\$0.00

COMBINED TAXES AND ASSESSMENTS \$41.95

If Paid By Please Pay **Nov 30, 2016**
\$0.00

JOHN POWER, CFC
ALACHUA COUNTY TAX COLLECTOR

2016 PAID REAL ESTATE
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

1011501

PLEASE PAY IN U.S. FUNDS (NO POSTDATED CHECKS) TO JOHN POWER, TAX COLLECTOR • PO BOX 142340 • GAINESVILLE, FL 32614-2340

ACCOUNT NUMBER	SITUS	MESSAGE
03053 001 001	16193 NW US HWY 441	

HIPP INVESTMENTS LLC
14610 NW 129TH TER
ALACHUA, FL 32615

IF PAID BY	PLEASE PAY
<input type="checkbox"/> Nov 30, 2016	\$0.00
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

**This instrument was prepared
by and upon recording should
be returned to**

Allison E. Campbell, Esq.
Hill Ward Henderson
101 E. Kennedy Boulevard
Suite 3700
Tampa, Florida 33602

Doc Stamp-Deed: \$5,600.00



Parcel Identification Number: 03053-001-001

Consideration: \$800,000.00

Documentary stamp taxes: \$5,600.00

[Space above this line for Recorder's use.]

« SPECIAL WARRANTY DEED »

THIS SPECIAL WARRANTY DEED is made this 28th day of December, 2011, by **CRM FLORIDA PROPERTIES, LLC**, a Georgia limited liability company, whose mailing address is 303 Peachtree Street, N.E., Suite 3600, Atlanta, Georgia 30308, Attention: Legal and Regulatory Affairs Department (the "Grantor"), in favor of **HIPP INVESTMENTS, LLC**, a Delaware limited liability company, whose address is 14610 NW 129th Terrace, Alachua, Florida 32615 (the "Grantee").

W I T N E S S E T H :

That the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, to it in hand paid, the receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee, its successors and assigns forever, those certain parcels of land lying and being in the County of Alachua, State of Florida, as more particularly described on Exhibit "A" hereto.

TOGETHER WITH all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining; and

TO HAVE AND TO HOLD the above described Land, with the appurtenances, unto the said Grantee, its successors and assigns, in fee simple forever.

This conveyance is made subject to (i) the lien of real estate taxes, taxes imposed by special assessment and water, sewer, vault, public space and other public charges which are not yet due and payable, (ii) all applicable laws (including zoning, building ordinances and land use regulations), (iii) all easements, restrictions, covenants, agreements, conditions, and other matters of record (however reference thereto shall not serve to re-impose the same), and (iv) all matters

that may be revealed by a current and accurate survey or inspection of the property (collectively, "Permitted Exceptions").

As against all persons claiming by, through, or under the Grantor, the Grantor covenants that the property is free of all encumbrances except for the Permitted Exceptions, that lawful and good right to convey the foregoing property are vested in the Grantor and that the Grantor fully warrants the title to the property and will defend the same against the lawful claims of all persons claiming by, through, or under the Grantor.

[Signature Page Follows]

[SIGNATURE PAGE TO SPECIAL WARRANTY DEED]

IN WITNESS WHEREOF, Grantor has caused these presents to be duly authorized in its name and by those thereunto duly authorized, the day and year first above written.

SIGNATURE WITNESSED BY:

GRANTOR:

CRM FLORIDA PROPERTIES, LLC,
a Georgia limited liability company

By: CRM Properties Manager, LLC,
a Georgia limited liability company, its sole
member

Kristen Hooks
Name: KRISTEN HOOKS

Christina D Redman
Name: CHRISTINA D. REDMAN

By: [Signature]
Daniel Kaiser, Vice President

STATE OF FLORIDA

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 27th day of December, 2011, by Daniel Kaiser as a Vice President of CRM Properties Manager, LLC, a Georgia limited liability company, as the sole member of CRM FLORIDA PROPERTIES, LLC, a Georgia limited liability company, on behalf of such company, who is personally known to me and did not take an oath.

[NOTARY SEAL]

Christina D Redman
Notary Public, State of Florida

Printed Name of Notary Public

My commission expires:

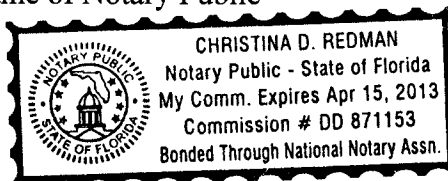


EXHIBIT A

A PORTION OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, AND RUN THENCE SOUTH 01°49'00" EAST, ALONG THE WEST BOUNDARY OF SAID SECTION, 1576.08 FEET; THENCE NORTH 88°33'13" EAST, 1300.20 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 503, PAGE 107 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE SOUTH 01°49'00" EAST, ALONG THE WEST LINE OF SAID CERTAIN TRACT OF LAND, 1347.44 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 01°49'00" EAST, ALONG SAID WEST LINE, 1000.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF US. HIGHWAY NO. 441. (STATE ROAD. NOS. 20 AND 25, 200' R/W); THENCE SOUTH 79°06'59" EAST, ALONG SAID RIGHT-OF-WAY LINE, 1279.84 FEET TO A POINT ON THE EAST LINE OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 27, PAGE 296, ET SEQ., OF SAID PUBLIC RECORDS; THENCE NORTH 03°06'22" WEST, ALONG SAID EAST LINE, 1000.00 FEET; THENCE NORTH 78°52'47" WEST, 1257.95 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

A PORTION OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, AND RUN THENCE SOUTH 01°49'00" EAST, ALONG THE WEST BOUNDARY OF SAID SECTION, 1576.08 FEET; THENCE NORTH 88°33'13" EAST, 1300.20 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 503, PAGE 107 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE SOUTH 01°49'00" EAST, ALONG THE WEST LINE OF SAID CERTAIN TRACT OF LAND, 2347.44 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NOS. 20 AND 25, 200' R/W); THENCE SOUTH 79° 06'59" EAST, ALONG SAID RIGHT-OF-WAY LINE, 1022.19 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 79°06'59" EAST, ALONG SAID RIGHT-OF-WAY LINE, 257.64 FEET TO A POINT ON THE EAST LINE OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 27, PAGE 296, ET SEQ., OF SAID PUBLIC RECORDS; THENCE NORTH 03°06'22" WEST, ALONG SAID EAST LINE, 260.82 FEET; THENCE NORTH 73°45'46" WEST, 264.96 FEET, THENCE SOUTH 03°06'22" EAST, PARALLEL WITH SAID EAST LINE, 286.30 FEET TO THE POINT OF BEGINNING.

May 24, 2016
Project No. 16-4205.09G

Kyle Cheshire, LEED AP BD+C
Cheshire Construction and Development, Inc.
1325 NW 53rd Avenue, Suite E
Gainesville, Florida 32609

Reference: Proposed Office Building, Parcel No. 03053-001-001, Alachua, Florida
Geotechnical Site Exploration

Dear Mr. Cheshire:

As requested, Geo-Technologies, Inc. (Geo-Tech) has performed a site exploration at the project site. Services were conducted in accordance with our Proposal No. 7273 Revision A dated May 10, 2016

The following report summarizes our findings, evaluations and recommendations. Generally accepted soils and foundation engineering practices were employed in the preparation of this report.

Proposed finish floor elevations and loading conditions had not been established at the time of this report. The design of building foundation systems for this project was not included in Geo-Tech's scope of services.

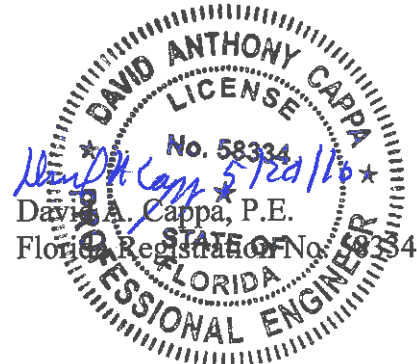
Geo-Tech appreciates the opportunity to provide our services for this project. Should you have any questions regarding the contents of this report or if we may be of further assistance, please do not hesitate to contact the undersigned.

Sincerely,



Matthew W. Holland
Geotechnical Project Manager

MWH/DAC/Iso



Purposes

Purposes of this study were to explore the subsurface conditions in the proposed drainage retention, parking and building areas and provide geotechnical engineering site preparation recommendations to guide design and construction of the drainage retention area, parking area and building foundations system.

Site Description

The project site is located at the northeast corner of the intersection of NW 167 Boulevard and NW 163 Lane at Parcel No. 03053-001-001 in Alachua, Florida. At the time of our site exploration, the project site was covered with native trees and grasses.

Exploration Program

Field exploration services for the geotechnical exploration consisted of the following:

Drainage Retention Area

- Two (2) direct push borings (P-1 and P-2) to depths of approximately twenty (20) feet below existing site grade in the proposed drainage retention area (ASTM D-6282). Direct Push borings were performed on May 18, 2016.
- Two (2) field horizontal and two (2) field vertical permeability tests in the proposed drainage retention areas. Permeability testing was performed on May 18, 2016.

Parking Area

- Two (2) auger borings (R-1 and R-2) to depths of approximately six (6) feet below existing site grade in the proposed parking area (ASTM D-4700). Auger borings were performed on May 18, 2016.

Building Area

- Three (3) Standard Penetration Test (SPT) borings (B-1 through B-3) to depths of approximately fifteen (15) feet below existing site grade in the proposed building areas (ASTM D-1586). SPT borings were performed on May 18, 2016.

Sampling & Testing Descriptions

Auger Sampling

Auger borings were performed using the methodology outlined in ASTM D-4700. Auger boring sampling method consists of rotating an auger to advance the barrel into the ground. The operator may have to apply downward pressure to keep the auger advancing. When the barrel is filled, the unit is withdrawn from the cavity and a sample may be collected from the barrel.

Samples recovered during performance of our auger borings were visually classified in the field and representative portions of the samples were placed in containers and transported to our laboratory for further analysis.

Direct Push Sampling

Direct Push (DP) soil sampling method (ASTM D-6282) consists of advancing a sampling device into subsurface soils by applying static pressure, by applying impacts, or by applying vibration, or any combination thereof, to the above ground portion of the sampler extensions until sampler has been advanced to the desired sampling depth. The sampler is recovered from the borehole and the sample removed from the sampler. The sampler is cleaned and the procedure repeated for the next desired sampling interval.

Sampling can be continuous for full depth borehole logging or incremental for specific interval sampling. Samplers used can be protected type for controlled specimen gathering or unprotected for general soil specimen collection. Direct push methods of soil sampling are used for geologic investigation, soil chemical composition studies, and water quality investigations. Continuous sampling is used to provide a lithological detail of the subsurface strata and to gather samples for classification and index.

Samples recovered during performance of our direct push borings were visually classified in the field and were transported to our laboratory for further analysis.

Standard Penetration Testing

A Standard Penetration Test (SPT) boring (ASTM D-1586) is defined as a standard split-barrel sampler driven into the soil by a one hundred and forty (140) pound hammer falling thirty (30) inches. The number of blows required to drive the sampler one (1) foot, after seating six (6) inches, is designated resistance, or "N"-Value is an index to soil strength and consistency.

Samples recovered during performance of our SPT borings were visually classified in the field and representative portions of the samples were placed in containers and transported to our laboratory for further analysis.

Gradation (-200) Testing

A specimen of soil is washed over a seventy-five (75) μm (No. 200) sieve. Clay and other particles that are dispersed by the wash water, as well as water-soluble materials, are removed from the soil during the test. The loss in mass resulting from the wash treatment is calculated as mass percent of the original sample and is reported as the percentage of material finer than a seventy-five (75) μm (No. 200) sieve by washing.

Findings

Drainage Retention Area

Boring locations and general subsurface conditions found in our soil borings P-1 and P-2 are graphically presented on the soil profiles in Appendix I. Horizontal lines designating the interface between differing materials found represent approximate boundaries. Transition between soil layers is typically gradual.

Soils found in our soil borings generally consisted of fine sand, slightly clayey sand, clayey sand and slightly sandy clay to the depths drilled.

Ground water table levels were not found at our boring locations at the time of drilling.

Seasonal High Water Table Levels

Estimated seasonal high water table levels were found at depths ranging from approximately seven (7) to eight (8) feet below existing site grade. Estimated seasonal high water table levels are indicated on the soil profiles at the appropriate depths.

Confining Layers

A confining layer was found in boring P-1 at a depth of approximately nine (9) feet below existing site grade. A confining layer was not found in boring P-2 within the twenty (20) feet drill depth. Confining layers are indicated on the soil profiles at the appropriate depths.

Permeability

Two (2) field horizontal and two (2) field vertical permeability tests were performed adjacent to our boring locations at depths ranging from approximately four (4) feet below existing site grade.

Resulting coefficients of horizontal and vertical permeability are noted on the soil profiles and in Table 1 below.

Table 1 Results of Permeability Testing

Boring No.	Depth of Test (feet)	K _H Rate (feet/day)	K _V Rate (feet/day)
P-1	4.0	4.4	3.3
P-2	4.0	5.4	3.7

Measured permeability rates should not be used for design purposes without an appropriate safety factor. Actual pond exfiltration rates will depend on many factors such as ground water mounding, pond bottom siltation, construction technique, and the amount of soil compaction during construction.

Parking Area

Boring locations and general subsurface conditions found in our soil borings R-1 and R-2 are graphically presented on the soil profiles in Appendix I. Horizontal lines designating the interface between differing materials found represent approximate boundaries. Transition between soil layers is typically gradual.

Soils found in our soil borings generally consisted of fine sand, slightly clayey sand, clayey sand and slightly sandy clay to the depths drilled.

Ground water table levels were not found at our boring locations at the time of drilling. In Geo-Tech's opinion, ground water levels are not expected to influence near surface construction. After periods of prolonged rainfall water may become perched above the clayey soils and deeper foundation systems may encounter a perched water condition.

Building Area

Boring locations and general subsurface conditions found in our soil borings B-1 through B-3 are graphically presented on the soil profiles in Appendix I. Horizontal lines designating the interface between differing materials found represent approximate boundaries. Transition between soil layers is typically gradual.

Soils found in our soil borings generally consisted of very loose to loose fine sand, loose to medium dense slightly clayey sand and loose to medium dense clayey sand to the depths drilled.

Ground water table levels were not found at our boring locations at the time of drilling. In Geo-Tech's opinion, ground water levels are not expected to influence near surface construction. After periods of prolonged rainfall water may become perched above the clayey soils and deeper foundation systems may encounter a perched water condition.

Evaluations

Based on the soil borings performed, the clayey sand soils found at our boring locations typically exhibit moderate shrink/swell behavior with moisture content changes. Generally, these clay soils will swell upon wetting and shrink upon drying thus causing movement of structures placed on them.

Recommendations

Roadway Area

Based on the information from our borings, it is Geo-Tech's opinion that a minimum separation of two (2) feet should be maintained from the base of the stabilized subgrade to the top of the unsuitable clay soils.

General Pavement Construction Recommendations

The following are our recommendations for overall site preparation and mechanical densification work for the pavement construction portion of the project, based on the anticipated construction and our boring results. These recommendations should be used as a guideline for the project general specifications, which are prepared by the Design Engineer. Site preparation and filling should be in accordance with the latest edition of the Florida Department of Transportation (FDOT) Standard Specifications for Road and Bridge Construction and Standard Index 505.

1. The pavement area plus a five (5) foot margin should be stripped and cleared of surface vegetation, organic or root laden topsoil, and grubbed of roots and stumps. Organic soil or near surface clays and silts found and any other soils with organic content in excess of five (5) percent should be overexcavated or hauled elsewhere for restricted use as permitted by FDOT Indexes 500 and 505. A representative of our firm should observe the stripped grade to document adequate depth of stripping prior to filling.
2. The stripped area should be leveled sufficiently to permit equipment traffic, cut to grade if necessary, and then compacted using a large diameter, self-propelled, or tractor drawn vibratory roller. The vibratory drum roller should have a static drum weight of about four (4) tons and should be capable of exerting a minimum impact force of fifteen (15) tons. Careful observations should be made during proof-rolling to help identify any areas of soft yielding

soils that may require overexcavation and replacement. Care should be used when operating the compactor near existing structures to avoid transmissions of vibrations that could cause settlement damage or disturb occupants. Use of smaller vibratory or static compactor may be necessary in some instances. Construction operations that may be affected by vibration, such as pouring concrete, should be scheduled at times when nearby compaction operations are not taking place.

3. Prior to beginning compaction, soil moisture contents may need to be controlled in order to facilitate proper compaction. If additional moisture is necessary to achieve compaction objectives, then water should be applied in such a way that it will not cause erosion or removal of the subgrade soils. Moisture content within two (2) percentage points of the optimum indicated by the Modified Proctor test (ASTM D-1557) is recommended.
4. A minimum of ten (10) overlapping passes should be made by the vibratory drum roller across the stripped or cut ground surface. Compaction should continue to develop a minimum density requirement of ninety-eight (98) percent of the maximum Modified Proctor dry density established in accordance with ASTM D-1557, for a minimum depth of two (2) feet below the compacted surface, as determined by field density (compaction) test or in accordance with FDOT Index 505, whichever is higher.
5. Following satisfactory completion of the initial compaction on the existing grade, the pavement area may be brought up to finished subgrade levels if required. Fill should consist of fine sand with between three (3) to twelve (12) percent by dry weight passing a US Standard No. 200 sieve, free of rubble, organics, clay, debris, and other unsuitable material. **All structural fill should be pre-qualified prior to importing and placing.** Soils removed from the building cut areas can be used in this area also. Approved sand fill should be placed in loose lifts not exceeding twelve (12) inches in thickness and should be compacted to a minimum of ninety-eight (98) percent of the maximum Modified Proctor dry density. Density tests to confirm compaction should be performed in each fill lift before the next lift is placed.
6. Undercutting clayey soils should follow the recommendations in the previous section.
7. A representative from our firm should be retained to provide on-site observation of earthwork activities. The field technician would monitor the excavation of detrimental soil such as organics and plastic soils, placement of approved fills, proof-rolling and provide compaction testing. Density tests should be performed in surficial sands after proof rolling and in each fill lift thereafter. It is important that careful observation be made to confirm that the subsurface conditions are as we have discussed herein, and that foundation construction and fill placement is in accordance with our recommendations.

Flexible/Semi-Flexible Pavement Structure

Limerock could be considered as a base course for this site. Normal wet season groundwater levels should be controlled to at least eighteen (18) inches below a limerock base or associated stabilized subgrade (clean sand subgrade stabilized with a suitable imported cohesive soil), if one is used. Traffic loading conditions were not supplied to Geo-Tech at the time of this report

writing, however, this design has been used as a general pavement section design and should be reviewed by Geo-Tech after loading conditions have been established.

As a guideline for pavement design, we recommended that the base course be a minimum of six (6) inches thick in standard parking areas and should be compacted to at least ninety-eight (98) percent of the Modified Proctor maximum dry density. A stabilized subgrade (LBR= forty [40]) should be used below the limerock base course. Stabilized subgrade soils should be a minimum of eight (8) inches (standard pavement section) to twelve (12) inches (heavy pavement section) thick and should be compacted to at least ninety-eight (98) percent of the Modified Proctor maximum dry density. Limerock should conform to FDOT specifications and should have a minimum LBR value of one-hundred (100), and should be compacted to at least ninety-eight (98) percent of the Modified maximum dry density (ASTM D-1557).

At a minimum, the asphaltic concrete wearing surface should consist of at least one and one-half (1½) inches of either Superpave 9.5 or Superpave 12.5 asphaltic concrete meeting current Florida Department of Transportation specifications and placement and compaction procedures. **Specific requirements for asphaltic concrete are outlined in sections 333 and 331 in FDOT Standard Specifications for Road and Bridge Construction – latest edition.** Superpave 9.5, although somewhat more expensive, offers increased stability. Superpave 12.5, which is more durable, should not be used unless the surface course is at least one and one-half (1½) inches thick because of the coarse aggregate. Superpave 9.5, which is somewhat finer aggregate, is also relatively durable and can be used in one (1) inch thickness. Superpave 9.5 or Superpave 12.5 is the preferred surface course. It is, however, important to point out that many combinations of asphaltic concrete, base course, and stabilized subgrade can be considered and that the above suggestions/guidelines are based only on our past experience with similar projects.

Rigid Pavement Structure

Experience has indicated that high quality concrete placed on compacted free draining clean natural or fill subgrade can provide satisfactory, long-term performance as a pavement wearing surface. Good performance and low maintenance is highly dependent on satisfactory subgrade drainage and closely spaced joints. A control pattern of fifteen (15) feet by fifteen (15) feet is highly recommended by the Florida Concrete Products Association. We suggest that there should be at least twenty-four (24) inches between the bottom of the surface course and the seasonal high groundwater table.

Pavement thickness and concrete design strength will depend on such variables as anticipated wheel loads, number of load applications, and the subgrade LBR value of the native soils. Based on our local experience, Geo-Tech recommends stabilizing the subgrade beneath all concrete pavements to a depth of twelve (12) inches and a minimum LBR of forty (40). Reinforcement should consist of 6"x 6"x10" gauge wire mesh.

The pavement areas should first be cleared and grubbed of any surface vegetation, tree root systems and organic topsoil. The stripped subgrade should be compacted to ninety-five (95) percent of the Modified Proctor maximum density (ASTM D-1557) to a depth of twelve (12) inches. Site raising fill should consist of clean sand, placed in twelve (12) inch lifts. Each lift compacted to ninety-five (95) percent of the Modified Proctor maximum dry density. The final

twelve (12) inch lift shall consist of stabilized subgrade, compacted to ninety-eight (98) percent of the Modified Proctor maximum dry density.

Transverse reinforcement and load transfer devices should be employed as recommended by the Florida Concrete Products Association's design guidelines. Expansion joints should be incorporated into the pavement, at its juncture with building perimeters, manholes, inlet boxes, radii, and other appropriate locations. We also recommend control joints should be cut at fifteen (15) foot intervals in both directions to a depth of four (4) inches.

Table 1 Pavement Design Summary

Component	Asphalt		Concrete Heavy
	Standard	Heavy	
Stabilized Subgrade LBR 40	8 inches	12 inches	12 inches
Base Material Limerock LBR 100 (stone, sand/shell, etc.)	6 inches	9 inches	--
Asphalt Base Course	(not required)		
Leveling Binder Course	--	--	--
Surface Course	1½ inches	3 inches	8 inches

Note: This information shall not be used separately from the geotechnical report and should be reviewed by Geo-Tech when traffic loading conditions are established.

Building Area

The foundation system may utilize a monolithic thickened edge slab or a perimeter footing and finish site grades should be selected so that the bottom of the foundation and floor slabs are at least two (2) feet above the underlying unsuitable clayey soils (see Figure 2 in Appendix III).

In Geo-Tech's opinion, there are three (3) suitable options for the site:

Option 1: Excavate the clayey soils to create the minimum buffer between the foundation and floor slabs and the top of the clayey soils. If excavating for the foundation system to provide the recommended separation, excavation should extend a minimum of two (2) feet beyond each side of the footing. Care should be taken to ensure the foundation system bears in the backfilled area(s).

The depth of excavation should be controlled so that a "bathtub effect" that will trap water is not created. The bottom of the undercut should be graded to drain to a positive gravity outfall. If it is not feasible to have a positive gravity outfall, an underdrain should be placed in the bottom of the excavation to drain stormwater that may accumulate in the excavation.

Structural fill should be placed in accordance with the Structural Fill Material and Compaction of Fill Soils sections of this report.

We wish to emphasize that the excavation and replacement of the underlying clay soils from beneath the building is not a guarantee that the deeper clays will not cause foundation movements. However, the risk is reduced significantly.

- Option 2: Raise the existing site grade to provide the recommended separation. However, prior to importing and placing fill soils to raise the existing site grade the building area should be proof-rolled to increase the density of the near surface soils. Proof-rolling should occur after stripping and grubbing.

Structural fill should be placed in accordance with the Structural Fill Material and Compaction of Fill Soils sections of this report.

- Option 3: Combine Options 1 and 2 in order to attain the desired finish floor elevation.

Recommended Building Site Preparation

Stripping and Grubbing

The “footprint” of the proposed building, plus an additional horizontal margin of ten (10) feet, should be stripped of the existing vegetation, stumps, surface debris, or other deleterious materials as found. Expect clearing and grubbing to depths of about eight (8) to twelve (12) inches. Deeper clearing and grubbing depths may be encountered in heavily vegetated areas where major root systems are found. Actual depth(s) of stripping and grubbing must be determined by visual observation and judgment during the earthwork operation.

Proof-Rolling

If utilizing Option 2 in the Recommendations section of this report, proof-rolling of the cleared surface is recommended to: 1) locate any soft areas or unsuitable surface or near surface soils; 2) increase the density of the near surface soils; and 3) prepare the existing surface for the addition of fill soils (if required). Proof-rolling of the building areas should consist of at least ten (10) passes of a self-propelled static compactor. Each pass of the compactor should overlap the preceding pass by thirty (30) percent to insure complete coverage. If deemed necessary, in areas continuing to “yield,” remove all deleterious material and replace with a clean, compacted sand backfill. Proof-rolling should occur after cutting and before filling. Vibratory compaction equipment should not be used within one hundred (100) feet of neighboring structures.

Structural Fill Material

Structural fill material should be free of organic material such as roots and/or vegetation. Geo-Tech recommends using sand fill with between three (3) to twelve (12) percent by dry weight of material passing the U.S. Standard No. 200 sieve size. All structural fill should be pre-qualified prior to importing and placing.

Upper fine sands found on site should meet these requirements and can be used if kept separate from the clayey soils during the earthwork phase of construction. Clayey soils are typically not used for structural fill due to inherent nature to retain moisture and the natural weight of the material makes compaction requirements difficult to achieve. However, the clayey soils can be utilized for other non-structural grading as desired.

Compaction of Fill Soils

Structural fill should be placed in level lifts not thicker than twelve (12) inches (uncompacted). Each lift in the proposed building areas should be compacted to at least ninety-eight (98) percent of the maximum density as determined by the Modified Proctor Test Method (ASTM D-1557) maximum dry density value. If hand-held compaction equipment is used, reduce the uncompacted lift thickness to six (6) inches. Filling and compaction operation should continue in lifts until the desired elevation is attained.

Foundation Support

Foundations for the proposed structure may consist of shallow foundations placed on compacted engineered fill material. Such footings may be designed for maximum allowable soils contact pressures of two thousand five hundred (2,500) pounds per square foot. For purposes of confinement, exterior footings should be embedded at least twenty-four (24) inches below the lowest adjacent grade as measured to the base of the footing. Interior footings should be embedded a minimum of eighteen (18) inches below the lowest adjacent grade as measured to the base of the footing.

Moisture entry from the underlying subgrade soils should be minimized. An impervious membrane placed between the subgrade soils and floor slab will help to accomplish this. A polyethylene film (six [6] mil) is commonly used for this purpose. Care should be used so that the membrane is not punctured when placing reinforcing steel (or mesh) and concrete.

Quality Control

Geo-Tech recommends establishing a comprehensive quality control program to insure that site preparation and foundation construction is conducted according to the plans and specifications. Materials testing and inspection services should be provided by Geo-Technologies, Inc. An engineering technician should be on-site to monitor all stripping and grubbing, to verify that all deleterious materials have been removed.

Density testing should be performed during backfill and below all footings and floor slabs to check the required compaction. Field density values should be compared to laboratory proctor moisture-density results for each different natural and fill soil encountered.

If excavating to attain the recommended separation, Geo-Tech recommends that we be notified to verify the depth of excavation, daylight gravity drain (if required), compaction of backfill and foundation is properly located within boundaries of excavation.

Geotechnical engineering design does not end with the advertisement of construction documents. The design is an on going process throughout construction. Because of Geo-Tech's familiarity with the site conditions and the intent of the engineering design, we are most qualified to address problems that might arise during construction in a timely and cost effective manner.

Closure/General Qualifications

This report has been prepared in order to aid evaluation of the project site and to assist various design professionals in the design of the drainage retention area, parking area and building foundation system. The scope is limited to the specific project and the location described herein, and our description of the project represents our understanding of the significant aspects relevant

to soil and foundation characteristics. In the event that any changes in present project concepts as outlined in this report are planned, we should be informed so the changes can be reviewed and the conclusions of this report modified as necessary in writing by the soils and foundation engineer.

It is recommended that all construction operations dealing with earthwork and foundations be reviewed by our soil engineer to provide information on which to base a decision whether the design requirements are fulfilled in the actual construction. Evaluations and recommendations submitted in this report are based upon the data obtained from the soil borings performed at the locations indicated on the Boring Location Map, and from any other information discussed in this report. This report does not reflect any variations, which may occur between these borings. In the performance of subsurface investigations, specific information is obtained at specific locations at specific times. Variations in soil and rock conditions exist on most sites between boring locations. Groundwater levels may also vary from time to time. The nature and extent of variations may not become evident until the course of construction. If variations then appear evident, it will be necessary for a re-evaluation of the recommendations of this report after performing on-site observations during the construction period and noting the characteristics of any variations.

APPENDIX I

SOIL PROFILES

Log of Borehole: P-1

GEO-TECH_{FL}, INC.

ENGINEERING CONSULTANTS

1016 SE 3rd Avenue

Ocala, Florida

352.894.7711

WWW.GEOTECHFL.COM

Project: OFFICE BUILDING, PARCEL NO. 03053-001-001, ALACHUA, FL Project No: 16-4205.09G

Boring Location: (SEE SITE PLAN)

Engineer: NJH/DAC

Client: CHESHIRE CONSTRUCTION AND DEVELOPMENT, INC.

Enclosure: SITE PLAN

Depth (ft)	Symbol	Description	Depth/Elev.	Number	Remarks
0		Ground Surface	0.0		
1		SLIGHTLY CLAYEY SAND BROWN SLIGHTLY CLAYEY SAND (SP-SC)	1.0	1	
2		CLAYEY SAND BROWN CLAYEY SAND (SC)	1.5	2	
3		FINE SAND BROWN FINE SAND (SP)	2.5	3	
4		CLAYEY SAND BROWN CLAYEY SAND (SC)		4	FIELD HORIZONTAL PERMEABILITY AT APPROX. 4.0 FEET = 4.4 FEET/DAY FIELD VERTICAL PERMEABILITY AT APPROX. 4.0 FEET = 3.3 FEET/DAY
5					
6					
7					
8			8.0		ESHWTL AT APPROX. 8.0 FEET
9		CLAYEY SAND BROWN AND GREY CLAYEY SAND (SC)	9.0	5	CONFINING LAYER AT APPROX. 9.0 FEET
10		SLIGHTLY SANDY CLAY GREY AND YELLOWISH BROWN SLIGHTLY SANDY CLAY (CH)			
11					
12					
13					
14					
15				6	
16					
17					
18					
19					
20			20.0		
21		End of Borehole			
22					

Ground Water Depth: NOT FOUND

Drill Date: MAY 18, 2016

Drilled By: ZM

Drill Method: ASTM D-6282

Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW

Soil Profile : 1 OF 7

Log of Borehole: P-2

GEO-TECH, Inc.

ENGINEERING CONSULTANTS

1016 SE 3rd Avenue

Ocala, Florida

352.894.7711

WWW.GEOTECHFL.COM

Project: OFFICE BUILDING, PARCEL NO. 03053-001-001, ALACHUA, FL Project No: 16-4205.09G

Boring Location: (SEE SITE PLAN)

Engineer: NJH/DAC

Client: CHESHIRE CONSTRUCTION AND DEVELOPMENT, INC.

Enclosure: SITE PLAN

Depth (ft)	Symbol	Description	Depth/Elev.	Number	Remarks
0		Ground Surface	0.0		
1		CLAYEY SAND BROWN CLAYEY SAND (SC)		1	
2					FIELD HORIZONTAL PERMEABILITY AT APPROX. 4.0 FEET = 5.4 FEET/DAY
3					FIELD VERTICAL PERMEABILITY AT APPROX. 4.0 FEET = 3.7 FEET/DAY
4					
5					
6					
7			7.0		ESHWTL AT APPROX. 7.0 FEET
8		CLAYEY SAND BROWN AND GREY CLAYEY SAND (SC)		2	
9					
10					
11					
12					
13					
14					
15					
16					
17					
18					
19					
20			20.0		CONFINING LAYER GREATER THAN DEPTH DRILLED
21		End of Borehole			
22					

Ground Water Depth: NOT FOUND

Drill Date: MAY 18, 2016

Drilled By: ZM

Drill Method: ASTM D-6282

Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW

Soil Profile : 2 OF 7

Log of Borehole: R-1

Project: OFFICE BUILDING, PARCEL NO. 03053-001-001, ALACHUA, FL Project No: 16-4205.09G

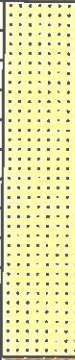

Boring Location: (SEE SITE PLAN)

Engineer: NJH/DAC

Client: CHESHIRE CONSTRUCTION AND DEVELOPMENT, INC.

Enclosure: SITE PLAN

GEO-TECH, INC.
ENGINEERING CONSULTANTS
1016 SE 3rd Avenue
Ocala, Florida
352.694.7711
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Depth (ft)	Symbol	Description	Depth/Elev.	Number	Remarks
0		Ground Surface	0.0		
0		FINE SAND BROWN FINE SAND (A-3)		1	
1					
2					
3			3.0		
3		SLIGHTLY CLAYEY SAND BROWN SLIGHTLY CLAYEY SAND (A-2-4)		2	
4					
5					
6			6.0		
6		End of Borehole			
7					
8					
9					
10					

Ground Water Depth: NOT FOUND

Drill Date: MAY 18, 2016

Drilled By: ZM

Drill Method: ASTM D-4700

Remarks: (A-3) AASHTO CLASSIFICATION SYSTEM

Soil Profile : 3 OF 7

Log of Borehole: R-2

Project: OFFICE BUILDING, PARCEL NO. 03053-001-001, ALACHUA, FL Project No: 16-4205.09G


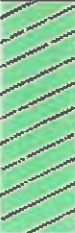
Boring Location: (SEE SITE PLAN)

Engineer: NJH/DAC

Client: CHESHIRE CONSTRUCTION AND DEVELOPMENT, INC.

Enclosure: SITE PLAN

GEO-TECH, INC.
ENGINEERING CONSULTANTS
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Depth (ft)	Symbol	Description	Depth/Elev.	Number	Remarks
0		Ground Surface	0.0		
0		CLAYEY SAND BROWN CLAYEY SAND (A-2-6)			
1					
2				1	
3					
4			4.0		
4		SLIGHTLY SANDY CLAY LIGHT BROWN AND GREY SLIGHTLY SANDY CLAY (A-7)			
5				2	
6			6.0		
6		End of Borehole			
7					
8					
9					
10					

Ground Water Depth: NOT FOUND

Drill Date: MAY 18, 2016

Drilled By: ZM

Drill Method: ASTM D-4700

Remarks: (A-3) AASHTO CLASSIFICATION SYSTEM

Soil Profile : 4 OF 7

Log of Borehole: B-1

GEO-TECH, INC.

ENGINEERING CONSULTANTS

1016 SE 3rd Avenue

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Project: OFFICE BUILDING, PARCEL NO. 03053-001-001, ALACHUA, FL Project No: 16-4205.09G

Boring Location: (SEE SITE PLAN)

Engineer: NJH/DAC

Client: CHESHIRE CONSTRUCTION AND DEVELOPMENT, INC.

Enclosure: SITE PLAN

Depth (ft)	Symbol	Description	Consistency	Depth/Elev.	Number	Type	Blows/ft	Standard Penetration Test N-Values
0		Ground Surface		0.0				0 20 40 60 80 100
0		FINE SAND						
1		BROWN FINE SAND (SP)	VERY LOOSE	1.5	1		3	3
2		CLAYEY SAND						
2		BROWN TO GREY CLAYEY SAND (SC)	MEDIUM DENSE		2		15	15
3								
4		% PASS -200 = 32						
5			LOOSE		3		8	8
6								
7			LOOSE	7.0	4		10	10
8		SLIGHTLY CLAYEY SAND						
8		LIGHT GREY SLIGHTLY CLAYEY SAND (SP-SC)	LOOSE		5		5	5
9								
10								
11								
12								
13								
14			MEDIUM DENSE	15.0	6		11	11
15								
16		End of Borehole						
17								
18								
19								
20								

Ground Water Depth: NOT FOUND

Drill Date: MAY 18, 2016

Drilled By: RS/JW/ZM

Drill Method: ASTM D-1586

Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW

Soil Profile : 5 OF 7

Log of Borehole: B-2

GEO-TECH, INC.

ENGINEERING CONSULTANTS

1016 SE 3rd Avenue

Ocala, Florida

352.694.7711

WWW.GEOTECHFL.COM

Project: OFFICE BUILDING, PARCEL NO. 03053-001-001, ALACHUA, FL Project No: 16-4205.09G

Boring Location: (SEE SITE PLAN)

Engineer: NJH/DAC

Client: CHESHIRE CONSTRUCTION AND DEVELOPMENT

Enclosure: SITE PLAN

Depth (ft)	Symbol	Description	Consistency	Depth/Elev.	Number	Type	Blows/ft	Standard Penetration Test N-Values				
								0	20	40	60	80 100
0		Ground Surface		0.0								
1		CLAYEY SAND BROWN TO GREY CLAYEY SAND (SC)	LOOSE		1		6		6			
2												
3			LOOSE		2		9		9			
4												
5			LOOSE		3		6		6			
6												
7			LOOSE		4		7		7			
8				8.0								
9		SLIGHTLY CLAYEY SAND LIGHT GREY SLIGHTLY CLAYEY SAND (SP-SC)	LOOSE		5		8		8			
10												
11												
12												
13												
14												
15			MEDIUM DENSE	15.0	6		11		11			
16		End of Borehole										
17												
18												
19												
20												

Ground Water Depth: NOT FOUND

Drill Date: MAY 18, 2016

Drilled By: RS/JW/ZM

Drill Method: ASTM D-1586

Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW

Soil Profile : 6 OF 7

Log of Borehole: B-3

GEO-TECH, INC.

ENGINEERING CONSULTANTS

1016 SE 3rd Avenue

Ocala, Florida

352.694.7711

WWW.GEOTECHFL.COM

Project: OFFICE BUILDING, PARCEL NO. 03053-001-001, ALACHUA, FL Project No: 16-4205.09G

Boring Location: (SEE SITE PLAN)

Engineer: NJH/DAC

Client: CHESHIRE CONSTRUCTION AND DEVELOPMENT, INC.

Enclosure: SITE PLAN

Depth (ft)	Symbol	Description	Consistency	Depth/Elev.	Number	Type	Blows/ft	Standard Penetration Test N-Values
		Ground Surface		0.0				0 20 40 60 80 100
0		FINE SAND						
1		BROWN FINE SAND (SP)	LOOSE		1		5	5
2		CLAYEY SAND		2.0				
3		BROWN TO LIGHT BROWN AND GREY CLAYEY SAND (SC)	LOOSE		2		6	6
4		% PASS -200 = 34						
5			MEDIUM DENSE		3		12	12
6								
7			LOOSE		4		10	10
8								
9			LOOSE		5		10	10
10								
11								
12								
13				13.5				
14		SLIGHTLY CLAYEY SAND						
15		LIGHT GREY SLIGHTLY CLAYEY SAND (SP-SC)	MEDIUM DENSE		6		12	12
16		End of Borehole		15.0				
17								
18								
19								
20								

Ground Water Depth: NOT FOUND

Drill Date: MAY 18, 2016

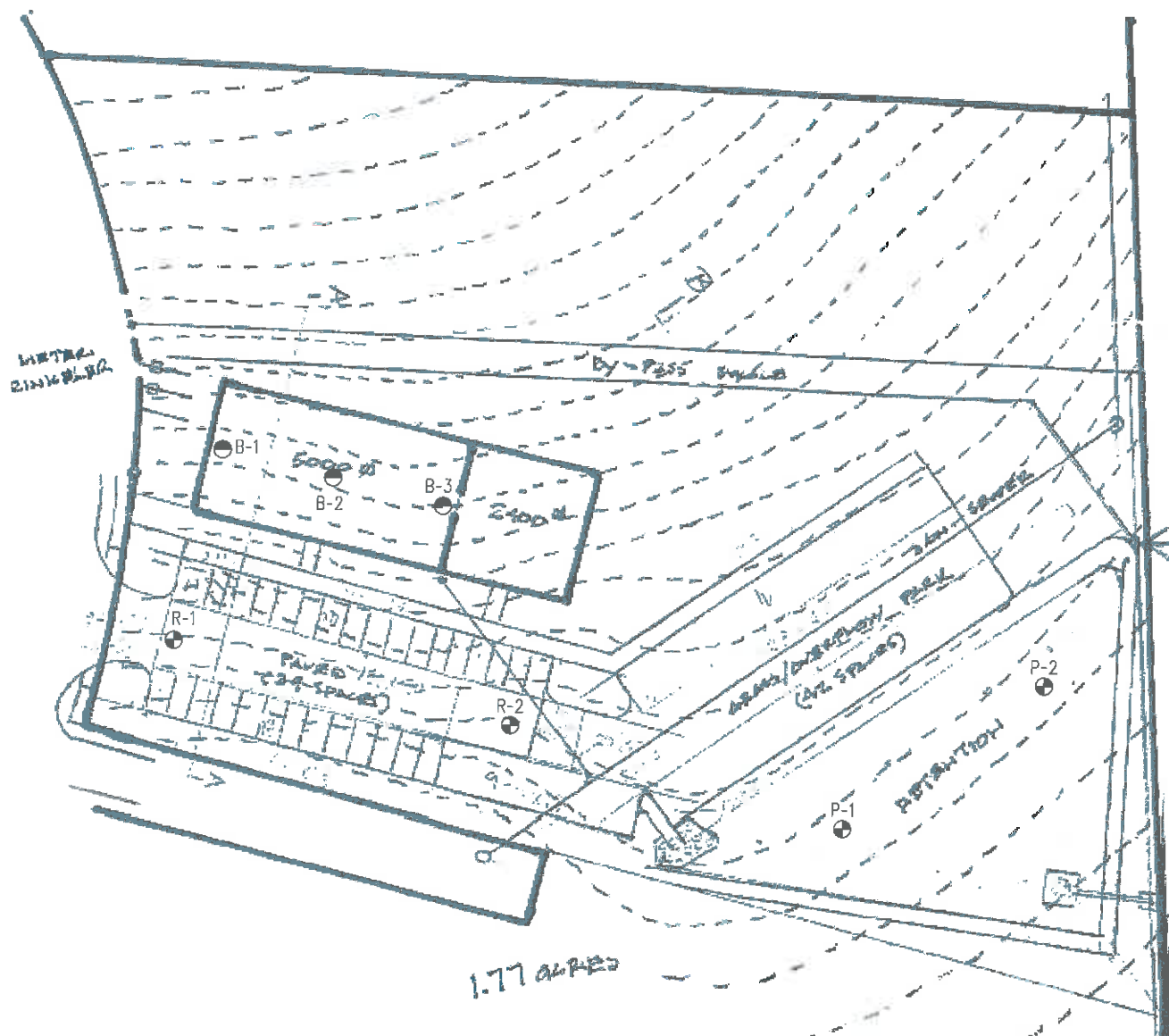
Drilled By: RS/JW/ZM

Drill Method: ASTM D-1586

Remarks: (SP) UNIFIED SOIL CLASSIFICATION SYMBOL AS DETERMINED BY VISUAL REVIEW

Soil Profile : 7 OF 7

APPENDIX II
BORING LOCATION MAP



- ⊕ = APPROXIMATE AUGER/DIRECT PUSH BORING LOCATION
● = APPROXIMATE STANDARD PENETRATION TEST (SPT) BORING LOCATION

CHESHIRE CONSTRUCTION AND DEVELOPMENT, INC.

PROPOSED OFFICE BUILDING
PARCEL NO. 03053-001-001, NEC NW 167 BOULEVARD AND NW 163 LANE
ALACHUA, FLORIDA

BORING LOCATION MAP

GEO-TECH, INC.

■ GEOTECHNICAL ■ ENVIRONMENTAL
■ CONSTRUCTION MATERIALS TESTING ■ GEOPHYSICAL EXPLORATION
1016 SE 3rd AVENUE, OCALA, FLORIDA 34471 ~ (352) 694-7711

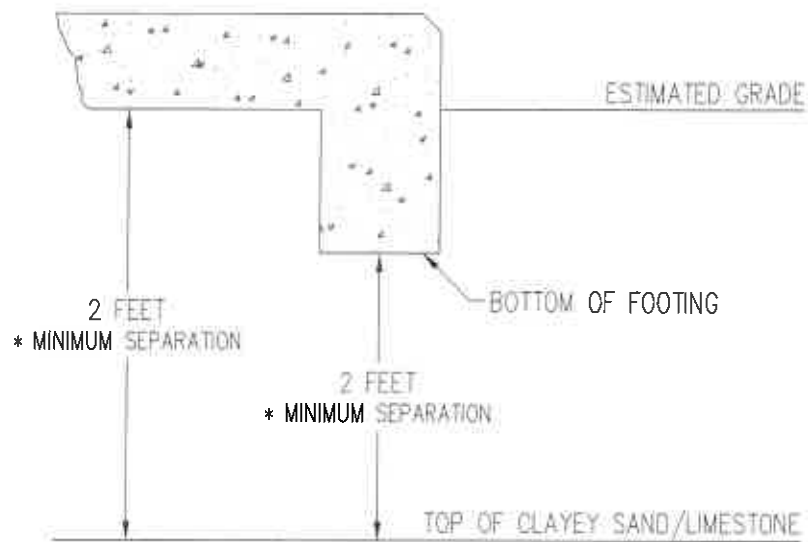
PROJECT NO.
16-4205.09G

SCALE: N.T.S.

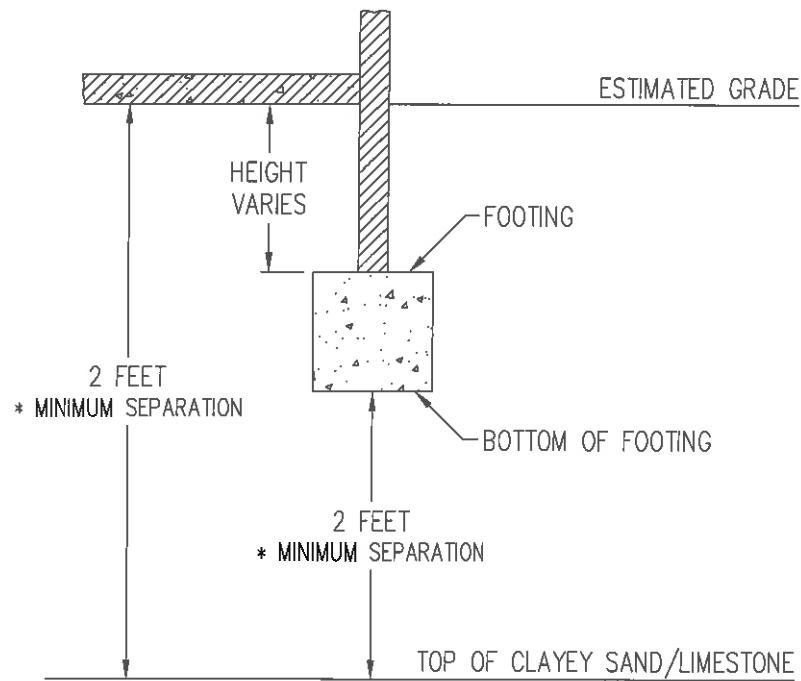
DATE: 5-19-16

FIGURE: 1

APPENDIX III
SEPARATION DETAIL



MONOLITHIC FOOTING DETAIL
NOT TO SCALE



STEM WALL FOOTING DETAIL
NOT TO SCALE

*MAY VARY DEPENDING UPON CONSTRUCTION TECHNIQUE

RECOMMENDED SEPARATION

GEO-TECH, INC.

■ GEOTECHNICAL ■ ENVIRONMENTAL
■ CONSTRUCTION MATERIALS TESTING ■ GEOGRAPHIC INFORMATION
1014 SE 3rd AVENUE, GAINES, FLORIDA 32604 • (904) 894-7771

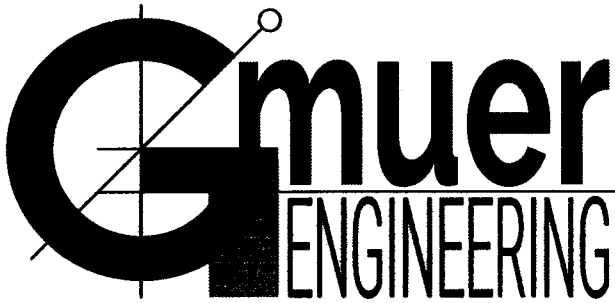
Figure

2



Per 6.8.2(A)(2)(b) The proposed building meets the massing requirements by utilizing Offset alternatives. It meets subsection (ii)a by having a color change utilizing brick on the lower portion of the building.

Per 3.7.2(C)(5)(vi) the building provides Accent materials with the brick, articulated cornice lines above the windows, use of brick in at least 30% of the facade, change in building materials with brick and stucco, and a prominent entrance.



2603 NW 13th St, Box 314
Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

Re: Farm Bureau

Fire Flow Requirements for Buildings per NFPA 1 Section 18.4

Calculated: December 21, 2016

The project proposes a 6,250 SF GFA office building.

Type of Construction: Type III (200)

Fire Flow Area: 6,250 SF

Minimum Fire Flow and Duration: 1,750 GPM for 2 Hours (per 18.4.5.2)

Qualifies for Approved Automatic Sprinkler System Reduction: Yes, 75% Reduction to 438 GPM

Final Minimum Fire Flow and Duration: 600 GPM for 2 Hours is the minimum allowed by 18.4.5.2.2 when quick response sprinklers are used throughout.

ISO Fire Flow Calculations are not applicable to sprinkled buildings

Needed Fire Flow per ISO Edition 05-2008

Calculated: December 21, 2016

The project proposes a 6,250 SF GFA office building.

$C_i = 18F(A_i)^{0.5}$

$F = 1.0$ (Class 2)

$A_i = 6,250$ SF

$C_i = 1,500$

$NFF = (C_i)(O_i)[(1.0 + (X+P)i)]$

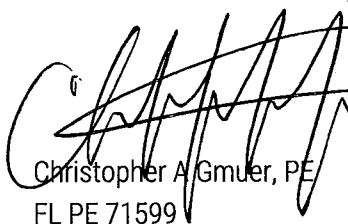
$C_i = 1,500$

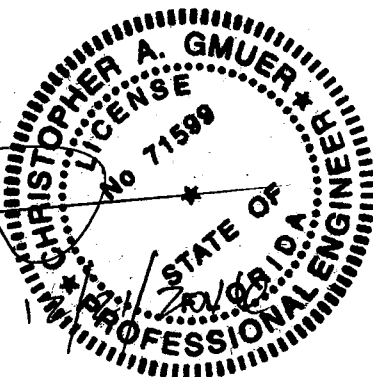
$O_i = 0.85$ (C-2)

$X = 0$ (greater than 100')

$P = 0$ (greater than 100')

$NFF_i = 1,275$ GPM


Christopher A. Gmuer, PE
FL PE 71599



Christopher Gmuer

From: Rodolfo Valladares <ro_valladares@cityofalachua.org>
Sent: Monday, November 28, 2016 3:27 PM
To: Christopher Gmuer
Subject: Re: Fire Flow Assessment - Farm Bureau Insurance at NW 167th Blvd
Attachments: image002.jpg; Seal.png

Mr. Gmuer,

While the purpose of identifying the assessed fire flow capacity is not intended to stifle Engineer's design innovation and ingenuity, Engineer shall provide a design in accordance with standards and codes that facilitates the fire flow capacity available within their design. Engineer is ultimately responsible for their design.

To properly evaluate the adequacy and reliability of a system, consideration is given to the sources of supply, the levels of waster in distribution storage, and the overall operating condition of the system. A Water Distribution Model of the City network has been completed; it is this model that provides an assessment for the available fire flow.

The submitted minimum fire flow requirement for Farm Bureau is 1,750 gpm for 2 hours. This exceeds the current City water distribution fire flow capacity within this area.

Revise and Resubmit for approval a design that is suitable for 688 gpm for a duration of 2 hours (i.e. maintains a minimum 20 psig throughout distribution network for the duration of 2 hours).

Regards,

Rodolfo Valladares, P.E.
Public Service Director
City of Alachua
386.418.6140



From: "Christopher Gmuer" <chrisg@gmuereng.com>
To: "Rodolfo Valladares" <ro_valladares@cityofalachua.org>
Sent: Wednesday, November 23, 2016 1:33:11 PM
Subject: RE: Fire Flow Assessment - Farm Bureau Insurance at NW 167th Blvd

It is not clear from your email at what pressure this fire flow is being supplied at and also we would appreciate a map of the location. Flows can vary significantly based on the testing location. Attached is our current fire demand calculations based on an un-sprinkled building. These were included in our City Submittal package. We would appreciate your review of these demand calculations and an official determination on whether the City can serve the proposed building based on this current design.

Sincerely,
Christopher A. Gmuer, PE
President, Gmuer Engineering
chrisg@gmuereng.com
(352) 281-4928

From: Rodolfo Valladares [mailto:ro_valladares@cityofalachua.org]
Sent: Wednesday, November 16, 2016 3:42 PM
To: Christopher Gmuer <chrisg@gmuereng.com>
Subject: Fire Flow Assessment - Farm Bureau Insurance at NW 167th Blvd

Mr. Gumuer,

Following up on our conversation earlier this morning, the City of Alachua is aware of the existing water distribution performance within the specific area of the project, *Farm Bureau Insurance at NW 167th Blvd*, and is passing along the following information to the designer.

As you are aware, the Fire Flow Assessment Report Request Form is typically accompanied with a \$476.75 fee. However, the City will wave this fee given that an assessment within the area has recently been completed. City is currently addressing the reimbursement.

Fire Flow Analyses indicate that the current minimum fire flow capacity within the project area is approximately 688 gpm for a duration of 2 hours.

I understand that the response to your request may result in dialogue with you regarding that project. Please advise if you have any questions or comments.

Regards,

Rodolfo Valladares, P.E.
Public Service Director
City of Alachua
386.418.6140

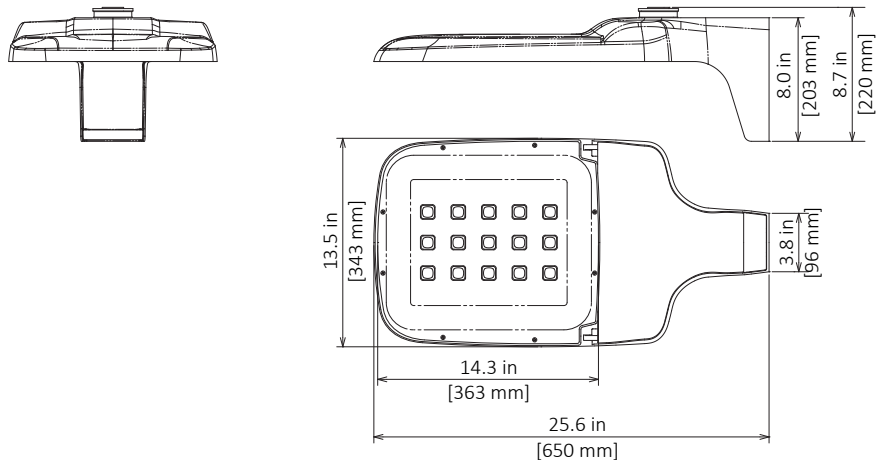


ARIETA™13 Architectural LED Area Luminaire

AR13 M2 Series Specification Data Sheet

Luminaire Data

Weight 15.4 lbs [7 kg]
EPA 0.47 ft²



Ordering Information

Sample Catalog No. AR13 6M2 MV NW 5 BK 700 MSL3

Product	LED No. & Type	Voltage	Nominal Color Temperature	Distribution	Finish ¹	Drive Current ²	Options
AR13	4M2 6M2 10M2 15M2 18M2 20M2	MV 120-277V HV 347-480V	WW 3000K NW 4000K CW 5000K	2 Type 2 3 Type 3 4 Type 4 5 Type 5	BK Black DB Dark Bronze WH White GY Gray NA Natural Aluminum	350 350mA 530 530mA 700 700mA	HSS ⁴ House Side Shield (Factory Installed) FDC ⁵ Fixed Drive Current PCR ³ NEMA Photocontrol Receptacle PCR5 ³ ANSI 5-wire Photocontrol Receptacle PCR7 ³ ANSI 7-wire Photocontrol Receptacle PCR5-CR ³ Control Ready 5-wire Photocontrol Receptacle PCR7-CR ³ Control Ready 7-wire Photocontrol Receptacle MSL7 ⁶ Motion Sensor with L7 Lens MSL3 ⁶ Motion Sensor with L3 Lens PND1 ⁹ Part-Night Dimming PND2 ⁹ Part-Night Dimming PND3 ⁹ Part-Night Dimming ORR Optics Rotated Right ORL Optics Rotated Left WL Utility Wattage Label

Notes:

- Black, Dark Bronze, White, Gray, or Natural Aluminum standard. Consult factory for other finishes.
- Factory set drive current, field adjustable standard. Consult factory if wattage limits require a special drive current.
- Specify with CR for control-ready wiring at factory for wireless node dimming. For details, see Wireless Control Options brochure link at www.leaotk.com, product page supporting documents.
- Flush mounted shield factory installed, also available for field installation. House Side Shield cuts light off at 1/2 mounting height behind luminaire.
- Non-field adjustable drive current. Specify 350mA, 530mA or 700mA setting.
- Motion Sensor available with MV only. See L7 or L3 Lens coverage details on page 5. Consult factory for MS specified with ANSI 5-wire or 7-wire Photocontrol Receptacle. PCR option is required for On/Off control using light detection.
- Specify Color (GY, DB, BK, WH, NA)
- Specify MV (120-277V) or HV (347V or 480V)
- For PND profile options see page 6. Only available with MV (120-277V).

Accessories*

HSS ^{4,7}	House Side Shield
RPA ⁷	Round Pole Adapter
PTF1 ⁷	Square Pole Top Fitter Single
PTF2 ⁷	Square Pole Top Fitter Twin at 180°
PTF4 ⁷	Square Pole Top Fitter Quad
WM ⁷	Wall Mount
BSK	Bird Deterrent Spider Kit
PC ⁸	Twist Lock Photocontrol
LLPC ⁸	Long-Life Twist Lock Photocontrol
SC	Twist Lock Shorting Cap
FSIR100	Motion Sensor Configuration Tool

*Accessories are ordered separately and not to be included in the catalog number

Luminaire Specifications

Housing

Die cast aluminum housing with universal mounting design allows for attachment to existing pole without redrilling for retrofit applications. Aluminum housing provides passive heat-sinking of the LEDs and has upper surfaces that shed precipitation. Mounting provisions meet 3G vibration per ANSI C136.31-2001 Normal Application, Bridge & Overpass. Electrical components are accessed without tools and are mounted on removable power door.

Light Emitting Diodes

Hi-flux/Hi-power white LEDs produce a minimum of 90% of initial intensity at 100,000 hours of life based on IES TM-21. LEDs are tested in accordance with IES LM-80 testing procedures. LEDs have correlated color temperature of 3000K (WW), 4000K (NW), or 5000K (CW) and 70 CRI minimum. LEDs are 100% mercury and lead free.

Optical Systems

Micro-lens optical systems produce IESNA Type 2, Type 3, Type 4 or Type 5 distributions and are fully sealed to maintain an IP66 rating. Luminaire produces 0% total lumens above 90° (BUG Rating, U=0). Optional house side shield (HSS) cuts light off at 1/2 mounting height behind luminaire. Optics may be rotated right or left with options ORR/ORL, respectively.

Electrical

Rated life of electrical components is 100,000 hours. Uses isolated power supply that is 1-10V dimmable. Power supply is wired with quick-disconnect terminals. LED drive current can be changed in the field to adjust light output for local conditions (not available with PCR5-CR or PCR7-CR options). Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Terminal block accommodates 6 to 14 gauge wire. Surge protection complies with IEEE/ANSI C62.41 Category C High, 20kV/10kA.

Controls

3-Wire photocontrol receptacle (PCR) is available. ANSI C136.41 5-wire (PCR5) or 7-wire (PCR7) photocontrol receptacles are available. All photocontrol receptacles have tool-less rotatable bases. Wireless control module is provided by others.

Finish

Housing receives a fade and abrasion resistant polyester powder coat finish. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish tested 500 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

Listings/Ratings/Labels

Luminaires are UL listed for use in wet locations in the United States and Canada. DesignLights Consortium™ qualified 120-277V product. International Dark Sky Association listed. Luminaire is qualified to operate at ambient temperatures of -40°C to 40°C. Assembled in the U.S.A

Photometry

Luminaires photometrics are tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

Warranty

10-year limited warranty is standard on luminaire and components. 5-year limited warranty on luminaires and components with a motion sensor.

Performance Data 3000K (WW)

All data nominal. IES files are available at leotek.com.

No. of LEDs & Type	Drive Current (mA)	System Wattage (W)	Type 2, 3, 4		Type 5	
			Delivered Lumens (Lm) ¹	Efficacy (Lm/W)	Delivered Lumens (Lm) ¹	Efficacy (Lm/W)
4M2	350	19	2000	103	1930	100
	530	28	2720	97	2630	94
	700	36	3410	94	3300	91
6M2	350	29	2930	101	2750	95
	530	41	4110	99	3860	93
	700	53	5040	95	4950	93
10M2	350	41	4600	112	4500	109
	530	63	6700	106	6600	104
	700	88	8500	97	8400	96
15M2	350	66	7400	112	7300	111
	530	90	9600	107	9500	106
	700	124	12900	104	12700	102
18M2	350	81	9000	111	9100	112
	530	122	12800	105	13000	107
	700	160	16400	103	16700	104
20M2	350	86	10700	124	10800	125
	530	132	15300	116	15500	117
	700	166	18200	110	18500	111

Notes:

1 Normal tolerance $\pm 10\%$ due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.

Performance Data 4000K (NW) & 5000K (CW)

All data nominal. IES files are available at leotek.com.

No. of LEDs & Type	Drive Current (mA)	System Wattage (W)	Type 2, 3, 4		Type 5	
			Delivered Lumens (Lm) ¹	Efficacy (Lm/W)	Delivered Lumens (Lm) ¹	Efficacy (Lm/W)
4M2	350	20	2330	116	2290	114
	530	28	3170	113	3110	111
	700	36	3990	111	3920	109
6M2	350	29	3490	120	3480	120
	530	41	4810	116	4850	117
	700	53	5980	113	5880	112
10M2	350	41	5400	132	5300	129
	530	63	7800	124	7700	122
	700	87	10000	115	9800	113
15M2	350	63	8400	133	8300	132
	530	90	11500	128	11300	126
	700	124	15000	121	14700	119
18M2	350	81	9600	119	9700	120
	530	122	13700	112	13900	114
	700	160	17500	109	17800	111
20M2	350	86	10600	123	10800	125
	530	132	15200	115	15500	117
	700	166	19500	117	19800	119

Notes:

1 Normal tolerance $\pm 10\%$ due to factors including distribution type, LED bin variance, driver variance, and ambient temperatures.

BUG Ratings: 3000K (WW)

All data nominal. IES files for all CCTs are available at leotek.com.

No. of LEDs & Type	Drive Current (mA)	Type 2	Type 3	Type 4	Type 5
4M2	350	B1 U0 G1	B1 U0 G1	B1 U0 G0	B1 U0 G0
	530	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G0
	700	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G1
6M2	350	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G0
	530	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G1
	700	B1 U0 G1	B1 U0 G1	B1 U0 G1	B3 U0 G1
10M2	350	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G1
	530	B1 U0 G1	B1 U0 G1	B2 U0 G1	B3 U0 G1
	700	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G1
15M2	350	B1 U0 G1	B1 U0 G2	B2 U0 G2	B3 U0 G1
	530	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G2
	700	B2 U0 G2	B2 U0 G2	B3 U0 G2	B4 U0 G2
18M2	350	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G2
	530	B2 U0 G2	B2 U0 G2	B3 U0 G2	B4 U0 G2
	700	B2 U0 G2	B2 U0 G2	B3 U0 G2	B4 U0 G2
20M2	350	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G2
	530	B3 U0 G3	B2 U0 G2	B3 U0 G2	B4 U0 G2
	700	B3 U0 G3	B3 U0 G3	B3 U0 G2	B4 U0 G2

BUG Ratings: 4000K (NW) & 5000K (CW)

All data nominal. IES files for all CCTs are available at leotek.com.

No. of LEDs & Type	Drive Current (mA)	Type 2	Type 3	Type 4	Type 5
4M2	350	B1 U0 G1	B1 U0 G1	B1 U0 G0	B1 U0 G0
	530	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G0
	700	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G1
6M2	350	B1 U0 G1	B1 U0 G1	B1 U0 G1	B2 U0 G1
	530	B1 U0 G1	B1 U0 G1	B1 U0 G1	B3 U0 G1
	700	B1 U0 G1	B1 U0 G1	B1 U0 G1	B3 U0 G1
10M2	350	B1 U0 G1	B1 U0 G1	B1 U0 G1	B3 U0 G1
	530	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G1
	700	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G2
15M2	350	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G1
	530	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G2
	700	B2 U0 G2*	B2 U0 G2	B3 U0 G2	B4 U0 G2
18M2	350	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G2
	530	B2 U0 G2	B2 U0 G2	B3 U0 G2	B4 U0 G2
	700	B3 U0 G3	B3 U0 G2*	B3 U0 G2	B4 U0 G2
20M2	350	B2 U0 G2	B2 U0 G2	B2 U0 G2	B3 U0 G2
	530	B2 U0 G2*	B2 U0 G2	B3 U0 G2	B4 U0 G2
	700	B3 U0 G3	B3 U0 G3	B3 U0 G3	B4 U0 G2

* These BUG ratings are slightly different for 5000K (CW). Refer to IES files for actual CW rating.

Motion Sensor (Optional) Specifications

Description

Digital passive infrared luminaire integrated outdoor occupancy sensor provides high/low/off control based on motion detection. Initial setup and subsequent sensor adjustments are made using a handheld configuration tool. PCR option is required for On/Off control using light detection.

Operation

Standard factory setting will dim the luminaire to 50% until motion is sensed and then it will power to 100%. When motion is not detected for five minutes, the luminaire will dim back to 50%. Ramp up and fade down times are adjustable, but initially set to NONE. The percent dimming and time durations may be field adjusted as required using FSIR-100 configuration tool. FSIR-100 user guide available at: www.wattstopper.com.

Optical System

Multi-cell, multi-tier Fresnel lens with a 360 degree view detects unobstructed motion within one mounting height, up to 20 ft. maximum (MSL3) or 40 ft. maximum (MSL7). Consult factory for higher mounting height requirements.

Finish

Sensor exterior ring and lens are white polycarbonate, UV and impact resistant.

Listings/Ratings

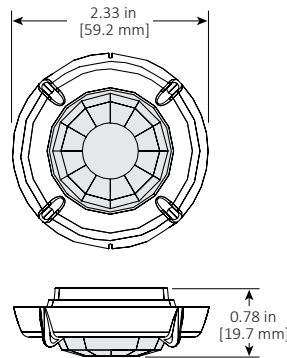
Sensor is TUV, UL and cUL listed, IP66 rated and CE compliant.

Warranty

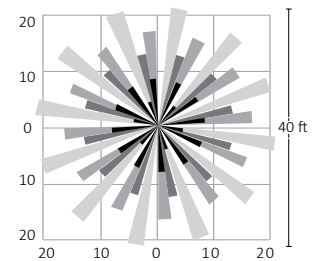
5-year limited warranty on luminaires and components with a motion sensor.

Motion Sensor (Optional) Data

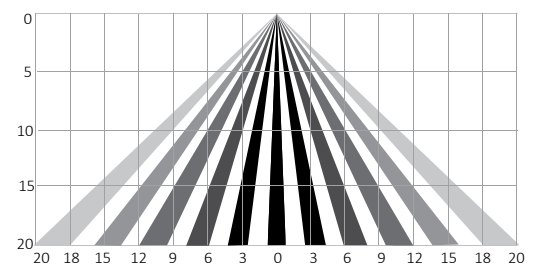
MSL3 Lens Dimensions



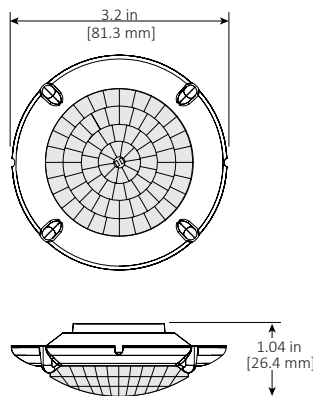
MSL3 Lens Coverage Top View



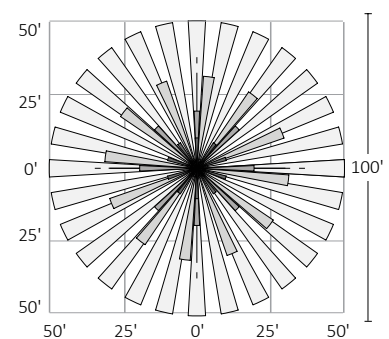
MSL3 Lens Coverage Side View



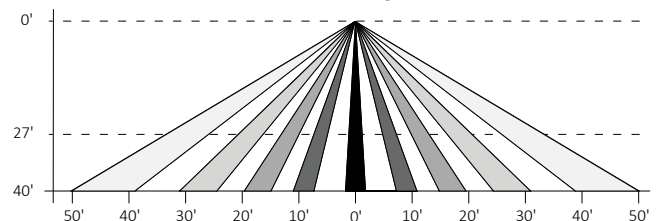
MSL7 Lens Dimensions



MSL7 Lens Coverage Top View



MSL7 Lens Coverage Side View



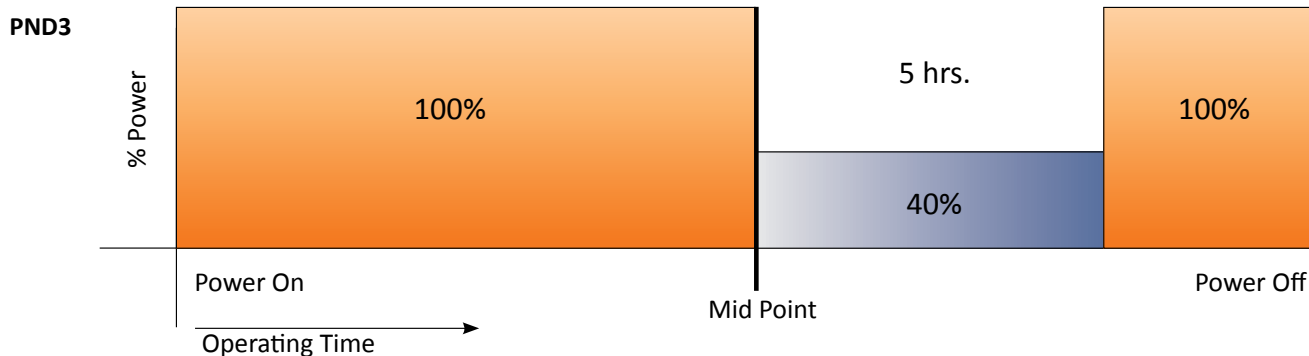
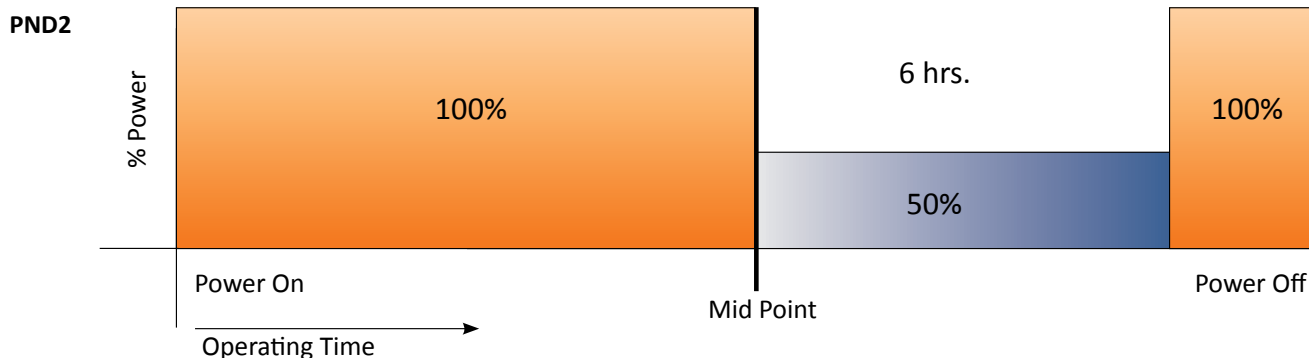
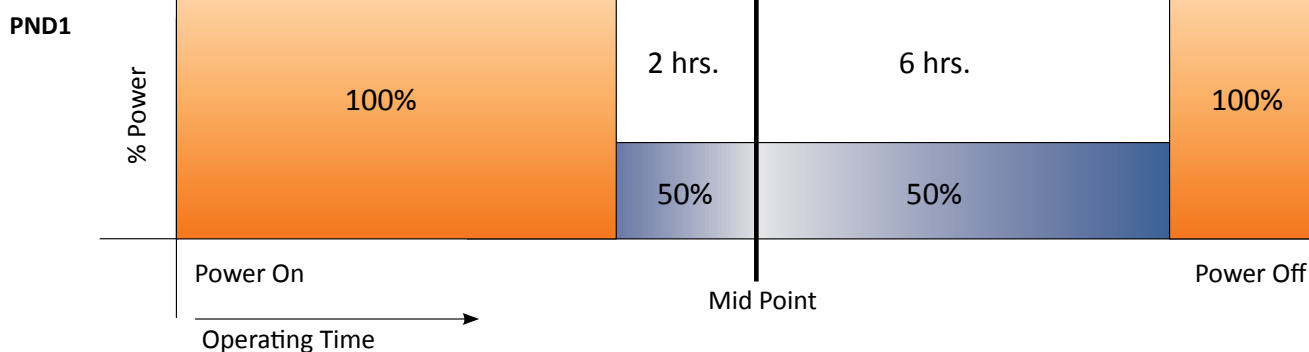
Part-Night Dimming Specifications

Description

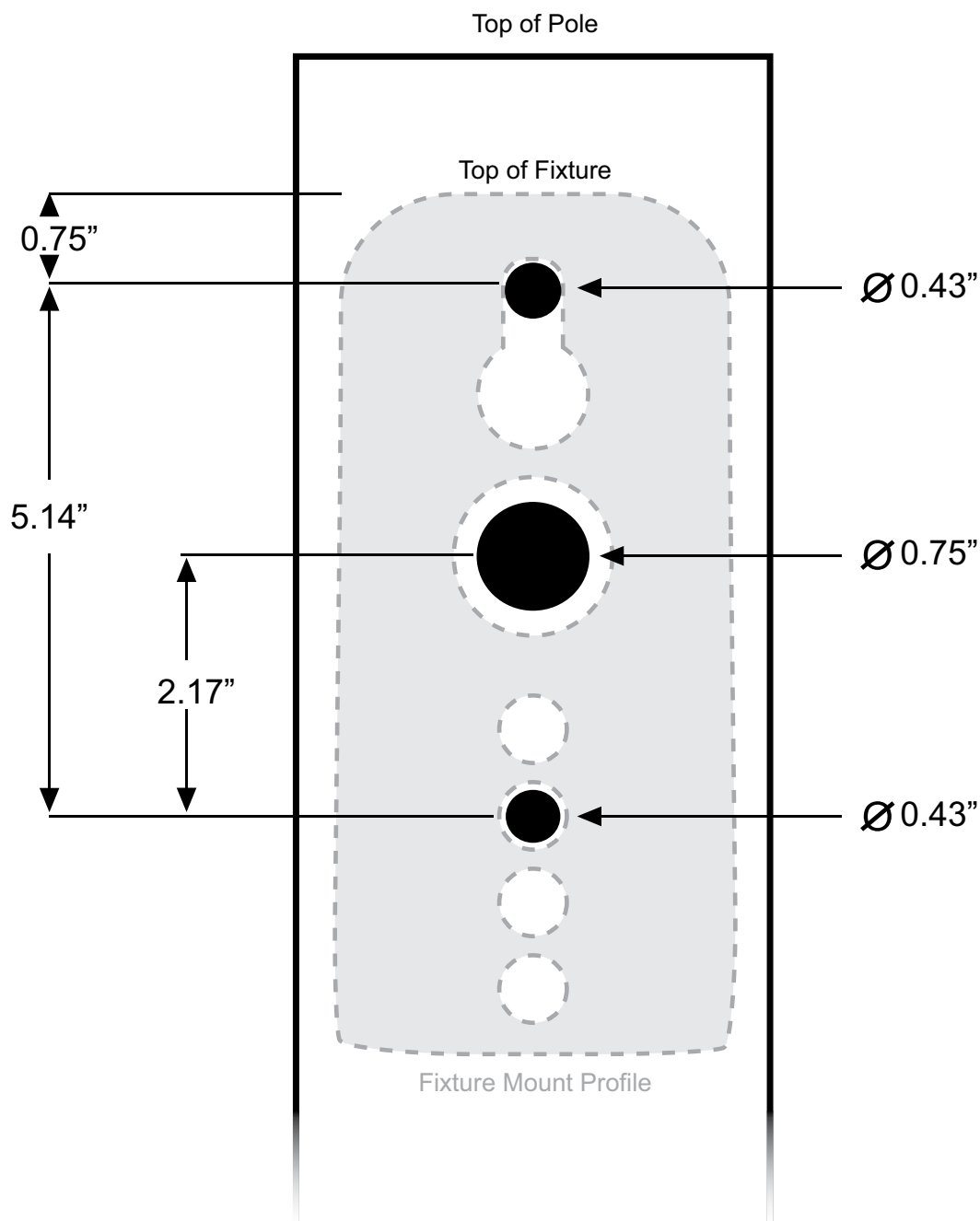
Arieta's Part-Night Dimming (PND) option enables significant energy savings by automatically dimming the luminaire during early morning hours when infrequent use is expected. Factory programmed dimming profiles automatically take into account seasonal changes based on geographical location by continuously monitoring the nighttime midpoint. This option is fully compatible with photocells and time clock devices, but is not field adjustable.

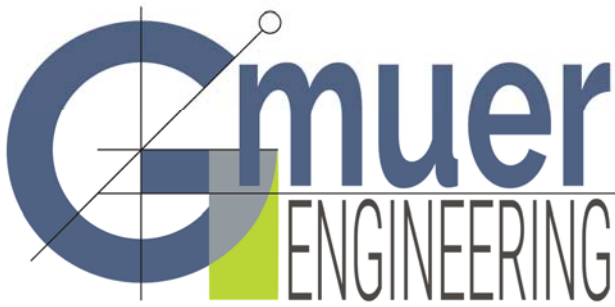
Operation

Based on the PND profile that is selected, the luminaire dims to the corresponding % power for the corresponding length of time (based on the night-time mid-point) as shown below. Mid-point is continuously recalculated in the luminaire by monitoring the average length of time between when the light turns on (power on) and turns off (power off) over the previous two days. In effect, this functionality will take two days to initialize after installation before any dimming will occur. Power interruptions are ignored and do not affect the determination of mid-point. Three factory programmed PND profiles are available for selection:



Pole Mount Drilling Specifications





2603 NW 13th St, Box 314
Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

February 28, 2017

Adam Hall, Planner
City of Alachua Planning & Zoning
15100 NW 142nd Terr
Alachua, FL 32615

Re: Farm Bureau Insurance at NW 167th Blvd

This package is submitted in response to a Development Review Team Summary dated February 21, 2017 for the above referenced project. Please see the list below of items included with this application along with responses to each comment included with the letter.

Attachments (13 copies of all materials, double sided and hole punched, with a CD):

Site Plan

- Site Plan Application
- Authorized Agent Affidavit
- Color Rendering of the Building with Façade Massing Note per 6.8.2(A)(2)(b)
- Fire Demand Calculations and Email from City
- Concurrency Impact Analysis
- Consistency with the City of Alachua Comprehensive Plan
- Consistency with the Residential Protection Standards
- Neighborhood Meeting Materials (Published Notice, Written Notice, Meeting Summary)
- One Set of Labels for all persons/organizations registered to receive notice of development applications
- One Set of Labels for Property Owners within 400ft
- Legal Description and TP# on Letter
- Proof of Payment of Taxes
- Proof of Ownership (Deed)
- Stormwater Management Report
- Geotechnical Reports
- Site Lighting Cut Sheets
- Site Plans – 24x36
- CD of All Materials

Previous DRT Comments and Responses:

B. Land Rights Issues

2. If wastewater line is relocated to eastern property boundary, a 30 foot public utility easement along his boundary will be required.

The proposed easement has been added to C-200.

D. Development Standards

1. Section 3.7.2 (C) – US Highway 441/ Interstate 75 Gateway Overlay District

d. To demonstrate compliance with 3.7.2 (C) (5) (vi), please identify, on the architectural elevations, the accent materials referenced in application materials. Articulated cornice lines must be along entire top of building in order to be considered for a contributing architectural element. Please provide breakdown of cladding materials with per-cent totals on architectural elevation plans showing façade is at least 30% brick in order to claim for a contributing architectural element.

See sheet A2.0 for a narrative of the compliance with the LDC Requirements. Articulated cornice lines have been added to the top of the building.

6. Section 6.8- Design Standards for Business Uses

d. Location and screening method (with detail or narrative) for mechanical equipment must be shown on site plan.

See sheet C-100 for the callout of the mechanical equipment and a general narrative of how the equipment is being screened.

New Comments and Responses:

1. Sheet C-000 Legal Description does not match legal description shown on attached Survey.

See the revised legal description on C-000.

2. The eastern boundary of the proposed paved parking area is required to have a shrub buffer or other acceptable buffer per Section 6.2.2 (D) (2) (b).

See sheet L01 for the additional screening.

3. Current Site Plan Sheet does not reflect any changes from previous submission.

The inclusion of this sheet was in error and has been removed from the final sets. Please reference sheet C-100.

4. Floor to Area ratio and impervious/ lot coverage ratios must be recalculated based on new lot size.

The FAR has been recalculated on C-000 and C-100.

5. Apply new property boundary to all sheets.

The boundary lines have been updated on all sheets.

6. Generally, some sheets have issues with overlapping labels and lines with similar style and weight in close proximity to each other.

Labels have been revised on several of the sheets.

7. Site Plan application sheet should be updated to reflect new property line.

The inclusion of this sheet was in error and has been removed from the final sets. Please reference sheet C-100.

8. An easement will be required along the property's western boundary (along NW 167th Boulevard), if this easement is not granted by the current property owner before transfer of property. The sketch and legal description of this easement has been attached to this letter.

This easement has been added to the plans.

9. Please see electric connection design comments from Public Services attached to this letter.

The electric design has been added to the plans.

Please let us know if you need any additional information for your review.

Sincerely,

Gmuer Engineering, LLC

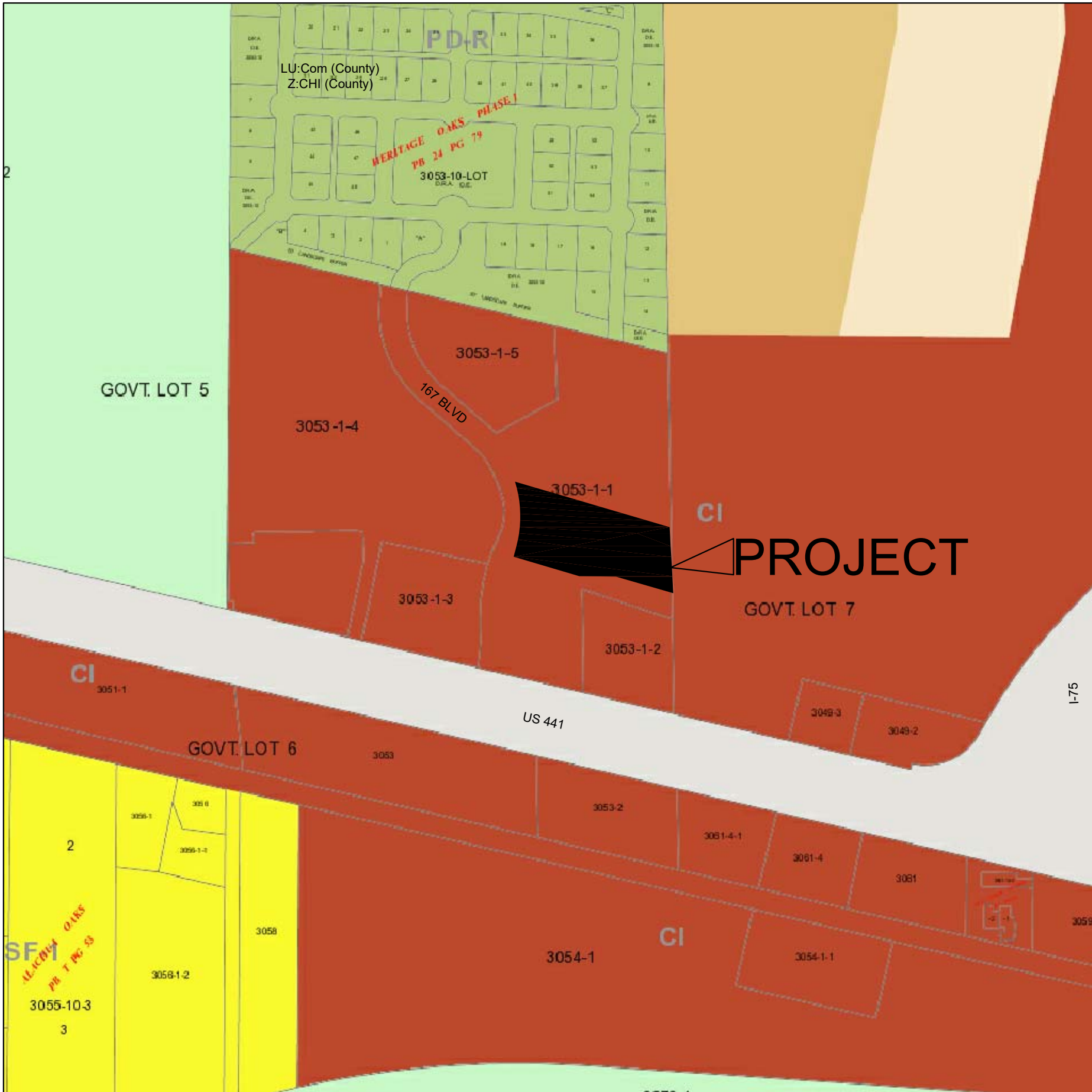
A handwritten signature in blue ink, appearing to read 'Christopher A Gmuer', with a stylized flourish extending to the right.

Christopher A Gmuer, PE

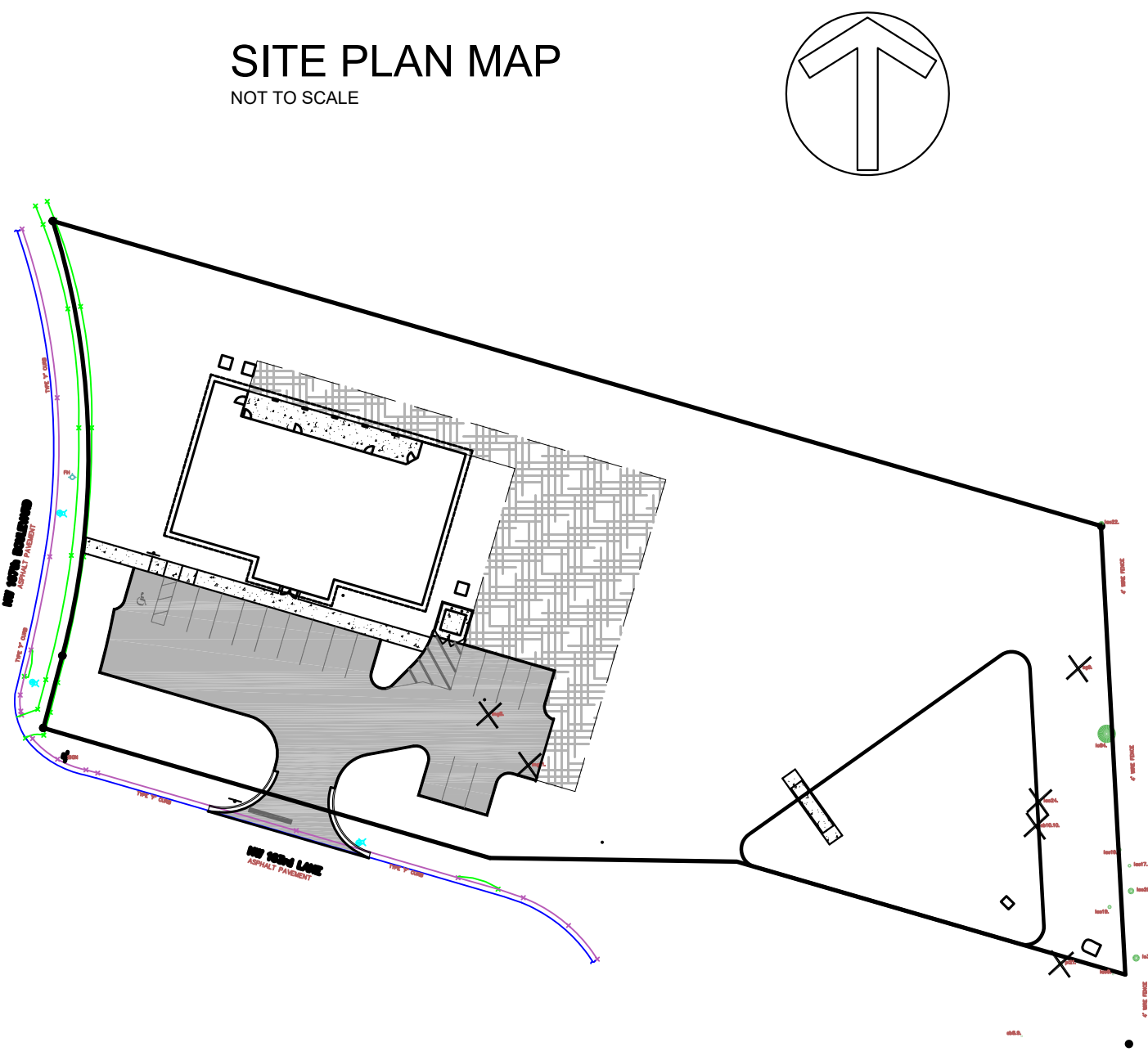
President

FARM BUREAU INSURANCE

at NW 167 BLVD



LOCATION MAP
NOT TO SCALE



SITE PLAN MAP
NOT TO SCALE

PROJECT INFORMATION

PROJECT NAME: FARM BUREAU INSURANCE at NW 167 BLVD
LOCATION: APPROXIMATELY 16151 NW US Hwy 441 ALACHUA, FL
PROPERTY OWNER: HIPP INVESTMENTS LLC C/O UNION PROPERTIES 4421 NW 39TH AVE BLDG 2 STE 1 GAINESVILLE, FL 32606
CIVIL ENGINEER: CHRISTOPHER A. GMUER, PE GMUER ENGINEERING, LLC (352) 281-4928 - chrisg@gmuereg.com 2603 NW 13TH ST BOX 314 GAINESVILLE, FL 32609
LANDSCAPE ARCH: STEVEN PATRICK LOUGHEE / IRRIGATION DESIGN (352) 316-4773 - sloughes@cox.net 8013 SW 102ND AVE GAINESVILLE, FL 32608
PHOTOMETRIC: JERRY DONALDSON (352) 332-5112 - lightwave2@bellsouth.net 13323 MILLHOPPER RD GAINESVILLE, FL 32653
ARCHITECT: EUGENE RUSSELL DAVIS ARCHITECT, INC. (352) 372-6477 - davisarc@bellsouth.net 3615 NW 13TH ST GAINESVILLE, FL 32609
ZONING: CI - COMMERCIAL INTENSIVE DISTRICT

LEGAL DESCRIPTION: A PARCEL OF LAND BEING SITUATED IN SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 1576.08 FEET; THENCE RUN N88°33'13"E, 1300.20 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 503, PAGE 107, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 1347.44 FEET TO A FOUND 4"x4" CONCRETE MONUMENT (LB 23891); SAID CONCRETE MONUMENT BEING THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4076, PAGE 2345, OF SAID PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE CONTINUE S01°49'00"E, ALONG SAID WEST LINE, A DISTANCE OF 1000.00 FEET, TO A FOUND 5/8" IRON ROD (NO IDENTIFICATION), SAID IRON ROD BEING A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF N.W. US. HIGHWAY NO. 441 (STATE ROAD NO. 20 & 25) (200 FOOT RIGHT-OF-WAY); THENCE RUN S79°08'59"E, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1279.84 FEET TO A FOUND 5/8" REBAR & CAP (LB 23891); SAID REBAR AND CAP ALSO BEING THE SOUTHEAST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 2392, PAGE 752; THENCE RUN N03°06'22"W, ALONG THE EAST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 260.92 FEET TO A FOUND 5/8" REBAR & CAP (LB 23891); SAID REBAR AND CAP ALSO BEING THE NORTHEAST CORNER OF SAID CERTAIN TRACT OF LAND; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.15 FEET TO A SET 1/2" REBAR & CAP (LB 7996); THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.49 FEET TO A SET 1/2" REBAR & CAP (LB 7996); SAID REBAR AND CAP ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 171.68 FEET TO A SET 1/2" REBAR & CAP (LB 7996); THENCE RUN N73°46'22"W, A DISTANCE OF 416.86 FEET TO A SET NAIL & DISK (LB 7996); SAID NAIL & DISK LYING AND BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF AN INGRESS-EGRESS ROAD IMPROVEMENTS AND PUBLIC UTILITIES EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 4400, PAGE 2104 AND ON A NON-TANGENT CURVE, CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 301.00 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID RIGHT-OF-WAY LINE AND CURVE, THROUGH A CENTRAL ANGLE OF 32°14'49", AND AN ARC DISTANCE OF 168.27 FEET TO A SET NAIL & DISK (LB 7996); SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF S01°16'59"E, 168.09 FEET, RESPECTIVELY TO THE END OF SAID CURVE; THENCE RUN S14°44'53"W, A DISTANCE OF 28.60 FEET, ALONG SAID RIGHT-OF-WAY LINE TO A SET NAIL & DISK (LB 7996); THENCE RUN S73°46'22"E, A DISTANCE OF 177.62 FEET TO A SET 1/2" REBAR & CAP (LB 7996); THENCE SOUTH 89°08'38" EAST, A DISTANCE OF 84.31 FEET TO A SET 1/2" REBAR & CAP (LB 7996); THENCE SOUTH 73°46'22" EAST, A DISTANCE OF 154.47 FEET TO THE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINING 1.659 ACRES, MORE OR LESS.

PROPOSED USE: OFFICE SERVICES, PARKING, STORMWATER MANAGEMENT FACILITY
AREA OF SITE: 1.776 ACRES
MIN LOT AREA: NONE
MIN LOT WIDTH: NONE
FRONT SETBACK: 20'
SIDE SETBACK: NONE
REAR SETBACK: 15'
MAX HEIGHT: 65'
MAX LOT OVERAGE: NONE
MAX FAR: 0.75 FOR PARCELS BETWEEN 1 AND 5 ACRES
PROPOSED LOT AREA: 1.659 ACRES
PROPOSED FAR: 0.077
LANDSCAPE BUFFER: 7.5' PERIMETER BUFFER
PARKING BUFFER: MIN 5', AVERAGE 7'
TREE ISLANDS: ONE PER 10 SPACES
MIN PARKING: 5,560 SF * 1 SPACE / 330 SF = 17 SPACES
MAX PARKING: 17 SPACES * 1.25 = 21 SPACES
BIKE PARKING: NOT REQUIRED FOR PARKING UNDER 50 SPACES
LOADING SPACE: NOT REQUIRED FOR OFFICE SERVICE USES
HANDICAP SPACE: 1 H/C SPACE FOR LESS THAN 25 SPACES
DRIVE ISLES WIDTH: 24'
SPACE WIDTH: 18'

SHEET INDEX

- C-000 COVER & SHEET INDEX
- C-010 NOTES & LEGEND
- C-100 DEMO, SITE & HORIZONTAL CONTROL PLAN
- C-200 PAVING, GRADING, DRAINAGE, & UTILITY PLAN
- P-1 PHOTOMETRIC PLAN
- I01-I02 IRRIGATION PLAN
- L01-L02 LANDSCAPE PLAN
- 1 OF 1 BOUNDARY SURVEY (DEREN)
- 1 OF 1 TREE SURVEY (EDA)
- A1.0 BUILDING FLOOR PLAN
- A2.0 & A2.1 BUILDING ELEVATIONS
- DSTR DUMPSTER ENCLOSURE ELEVATIONS

PRICING:		NOT CONTRACT DOCUMENTS
FOR REVIEW ONLY		
PERMITTING / DESIGN REVISIONS:	ENGINEER OF RECORD: CHRISTOPHER A. GMUER FL PE # 71599 2017-02-28	
CLIENT:	CHESHIRE CONSTRUCTION & DEVELOPMENT, INC.	TBD
DESIGN:	C.A. GMUER, PE	TBD
QUALITY CONTROL:	C.A. GMUER, PE	16-0044
ALACHUA APP #		
SRWMD APP #		
GEIP PROJECT #		
FARM BUREAU INSURANCE at NW 167 BLVD		
COVER AND SHEET INDEX		
C-000		

USER: Christopher Gmuier | FILE: 16-0044-C-010 NOTES.DWG | LAST SAVED: 2016-12-21 04:21:48 PM | PLOT SCALE: 1"=1' | PAGE SIZE: 11x17 | PLOTTED: 2017-02-28 04:03:56 PM

STORMWATER MINIMUM OPERATION AND MAINTENANCE STANDARDS

- THE OPERATION AND MAINTENANCE ENTITY IS THE PROPERTY OWNER UNLESS OTHERWISE SPECIFIED.
- A. IN ACCORDANCE WITH SECTION 373.418(2), F.S., UNLESS REVOKED OR ABANDONED, ALL STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, RESERVOIRS, APPURTENANT WORKS, OR WORKS PERMITTED UNDER PART IV OF CHAPTER 373, F.S., MUST BE OPERATED AND MAINTAINED IN PERPETUITY. THE OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE DESIGNS, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT ARE SUBMITTED WITH AN APPLICATION, APPROVED BY THE AGENCY, AND INCORPORATED AS A CONDITION INTO ANY PERMIT ISSUED.
- B. UPON COMPLETION OF THE PERMITTED STORMWATER MANAGEMENT SYSTEMS, DAMS, RESERVOIRS, IMPOUNDMENTS, APPURTENANT WORK, OR WORKS, THE AGENCY SHALL HAVE PERIODIC INSPECTIONS MADE TO ENSURE THE PROJECT WAS OPERATED AND IS BEING OPERATED IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT, AND IN A MANNER THAT PROTECTS THE PUBLIC HEALTH AND SAFETY AND THE NATURAL RESOURCES OF THE STATE. NO PERSON SHALL REFUSE IMMEDIATE ENTRY OR ACCESS TO ANY AUTHORIZED REPRESENTATIVE OF THE DISTRICT OR DEP WHO REQUESTS ENTRY FOR PURPOSES OF SUCH INSPECTION AND PRESENTS APPROPRIATE CREDENTIALS.
- C. INSPECTIONS MAY BE PERFORMED BY AGENCY STAFF DURING AND AFTER CONSTRUCTION, WHEN NEEDED TO ENSURE A PROJECT IS BEING OPERATED AND MAINTAINED IN PERPETUITY. THE PERMIT MAY REQUIRE THE OPERATION AND MAINTENANCE ENTITY TO CONDUCT THE PERIODIC INSPECTIONS. THE REQUIRED INSPECTION SCHEDULE FOR A SPECIFIC PROJECT WILL BE SPECIFIED IN THE PERMIT.
- D. SOME PROJECTS THAT DO NOT CONSIST OF OR INCLUDE A STORMWATER MANAGEMENT SYSTEM, DAM, IMPOUNDMENT, RESERVOIR, OR APPURTENANT WORK, WHETHER DESIGNED BY A REGISTERED PROFESSIONAL OR NOT, ALSO MAY BE REQUIRED IN THE PERMIT TO BE REGULARLY INSPECTED AND MONITORED TO ENSURE CONTINUED COMPLIANCE WITH PERMIT CONDITIONS AND THE FUNCTIONING OF THE PROJECT. THIS MAY INCLUDE INDIVIDUAL PERMITS ISSUED FOR ACTIVITIES AT A PRIVATE RESIDENTIAL SINGLE-FAMILY RESIDENCE. FOR EXAMPLE, A RESIDENTIAL FILL PAD MAY HAVE BEEN PERMITTED WITH SPECIFIC REQUIREMENTS FOR SLOPE DRAINAGE OR RUNOFF. A DOCK LOCATED IN WATERS WITH SENSITIVE RESOURCES MAY HAVE BEEN PERMITTED WITH CONDITIONS PROHIBITING MOORING IN CERTAIN LOCATIONS, LIMITING THE NUMBER OR SIZE OF BOATS TO BE MOORED AT THE DOCK, OR WITH REQUIREMENTS FOR HANDRAILING OR OTHER ASSOCIATED STRUCTURES. THE PERMIT WILL SPECIFY THE PERIODIC INSPECTIONS THAT WILL BE REQUIRED, AND HOW THE RESULTS OF THE INSPECTIONS ARE TO BE EITHER RETAINED BY THE PERMITTEE OR REPORTED TO THE AGENCY. EXAMPLES WHERE MONITORING AND REPORTING BY SUCH PERSONS MAY BE REQUIRED FOR SUCH ACTIVITIES ARE:

- THE FOLLOWING ARE EXAMPLES OF ACTIVITIES AS DISCUSSED ABOVE THAT ARE SUBJECT TO AN INITIAL INSPECTION PRIOR TO CONVERSION TO THE OPERATION PHASE, AND THEN SUBJECT TO ROUTINE INSPECTIONS DURING THE OPERATION AND MAINTENANCE PHASE. THE INSPECTION FREQUENCY DURING THE OPERATION AND MAINTENANCE PHASE WILL BE DETERMINED IN THE PERMIT.
1. SINGLE-FAMILY DOCK (TO VERIFY THAT: HANDRAILS ARE CONSTRUCTED AND ARE MAINTAINED TO PREVENT MOORING OF VESSELS IN SHALLOW WATERS);
2. MULTI-SLIP DOCKING MAINTENANCE OF MANATEE PROTECTION SIGNS, SEWAGE PUMP-OUT FACILITIES, OR OVER-WATER FUELING OPERATION);
3. SINGLE-FAMILY LOT FILL (TO VERIFY LAWN GRADING AND SLOPING IS MAINTAINED TO REDUCE DISCHARGES OF NUTRIENTS FROM LAWN RUNOFF ENTERING SENSITIVE WATERS);
4. SEAWALLS OR RIP RAP (TO VERIFY INTEGRITY OF SCOUR OR SHORELINE PLANTINGS);
5. LANDS WITHIN A CONSERVATION EASEMENTS (FOR ENCROACHMENTS, ALTERATIONS, OR EXOTIC/NUISANCE VEGETATION REMOVAL) IN ACCORDANCE WITH A PERMIT UNDER THIS CHAPTER;
6. MITIGATION SITES (TO DETERMINE COMPLIANCE WITH SUCCESS CRITERIA, INCLUDING THE STATUS OF EXOTIC SPECIES REMOVALS), AND OTHER DREDGING OR FILLING (FOR EXAMPLE, DREDGED MATERIAL SITES AND DAMS TO ENSURE FUNCTIONING AND STABILITY OF DIKES AND CONTROL STRUCTURES).
- E. THE EFFICIENCY OF STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, AND MOST OTHER PROJECTS NORMALLY DECREASES OVER TIME WITHOUT PERIODIC MAINTENANCE. FOR EXAMPLE, A SIGNIFICANT REDUCTION IN THE FLOW CAPACITY OF A STORMWATER MANAGEMENT SYSTEM OFTEN CAN BE ATTRIBUTED TO PARTIAL BLOCKAGES OF ITS CONVEYANCE SYSTEM. ONCE FLOW CAPACITY IS COMPROMISED, FLOODING MAY RESULT. THEREFORE, OPERATION AND MAINTENANCE ENTITIES MUST PERFORM PERIODIC INSPECTIONS TO IDENTIFY IF THERE ARE ANY DEFICIENCIES IN STRUCTURAL INTEGRITY, DEGRADATION DUE TO INSUFFICIENT MAINTENANCE, OR IMPROPER OPERATION OF PROJECTS THAT MAY ENDANGER PUBLIC HEALTH, SAFETY, OR WELFARE, OR THE WATER RESOURCES. IF DEFICIENCIES ARE FOUND, THE OPERATION AND MAINTENANCE ENTITY WILL BE RESPONSIBLE FOR CORRECTING THE DEFICIENCIES SO THAT THE PROJECT IS RETURNED TO THE OPERATIONAL FUNCTIONS REQUIRED IN THE PERMIT AND CONTEMPLATED BY THE DESIGN OF THE PROJECT AS PERMITTED. THE CORRECTIONS MUST BE DONE A TIMELY MANNER TO PREVENT COMPROMISES TO FLOOD PROTECTION AND WATER QUALITY.
- F. INSPECTION AND REPORTING FREQUENCIES WILL BE INCLUDED AS PERMIT CONDITIONS BASED ON SITE SPECIFIC OPERATIONAL AND MAINTENANCE REQUIREMENTS, CONSIDERING THINGS AS:
1. THE TYPE, NATURE, AND DESIGN OF THE DESIGN AND PERFORMANCE STANDARDS PROPOSED, INCLUDING ANY ALTERNATIVE DESIGNS SUCH AS PERVIOUS PAVEMENT, GREEN ROOFS, CISTERNS, MANAGED AQUATIC PLANT SYSTEMS, STORMWATER HARVESTING, WETLAND TREATMENT TRAINS, LOW IMPACT DESIGNS, ALUM OR POLYMER INJECTION SYSTEMS;
2. THE PROXIMITY OF RECEIVING WATERS CLASSIFIED AS OUTSTANDING FLORIDA WATERS IN RULE 62-302.700, F.A.C., OR IMPAIRED FOR CONSTITUENTS LIKELY TO BE CONTAINED IN DISCHARGES FROM THE PROJECT;
3. THE NATURE OF THE SITE, SUCH AS WHETHER IT IS PART OF A PORT OR LANDFILL, WHETHER IT WILL IMPOUND MORE THAN 40 ACRE-FEET OF WATER, OR WILL INCLUDE ABOVE GROUND IMPOUNDMENTS;
4. THE TOPOGRAPHY, RAINFALL PATTERNS, AND ADJACENT DEVELOPMENT SURROUNDING THE ACTIVITY SITE, INCLUDING ANY SPECIAL BASIN DESIGNATIONS WITHIN THE DISTRICT IN WHICH THE ACTIVITY IS LOCATED, AS IDENTIFIED IN PARAGRAPH 62-330.301(1)(K), F.A.C.;
5. THE NATURE OF THE UNDERLYING SOILS, GEOLOGY, AND GROUNDWATER, AND HYDROLOGY;
6. THE POTENTIAL FOR CONSTRUCTION AND OPERATION OF THE PROJECT TO CAUSE HARM TO PUBLIC HEALTH, SAFETY, OR WELFARE, OR HARM TO WATER RESOURCES, WATER QUALITY STANDARDS, OR WATER QUALITY; AND
7. PRIOR COMPLIANCE HISTORY WITH THE PROPOSED DESIGN AND PERFORMANCE TYPE, INCLUDING WHETHER THE ACTIVITY CHARACTERISTICS ARE LIKELY TO POSE MORE THAN A MINIMAL RISK FOR HARM.
- G. SPECIAL ATTENTION SHALL BE MADE DURING INSPECTIONS TO ENSURE THAT:
1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE;
2. THE SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE;
3. STORMWATER MANAGEMENT SYSTEMS THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OILS OR GREASES, OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL, OR BY OTHER LAWFUL MEANS; AND
4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.
- H. UNLESS OTHERWISE SPECIFIED IN THE PERMIT, THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN A RECORD OF EACH INSPECTION, INCLUDING THE DATE OF INSPECTION, THE NAME AND CONTACT INFORMATION OF THE INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE AGENCY, IN ACCORDANCE WITH THE REPORTING SECTION, BELOW.
- I. THE INSPECTION AND REPORTING REQUIREMENTS CONTAINED IN A PERMIT ISSUED UNDER PART IV OF CHAPTER 373, F.S., PRIOR TO OCTOBER 1, 2013, THE EFFECTIVE DATE OF CHAPTER 62-330, F.A.C., WHICH IMPLEMENTS SECTION 373.4141, F.S., SHALL CONTINUE TO BE FOLLOWED IN ACCORDANCE WITH THE EXISTING PERMIT UNLESS THE PERMITTEE OBTAINS A MODIFICATION USING THE PROCEDURES IN RULE 62-330.315, F.A.C., TO COMPLY WITH THE INSPECTION AND REPORTING REQUIREMENTS OF RULE 62-330.311, F.A.C., THESE NOTES, AND SECTION 12.4 OF THE ENVIRONMENTAL RESOURCE PERMIT APPLICANT'S HANDBOOK, VOLUME I (GENERAL AND ENVIRONMENTAL).

STORMWATER INSPECTION REPORTING

- A. ALL FORMS REQUIRED FOR REPORTING CAN BE SUBMITTED TO THE RESPECTIVE AGENCY INTERNET SITE. IF THE PERMITTEE DOES NOT USE THE ELECTRONIC FORMS PROVIDED ON THAT SITE, THEY SHALL BE RESPONSIBLE FOR RETAINING RECORDS OF THE INSPECTIONS AND FOR DELIVERING SUCH RECORDS WITHIN 30 DAYS OF REQUEST TO THE REQUESTING AGENCY, UNLESS A MORE RAPID DELIVERY IS REQUESTED FOR SUCH REASONS AS THE POTENTIAL FOR THE ACTIVITY HARM TO WATER QUALITY, WATER RESOURCES, PUBLIC HEALTH, OR PUBLIC SAFETY.
- B. WITHIN 30 DAYS OF ANY FAILURE OF A STORMWATER MANAGEMENT SYSTEM OR DEVIATION FROM THE PERMIT, A REPORT SHALL BE SUBMITTED ELECTRONICALLY OR IN WRITING TO THE AGENCY USING FORM 62-330.311(1), "OPERATION AND MAINTENANCE INSPECTION CERTIFICATION," DESCRIBING THE REMEDIAL ACTIONS TAKEN TO RESOLVE THE FAILURE OR DEVIATION.
- C. THE OPERATION AND MAINTENANCE ENTITY OF A REGIONAL STORMWATER MANAGEMENT FACILITY MUST NOTIFY THE AGENCY ON AN ANNUAL BASIS, USING FORM 62-330.311(2), "REGIONAL STORMWATER MANAGEMENT SYSTEM ANNUAL REPORT," OF ALL NEW SYSTEMS AND THEIR ASSOCIATED STORMWATER VOLUMES THAT HAVE BEEN ALLOWED TO DISCHARGE STORMWATER INTO THE REGIONAL FACILITY, AND CONFIRMING THAT THE MAXIMUM ALLOWABLE TREATMENT VOLUME OF STORMWATER AUTHORIZED TO BE ACCEPTED BY THE REGIONAL STORMWATER MANAGEMENT FACILITY HAS NOT BEEN EXCEEDED.
- D. A LISTING OF ALL THE FORMS THAT ARE INCORPORATED BY REFERENCE IN CHAPTER 62-330, F.A.C., IS CONTAINED IN APPENDIX C OF THE ERP APPLICANT'S HANDBOOK, VOLUME I; COPIES OF WHICH MAY BE OBTAINED FROM THE AGENCY, AS DESCRIBED IN APPENDIX A OF THAT VOLUME AND SUBSECTION 62-330.010(5), F.A.C.

DESIGN ELEMENTS AND INFORMATION FURNISHED BY OTHERS

1. THE ENGINEER AND ITS CONSULTANTS PREPARED THESE PLANS AND DESIGN DOCUMENTS THROUGH THE USE OR RELIANCE UPON DESIGN ELEMENTS AND INFORMATION ORDINARILY OR CUSTOMARILY FURNISHED BY OTHERS, INCLUDING, BUT NOT LIMITED TO, SURVEYORS, GEOTECHNICAL ENGINEERS, ENVIRONMENTAL CONSULTANTS, ARCHITECTS, BUILDING SYSTEMS ENGINEERS, SPECIALTY CONTRACTORS, MANUFACTURERS, SUPPLIERS, AND THE PUBLISHERS OF TECHNICAL STANDARDS. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR DESIGN ERROR AND OMISSIONS RESULTING FROM THE QUALITY OF THIS INFORMATION;
2. ALL POINTS OF COORDINATION OR INTERFACE BETWEEN THESE PLANS AND DESIGN DOCUMENTS AND THE PLANS AND DESIGN DOCUMENTS OF OTHERS MUST BE COMPARED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCURING MATERIALS AND INSTALLATION.

UTILITY LOCATES, RELOCATION, PROTECTION, AND TERMINATION

1. UTILITY LOCATES SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO THE INITIATION OF SITE CONSTRUCTION.
2. PROPOSED UTILITY TAPS AND CROSSINGS SHALL BE PHYSICALLY LOCATED AND VERIFIED BY THE CONTRACTOR AS SOON AS PRACTICABLE AND SHALL CONTACT THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES OR CONFLICTS.
3. UTILITY RELOCATION, SUPPORT, PROTECTION, TERMINATION, CAPPING, AND REMOVAL SHALL BE COORDINATED BY THE CONTRACTOR WITH UTILITY COMPANIES. ADEQUATE TIME SHALL BE PROVIDED FOR PROPER COORDINATION AND TO MINIMIZE SERVICE INTERRUPTIONS.
4. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES TO THE UTILITY COMPANY FOR THEIR SERVICES.

SAFETY AND TEMPORARY TRAFFIC CONTROL (MAINTENANCE OF TRAFFIC)

1. ALL SAFETY REGULATIONS AND PRACTICES SHALL BE ENFORCED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THIS PROJECT. THIS ALSO INCLUDES THE TRAVELING PUBLIC. THE FOLLOWING IS A NOTICE TO THE CONTRACTOR AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT OR ENFORCE SAFETY REGULATIONS.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
3. ALL SUBSURFACE CONSTRUCTION SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE "TRENCH SAFETY ACT".
4. TEMPORARY TRAFFIC CONTROL (TTC) IS REQUIRED FOR ALL WORKS ON HIGHWAYS, ROADS, STREETS, BIKE LANES, SIDEWALKS AND SHALL HAVE A TTC PLAN. THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER THAT IS FOOT ADVANCED MOT CERTIFIED AT THE COST OF THE CONTRACTOR. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED TTC PLAN AND THE REVIEWING AGENCY'S APPROVED PROCEDURES. THE PLAN AND WORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

GENERAL AND MISCELLANEOUS NOTES

1. THESE PLANS, DESIGN DOCUMENTS, AND NOTES ARE NOT EXHAUSTIVE. ALL THE APPLICABLE CONSTRUCTION STANDARDS AND DETAILS THAT ARE LISTED, REFERENCED, OR IMPLIED ARE INCLUDED IN THE CONTRACT DOCUMENTS BY REFERENCE.
2. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE REVIEWING AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
3. THE REPAIR OF DAMAGE EITHER ABOVE OR BELOW GROUND BY THE CONTRACTOR OR SUB-CONTRACTORS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE WILL BE IN THE OPINION OF THE OWNER, APPLICABLE AGENCY, OR ENGINEER. ALL REPAIRS SHALL BE MADE AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THE PARTICULAR ENTITY.
4. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT, SIDEWALKS, AND GRADING AROUND BUILDINGS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE.
5. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVED AREAS OF POOR DRAINAGE PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED, INSPECTED, AND TESTED PRIOR TO PAVEMENT BASE OR SIDEWALK INSTALLATION.

EROSION CONTROL AND STABILIZATION

1. CONTRACTOR IS REQUIRED TO SUBMIT A COMPLETE NOI AND APPROPRIATE FEE TO SECURE A FDPF GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CSP) AT LEAST TWO DAYS BEFORE CONSTRUCTION BEGINS. A PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OR IF THE PROJECT IS PART OF A LARGER DEVELOPMENT THAT WILL ULTIMATELY DISTURB ONE OR MORE ACRES.
2. PROJECTS THAT DISCHARGE STORMWATER TO AN MS4, A COPY OF THE NOI MUST ALSO BE SUBMITTED TO THE OPERATOR OF THE MS4.
3. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR OBTAINING PERMIT COVERAGE AND IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO MINIMIZE EROSION AND SEDIMENTATION FROM STORMWATER DISCHARGES DURING CONSTRUCTION. THE ENGINEER SHOULD NOT BE LISTED AS THE OPERATOR AS THEY DO NOT HAVE OPERATIONAL CONTROL OVER THE PROJECT.
4. WHEN THE OPERATOR CHANGES, THE NEW OPERATOR SHOULD OBTAIN PERMIT COVERAGE AT LEAST 2 DAYS BEFORE ASSUMING CONTROL OF THE PROJECT, AND THE PREVIOUS OPERATOR SHOULD FILE AN NPDES STORMWATER NOTICE OF TERMINATION WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROLS UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED.
6. ALL DISTURBED AND OPEN AREAS OF THE SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE.

TREE PRESERVATION AND DEMOLITION

1. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE INDICATED TO REMAIN UNDISTURBED PER THE REVIEWING AGENCIES REQUIREMENTS. INSPECTIONS MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION.
2. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
3. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR REMOVED SHALL CONFORM WITH THE REVIEWING AGENCY AND THE OWNER. THE PROTECTION OR REMOVAL IS AT THE COST OF THE CONTRACTOR.
4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
5. DISTURBED AREAS SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, MISCELLANEOUS VEGETATION, DELETERIOUS MATERIAL, DEBRIS, ETC.
6. SOME ITEMS TO BE REMOVED OR SALVAGED MAY NOT BE DEPICTED ON THE PLANS OR SURVEY. CONTRACTOR SHALL BE AWARE OF ALL EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS AND CONFIRM AN INVENTORY WITH THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OR SALVAGE OF ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, ETC., AND THEIR APPURTENANCES UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE PROPERLY DISPOSED IN A LEGAL MANNER.
8. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.

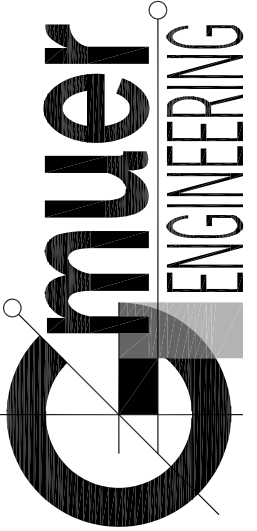
PERMITTING, CONSTRUCTION STANDARDS, SUBMITTALS, REQUESTS FOR INFORMATION, INSPECTIONS, TESTING, PUNCH LISTS, RECORD DRAWINGS, AND AS-BUILTS

1. SITE CLEARING AND DEMOLITION MAY NOT BE ABLE TO BEGIN UNTIL CERTAIN PERMITS HAVE BEEN ISSUED AND MAY REQUIRE PRE-CONSTRUCTION MEETINGS, INSPECTIONS, CLEARANCES. THESE PERMITS ARE TYPICALLY ISSUED BY THE APPLICABLE WATER MANAGEMENT DISTRICT AND THE MUNICIPALITY.
2. OTHER PERMITS ARE REQUIRED PRIOR TO COMPLETING OTHER SITE COMPONENTS SUCH AS THE UTILITY CONSTRUCTION PERMITS, DRIVEWAY CONNECTION PERMITS, ROW USE PERMITS, ETC.
3. CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND OBTAINING ALL REQUIRED PERMITS, BONDS, TESTING, INSPECTIONS, CERTIFICATIONS, ETC., PRIOR TO AND DURING CONSTRUCTION (E.G. FDPF CGP, DEWATERING, MOT, WATERSEWER INSPECTIONS).
4. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
5. THE CONTRACTOR IS RESPONSIBILITY TO VERIFY THE CONSTRUCTION STANDARDS APPLICABLE TO EACH PORTION OF THE PROJECT. A SUGGESTED LIST OF APPLICABLE STANDARDS TYPICALLY ACCOMPANY THIS NOTE ON THIS PLAN SHEET.
6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PROCUREMENT OF MATERIALS AND INSTALLATION (E.G. PRECAST STRUCTURES, MANUFACTURED ITEMS). FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED TO THE ENGINEER FOR RESPONSE BEFORE COMMENCING THE RELATED WORK VIA THE OWNER'S CONSTRUCTION DOCUMENTATION PROCESS.
8. CONTRACTOR IS RESPONSIBLE FOR COMPILING A LIST INSPECTIONS AND FIELD VISITS DESIRED BY THE OWNER AND THE ENGINEER AND REASONABLY SCHEDULING THOSE INSPECTIONS.
9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING ALL INSPECTIONS REQUIRED BY THE REVIEWING AGENCIES AS LISTED IN THE PERMITS, INSPECTOR'S REQUEST, OR IMPLIED BY THE DESIGN STANDARDS.
10. CONTRACTOR SHALL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING OF MATERIALS, SOILS, UTILITIES, ETC. THE TESTING SHALL BE IN ACCORDANCE WITH THE APPROVED PERMITS, CONSTRUCTION STANDARDS, INSPECTOR'S REQUEST, DESIGN REPORTS, AND STANDARD PAVING AND GRADING TESTING. THIS SHALL INCLUDE DENSITY TESTING IN ALL PAVEMENT AREAS, UTILITY TRENCH COMPACTION ESPECIALLY UNDER ROADS AND OTHER PAVED AREAS, CONCRETE, AND OTHER MATERIALS TESTING.
11. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR ALL RETESTING COSTS AND ANY RECONSTRUCTION REQUIRED TO MEET THE TESTING REQUIREMENTS.
12. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER THE SCHEDULE OF PUNCH LIST SITE VISITS WITH THE CONSTRUCTION SCHEDULE TO AVOID REPEAT VISITS. A TIMELINE OF ADDRESSING THE PUNCH LIST ITEMS SHALL BE PROVIDED IN A TIMELY MANNER. ANY DISPUTES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER.
13. RECORD DRAWINGS ARE DEFINED AS NOTES AND OTHER DOCUMENTATION COLLECTED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AS IT RELATES TO INSTALLATION PROGRESS, FIELD CONDITIONS, MEANS, METHODS, DEVIATIONS, AND OTHER VARIATIONS FROM THE CONTRACT DOCUMENTS. THE DOCUMENTATION MUST BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES UPON REQUEST. RECORD DRAWINGS ARE NOT INTENDED TO BE EXHAUSTIVE, HOWEVER, VERIFICATION OF INSTALLED CONDITIONS CAN BE REQUESTED AT THE COST OF THE CONTRACTOR UTILIZING STANDARD METHODS.
14. CONTRACTOR SHALL CONFIRM REQUIREMENTS TO PROVIDE COMPLETE AS-BUILT INFORMATION TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES AT THE COST OF THE CONTRACTOR.
15. AS-BUILTS ARE DEFINED AS A DRAWING PRODUCED BY A REGISTERED LAND SURVEYOR BASED ON FIELD MEASUREMENTS OF THE FINISHED SITE IMPROVEMENTS WITH LOCATIONS, ELEVATIONS, AND DESCRIPTION OF IMPROVEMENTS. THEY SHOULD MEET REVIEWING AGENCIES REQUIREMENTS PER PERMIT AND CLOSEOUT REQUIREMENTS. THEY SHOULD ALSO MEET THE OWNER'S NEED FOR LENDING, WARRANTY, AND OTHER REQUIREMENTS.
16. AS-BUILTS CONTAIN AT A MINIMUM: BUILDING LOCATION AND FINISHED FLOOR ELEVATIONS, ACCESSIBLE ROUTE AND PARKING GRADES, PAVEMENT GRADE BREAKS, GRAVITY STRUCTURE TOP ELEVATIONS AND PIPE SIZES AND INVERTS, PRESSURE SYSTEM FITTINGS AND VALVES, SAMPLING POINTS, STORMWATER FACILITY TOP AND BOTTOM PERIMETERS AND OTHER FEATURES, OUTFALL STRUCTURE DETAILS, ETC. AND OTHER LOCATIONS WHERE FIELD CONDITIONS DO NOT MATCH THE CONTRACT DOCUMENTS.
17. ADDITIONAL AS-BUILT INFORMATION MAY BE REQUIRED DURING CONSTRUCTION INSTALLATIONS AT CRITICAL AREAS. THIS INCLUDES BUT IS NOT LIMITED TO PIPE CROSSINGS OF WATER MAINS WITH LESS THAN 18 INCHES OF CLEARANCE OR WHEN PARALLEL, UTILITIES WITH WATER MAINS HAVE LESS THAN 10 FEET OF CLEARANCE.

WARRANTIES

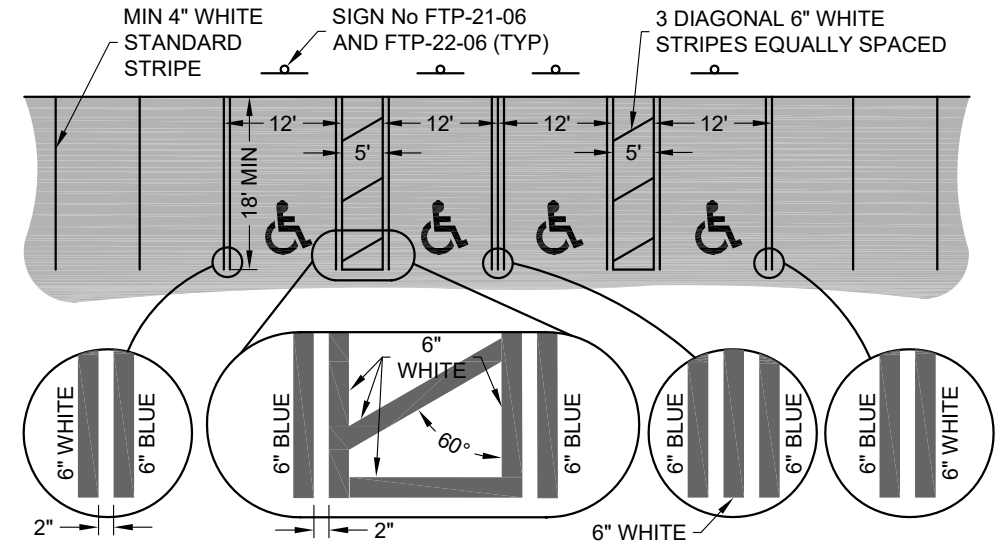
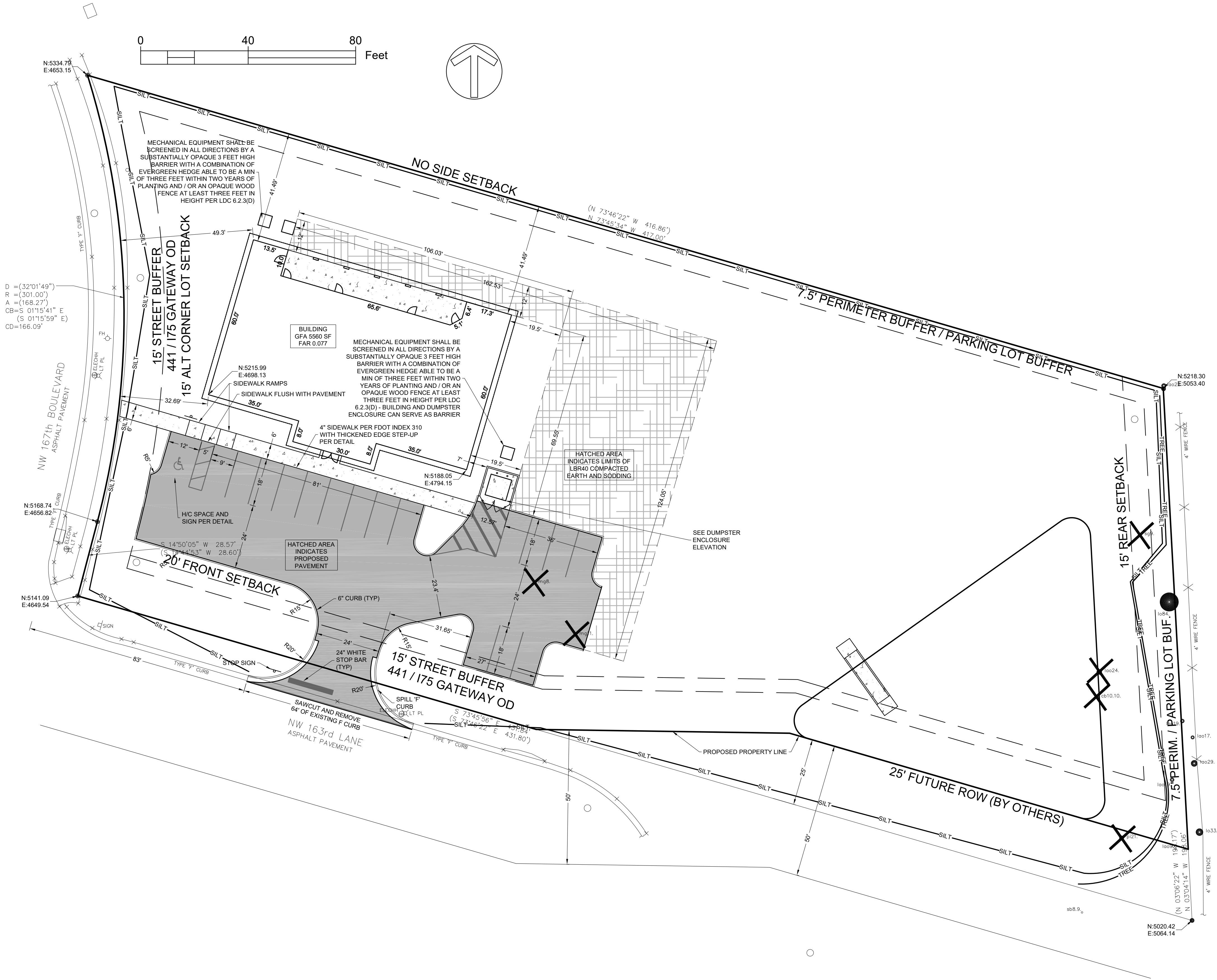
1. IF NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL IMPROVEMENTS SHALL BE WARRANTED BY THE CONTRACTOR TO THE OWNER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. THIS WARRANTY WILL ALSO EXTEND TO THE MAINTENANCE ENTITY OF ANY OTHER IMPROVEMENTS INCLUDING ROADS, SIDEWALKS, UTILITIES, STORM PIPING, ETC. OR TO THE EXTENT REQUIRED BY THEIR APPLICABLE DESIGN STANDARDS.

PRICING		FOR REVIEW ONLY	NOT CONTRACT DOCUMENTS
CONSTRUCTION :			
PERMITTING / DESIGN REVISIONS :		2016-10-31 INITIAL SUBMITTAL - CITY OF ALACHUA 2016-12-21 RESUBMITTAL - CITY OF ALACHUA 2017-02-07 CITY OF ALACHUA RESUBMITTAL 2017-02-28 RFP BOARD PLANS	
ENGINEER OF RECORD :		CHRISTOPHER A. GMUER FL # P 71599 2017-02-28	
CHESAIRE CONSTRUCTION & DEVELOPMENT, INC.		C.A. GMUER, PE C.A. GMUER, PE	
DESIGN :		TBD	
QUALITY CONTROL :		TBD	
ALACHUA APP #		16-0044	
SRWMD APP #			
GEN PROJECT #			
FARM BUREAU INSURANCE at NW 167 BLVD			
NOTES AND LEGEND			
C-010			



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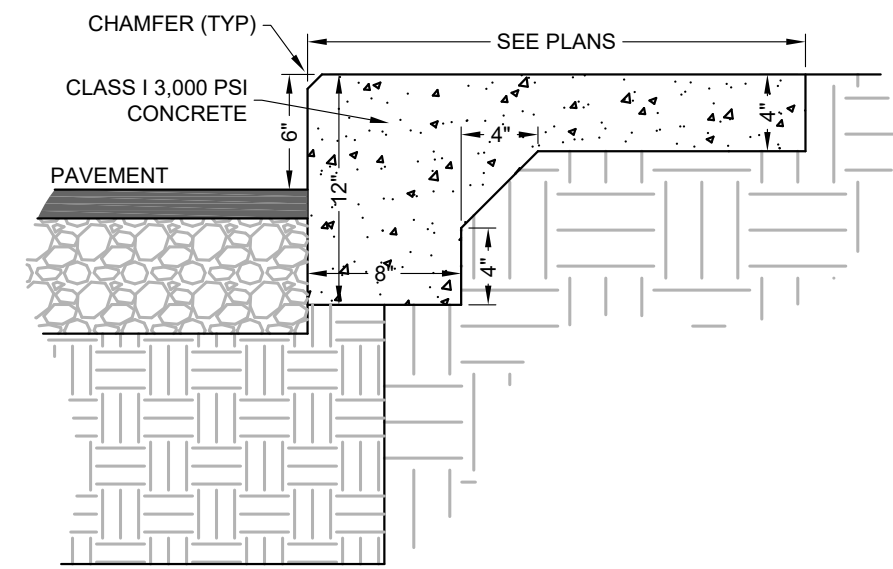
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- NOTES:
- SEE PLANS FOR LAYOUT AND QUANTITY.
 - DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
 - BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.
 - THE FTP-22-06 PANEL SHALL BE MOUNTED BELOW THE FTP-21-06 SIGN.

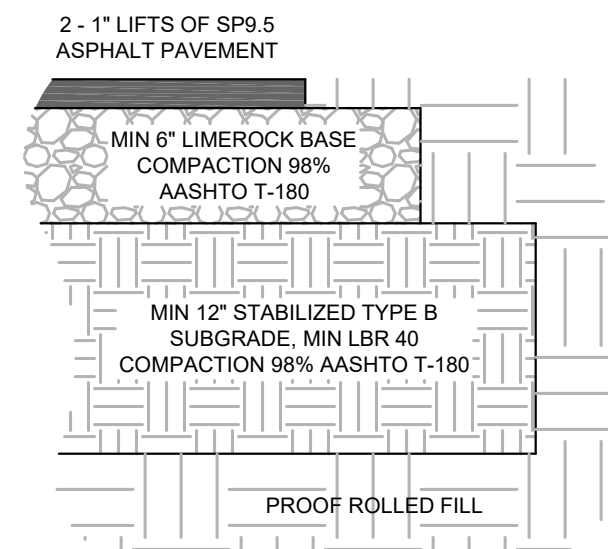
ACCESSIBLE PARKING PAVEMENT MARKING DETAIL

NOT TO SCALE



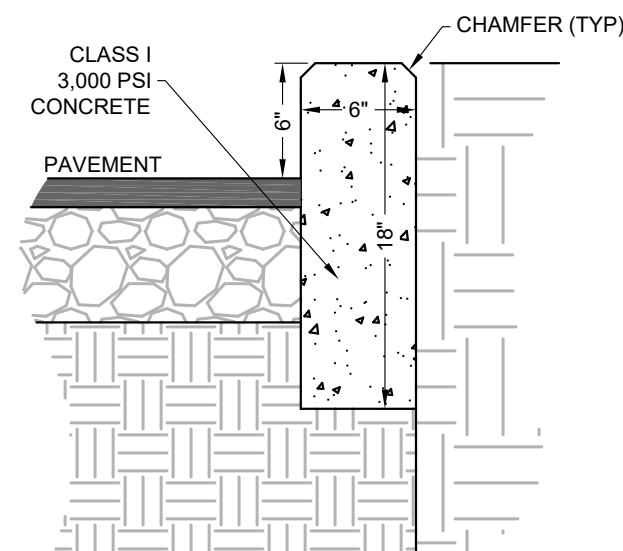
STEP-UP SIDEWALK WITH THICKENED EDGE DETAIL

NOT TO SCALE



PROPOSED STANDARD PAVEMENT DESIGN DETAIL

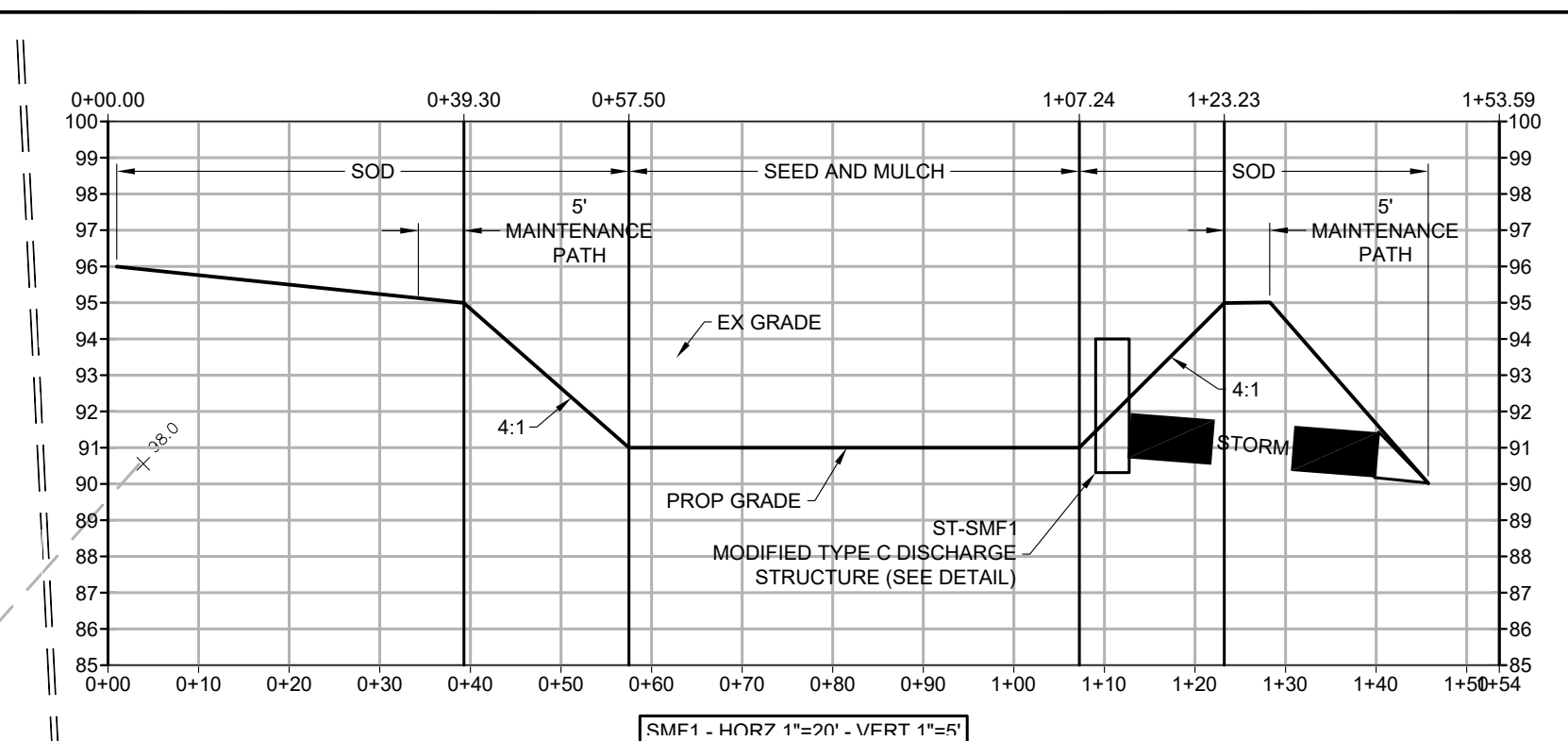
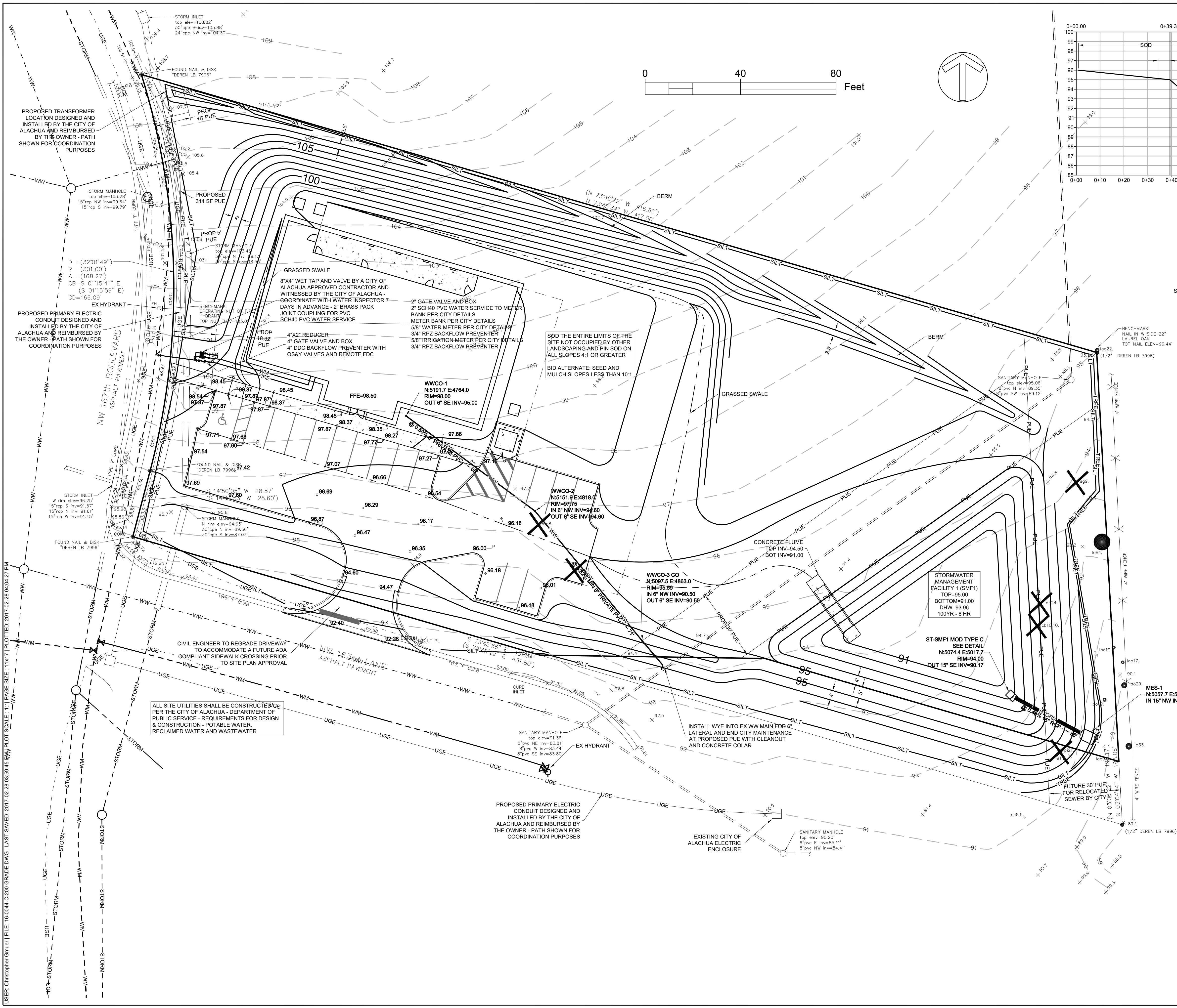
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6" CURB DETAIL

NOT TO SCALE

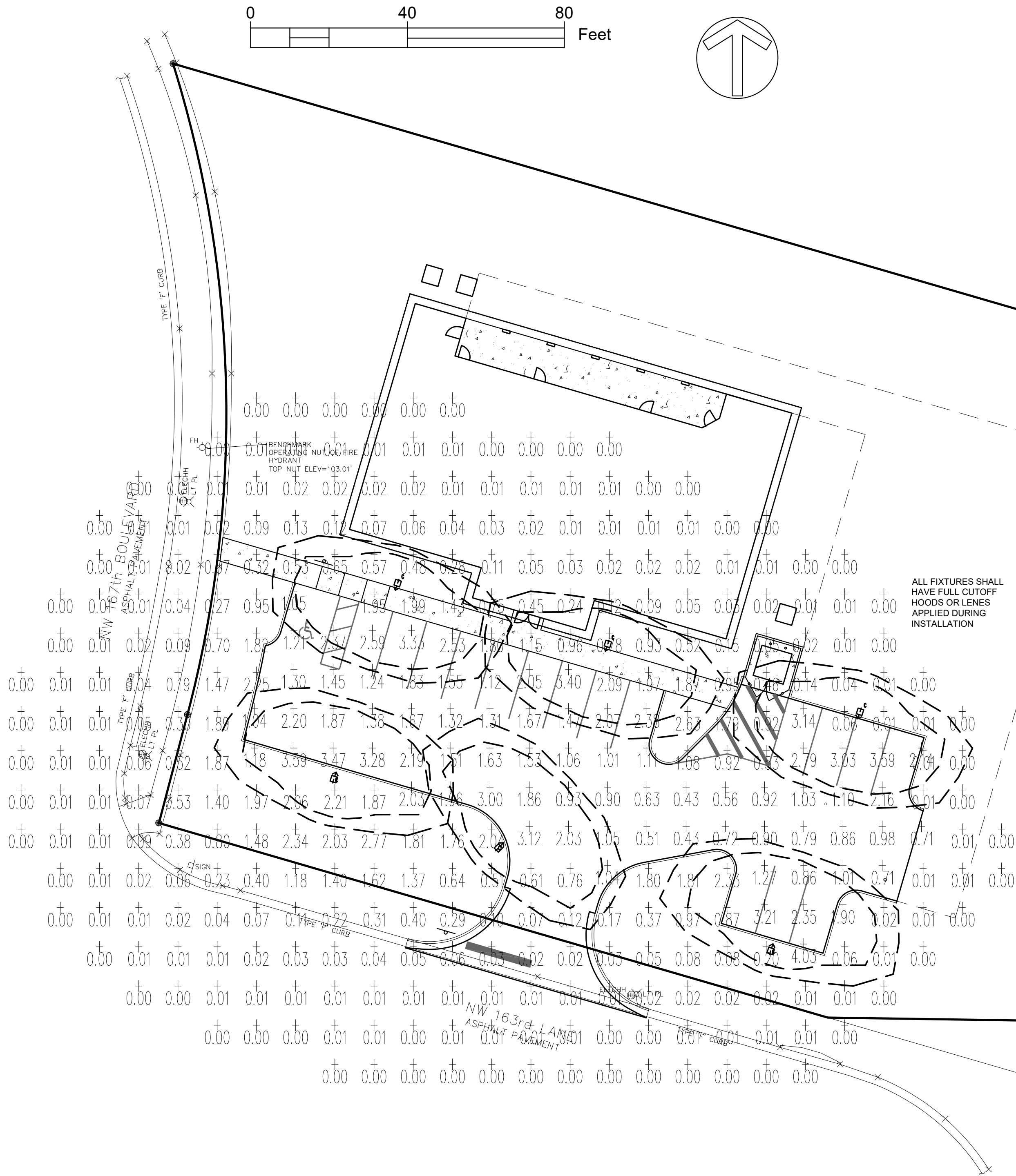
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CONSTRUCTION:		FOR REVIEW ONLY	
PERMITTING / DESIGN REVISIONS:		ENGINEER OF RECORD: CHRISTOPHER A. GMUER FL PE # 71599 2017-02-28	
CLIENT:		CHESHIRE CONSTRUCTION & DEVELOPMENT, INC.	
DESIGN:		C.A. GMUER, PE	
QUALITY CONTROL:		C.A. GMUER, PE	
ALACHUA APP #		TBD	
SRWMD APP #		TBD	
GEIG PROJECT #		16-0044	
FARM BUREAU INSURANCE at NW 167 BLVD			
DEMO, SITE, DEVELOPMENT, & HORIZONTAL CONTROL PLAN			
C-100			



**ST-SMF1 MODIFIED TYPE C
DISCHARGE STRUCTURE DETAIL**
NOT TO SCALE

PRICING:		NOT CONTRACT DOCUMENTS	
CONSTRUCTION:		FOR REVIEW ONLY	
PERMITTING / DESIGN REVISIONS:		2016-10-31 INITIAL SUBMITTAL - CITY OF ALACHUA 2016-12-21 RESUBMITTAL - CITY OF ALACHUA 2017-02-07 CITY OF ALACHUA RESUBMITTAL 2017-02-28 8x2 BOARD PLANS	
ENGINEER OF RECORD:		CHRISTOPHER A. GMUER FL PE # 71599 2017-02-28	
CLIENT:		CHESHIRE CONSTRUCTION & DEVELOPMENT, INC.	
DESIGN:		C.A. GMUER, PE	
QUALITY CONTROL:		C.A. GMUER, PE	
ALACHUA APP #		TBD	
SRWMD APP #		16-0044	
GEIP PROJECT #		16-0044	
FARM BUREAU INSURANCE at NW 167 BLVD			
PAVING, GRADING, DRAINAGE, & UTILITY PLAN			
C-200			

USER: Christopher Gmuer | FILE: 16-0044-P-PHOTO.DWG | LAST SAVED: 2017-02-07 11:32:36 PM | PLOT SCALE: 1:1 | PAGE SIZE: 11x17 | PLOTTED: 2017-02-28 04:00:54 PM



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CALCULATION SUMMARY										
AREA NAME	DIMENSIONS			GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN
Site Lighting	267.90x271.10ft			Parking / H-H	73	10.00	<+>	1.71	4.03	0.43

Farm Bureau (103016) LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
C	⬢	LEOTEK ELECTRON LED40W4' (1) L4 AR18-10M-MV-NW-4-XX-350	(1) N/A	4240		1.00 6

AREA SUMMARY SCHEDULE					
AREA NAME	I/O	DIMENSIONS	LUMS / <ASMS>	WATTS / SQ.FT	QTY
Site Lighting	OUT	267.90x271.10ft	<C > (6)	0.00	1

CLIENT:	CHESHIRE CONSTRUCTION & DEVELOPMENT, INC
DESIGN:	C.A. Gmuer, PE
QUALITY CONTROL:	C.A. Gmuer, PE
ALACHUA APP #	TBD
SRWMD APP #	TBD
GEEng PROJECT #	16-0044

FARM BUREAU
INSURANCE at
NW 167 BLVD

PHOTOMETRIC
PLAN

P-1

PERMITTING / DESIGN REVISIONS:

2016-10-31 INITIAL SUBMITTAL - CITY OF ALACHUA
2016-12-21 RESUBMITTAL - CITY OF ALACHUA
2017-02-07 CITY OF ALACHUA RESUBMITTAL
2017-02-28 CITY OF ALACHUA RESUBMITTAL
2017-02-28 P&Z BOARD PLANS

ENGINEER OF RECORD:
CHRISTOPHER A. GMUER
FL PE # 71599
2017-02-28

Gmuer

ENGINEERING

FL CA # 31533

gmuereng.com

2803 NW 13th St., Box 314

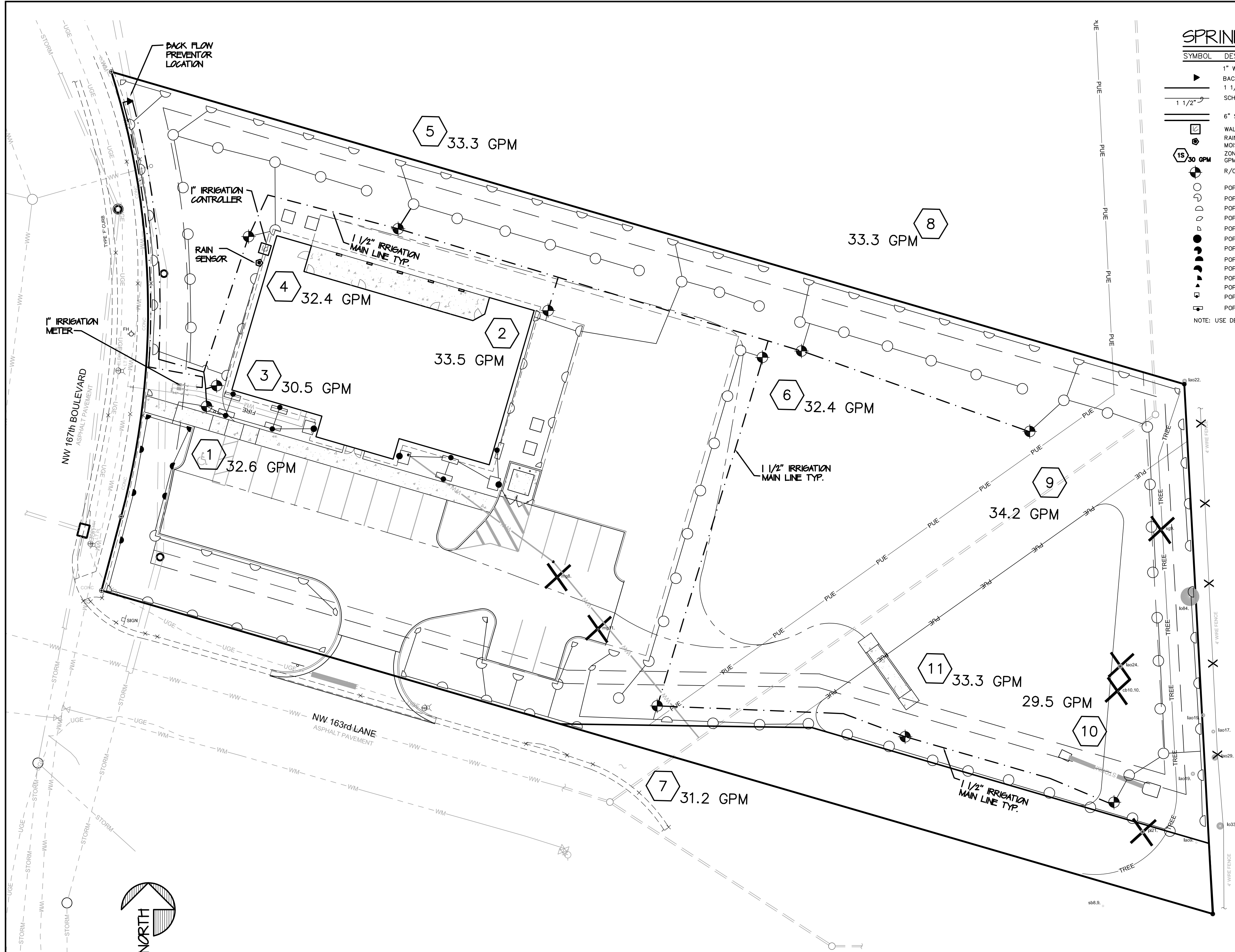
Gainesville, FL 32609

(352) 281-4928

PRICING:

CONSTRUCTION:

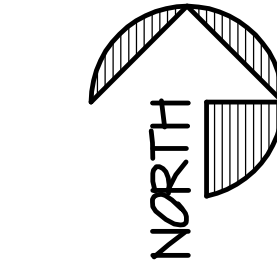
NOT CONTRACT DOCUMENTS



SPRINKLER LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.	NOTES
	1" WATER METER	TBD	TBD	TO BE INSTALLED PER LOCAL CODE DESIGN PARAMETER 30 GPM
	BACK FLOW PREVENTOR	TBD	TBD	TO BE INSTALLED PER LOCAL CODE
	1 1/2" SCH 40 PVC MAIN LINE	N/A	N/A	SEE INSTALLATION DETAIL 1
	SCH 40 PVC LATERAL LINE	N/A	N/A	SIZE SHOWN ON PLAN, SEE INSTALLATION DETAIL 1
	6" SCH 40 PVC SLEEVE	N/A	N/A	
	WALL MOUNT CONTROLLER	RAINBIRD	TM2-12-120V	SEE INSTALLATION DETAIL 2
	RAIN SENSOR	RAINBIRD	RSD-BEX	MOUNT ON EYE OF BUILDING
	MOISTURE SENSOR	RAINBIRD	AQUAMISER	INSTALL PER MANUFACTURE SPECIFICATION
	ZONE LABEL			R = ROTOR ZONE, S = SPRAY ZONE
	GPM REQUIREMENT			
	R/C VALVE	RAINBIRD	150-PESB	SEE INSTALLATION DETAIL 3
	POP-UP SPRAY HEAD	RAINBIRD	1812-15F	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-15VAN	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-15H	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-15VAN	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-15Q	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-12F	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-12VAN	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-12H	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-12VAN	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-12Q	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-12VAN	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-15EST	SEE INSTALLATION DETAIL 4
	POP-UP SPRAY HEAD	RAINBIRD	1812-15SST	SEE INSTALLATION DETAIL 4

NOTE: USE DETAIL 5 SHRUB RISER MOUNT WHEN HEAD PLACEMENT OCCURS IN SHRUB BEDS AND ADJACENT TO BUILDINGS.



IRRIGATION PLAN

SCALE: 1" = 20'

NOTE: IRRIGATION CONTRACTOR TO SIZE PIPING FOR EA IRRIGATION ZONE USING SCH 40 PVC PIPE. MAIN LINE TO BE SCH 40 1 1/2" PIPING.

Farm Burea Building
Alachua, Florida Alachua County
IRRIGATION PLAN

STEVEN PATRICK LOUHE
Landscape Architect
Irrigation Designer
8019 SW 102nd AVENUE
Gainesville, Florida 32608
(941) 949-4775
FLREG0010001956

DATE: 01/31/17
SCALE: 1" = 20'
DRAWN BY: SPL
DESIGNED: SPL
PROJECT NO: AD-0925-16
FILE NAME: farm burea IRRIGATION

SHEET NO.
* OF *
10

PLANT LIST (NOTE: GALLON SIZES ARE GIVEN AS A REFERENCE, SIZES SPECIFIED IN NOTES TAKES PRECEDENCE.)									
SYM	SCIENTIFIC NAME	COMMON NAME	QUANTITY	SIZE NOTES:					
AR	ACRE RUBRUM	RED MAPLE	06 EA.	30	GAL.	10' X 4' min.,	TOTAL CALIPER 1 1/2". Florida Fancy No. 1 min.		
BN	BETULA NIGRA	RIVER BIRCH	08 ea.	30	GAL.	10'-12' X 4' - 6' min.,	1 1/2" CALP. min., MULTI-TRUNKED, 3 TRUNK min. min., Florida Fancy No. 1 min.		
IXAE	ILEX X ATENUATA "EAST PALATKA"	EAST PALATKA HOLLY	30	15	GAL.	8' X 4' min.,	1 1/2" CALP. MIN., CENTRAL MAIN LEADER, FLORIDA FANCY NO. 1 MIN.		
LT	Liriodendro tulipifera	FLORIDAN TULIP	18	30	GAL.	10' - 12' X 4' - 6' min.,	2 1/2" CALP. MIN., CENTRAL MAIN LEADER, FLORIDA FANCY NO. 1 MIN.		
QV	QUERCUS VIRGINIANA (W)	LIVE OAK	16	30	GAL.	10' - 12' X 4' - 6' min.,	2 1/2" CALP. MIN., CENTRAL MAIN LEADER, FLORIDA FANCY NO. 1 MIN.		
TD	TAXODIUM DISTICHUM	BALD CYPRESS	11 ea.	15	gal.	8' X 4' min.,	TOTAL CALIPER 1 1/2". Florida Fancy No. 1 min.		
PT	PITTIOSPORUM TOBIRA	PITTIOSPORUM	186 ea.	3	gal.	12" X 18"	MINIMUM, FLORIDA FANCY No. 1 min.		
RI	RAPHIOLEPS INDICA	INDIAN HAWTHORNE	30 EA.	1	GAL.	12" X 12"	MINIMUM, FLORIDA FANCY No. 1 MIN.		
IF	ILICLIUM FLORIDANUM	FLORIDA ANISE	226 ea.	3	gal.	24" X 18"	min., Florida Fancy No. 1 min.		
SRSS	SERENOA REPENS 'SILVER SAW'	SILVER SAW PALMETTO	64 ea.	3	gal.	24" X 24"	min., Florida Fancy No. 1 min.		
DV	DIETES VEGETATA	AFRICAN IRIS	555 EA.	1	GAL.	18"	MINIMUM, FULL POTS MIN., FLORIDA FANCY No. 1 MIN.		
ASvB	Aristida stricta var. beyrichiana	Wire Grass	120 EA.	4"	liners	FLORIDA FANCY NO. 1 MIN.			
	PASPALUM NOTATUM	BAHAI	TBD	TBD	PINE TO BE WEED AND PEST FREE FOR A PERIOD OF 90 DAYS. TO BE SAND GROWN AND PLANTED WITHIN 2 DAYS OF HARVESTING 3" UNIFORM THICK LAYER OF MULCH MINIMUM.				
	PASPALUM NOTATUM	BAHAI	TBD	TBD					
	PINE BARK CHIPS	TBD	TBD	TBD					

1. Substitutions of planting material will not be permitted unless authorized in writing by the Landscape Architect or designee or City Planning Staff. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for the use of the nearest equivalent size or variety with corresponding adjustment of Contract Price.
2. Sod shall be nursery grown sod as classified by the American Sod Producers Association.
3. Sod shall be certified free of noxious weeds by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry, have been cut regularly at a height of 1 1/2 inches and held together firmly when a 16 inch x 24 inch piece is picked up with only one hand. The sod shall have its roots embedded in a layer of clean soil 3/4 inch to 1 inch thick.
4. Sod shall be harvested, delivered and transplanted within a period of 48 hours unless a suitable preservation method is approved prior to delivery.
5. Provide all plant materials as indicated on the drawing. The sizes that are indicated are the minimum acceptable sizes.
6. All plant material not otherwise specified as specimen shall be FLORIDA GRADE No. 1 or better quality graded in accordance with Grades and Standards for Nursery Plants published by the State of Florida, Department of Agriculture. Plants judged to be not in accordance with said standards will be rejected.
7. The number of plants specified shall take precedence over the graphic plant symbols. The Contractor shall verify all quantities required for the completion of the work and shall be responsible for the supply and installation of all plants and materials indicated on the drawings and specifications.
8. The Contractor shall notify the Landscape Architect or designee "IMMEDIATELY" of any discrepancies in the plans or specifications.
9. Protect the work, the public, and property owner from injury or loss arising in connection with this contract. Provide adequate barricades, night lights, etc. to protect the public. The Contractor shall be responsible for any damage or injury due to his act or neglect.
10. Plants and planting areas shall be mulched within two days after planting with a three inch deep layer of the prescribed mulch material, entirely covering the pit or bed around each point, but not within 6" of tree trunks.
11. As planting operations proceed, all rope, wire, burlap, empty containers, rocks, clods and all other debris shall be removed daily, and the site kept neat at all times.
12. Any excess excavated topsoil or rich loam shall be placed as directed by the Owner or his Representative.
13. After planting operations are finished, all paved areas which may have become strewn with soil or other material shall be thoroughly cleaned by sweeping, and, if necessary, washing.
14. The Landscape Architect or designee reserve the right to inspect the work during the execution of the contract. The Contractor shall review the entire project with the Landscape Architect and the Owner for final inspection to obtain approval for final payment.
15. For a period of one year from and after the date of the Final Acceptance of his work, Contractor shall promptly and properly repair or replace all defective materials, equipment, plants, or workmanship which becomes evident during that period, and shall do so at no additional cost to the owner.
16. MAINTENANCE: the holder of the certificate of occupancy shall be the responsible party for the maintenance of all landscape areas which shall be maintained so as to present a healthy, neat and orderly appearance at all times and shall be kept free from refuse and debris. All planted areas shall be provided with a readily available water supply to ensure continual to provide vigorous healthy growth and development. Maintenance shall include the replacement of all dead plant material.
17. Trees not within planting beds shall be sleeved with 10" of plastic tubing to protect trunks from mower/trimmer damage.
18. Trees will be staked as needed and will be removed after one year. (owner shall remove any tree staking)
19. Landscape installation Contractor shall arrange an on-site meeting with the Landscape Architect (352-318-4773) and the City of Alachua site inspector prior to purchasing any plant materials. During final inspection, any plant materials not deemed to meet specifications shall be promptly removed and replaced at no additional cost to the owner.
20. No asphalt, concrete, limerock, or construction debris is allowed in landscape beds. If area must be excavated, soil in planting beds shall be replaced with high quality deep fill of pH. 5.5-6.5.
21. New trees to be installed shall have planting pit twice the diameter of the container. The first root arising from the trunk shall be no deeper than 2" below the soil surface when planted. The surface of the rootball shall be 1" - 2" above grade when planting is completed.

TREE

PLAN

1/2" NYLON STRAP

8' LODGE POLE

3 INCHES MULCH

4 INCH DEEP SAUKER

BACKFILL MIX

UNDISTURBED SUBSOIL

REMOVE BURLAP & ROPE FROM TOP 1/3 OF THE DALL

NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE

SHRUB/GROUNDCOVER SPACING PLAN

N.T.S.

EDGE OF PAVEMENT OR CURB

GRASS

EDGE OF DESLINE

NOTE: LOCATE PLANTS IN A TRIANGULAR PATTERN AND SPACING EQUIDISTANT FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST)

TREE PLANTING

N.T.S.

SHRUB AND GROUNDCOVER PLANTING DETAIL

N.T.S.

1" STRIP IS D & B, THEN REMOVE BURLAP & ROPE FROM TOP 1/3 OF DALL

MINIMUM 2" MULCH HARDWOOD SOIL PERM

MINIMUM 6" DEPTH OF PLANTING SOIL IN GROUNDCOVER PLANTING BEDS

3 INCHES MULCH (SEE LANDSCAPE NOTES FOR TYPE OF MULCH)

PLANTING SOIL MIXED PER SPECIFICATIONS

UNDISTURBED SUBSOIL

PROVIDE MINIMUM PIT CLEARANCE AROUND ROOT DALL OF 6" SIDES AND BOTTOM

SCALE: 1" = 20'
NOTE:
AN AUTOMATIC DRIP IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL NEWLY PLANTED PLANTS. EACH TREE SHALL REQUIRE A MIN. OF ONE BUBBLER AT THE BASE OF THE TREE.
LANDSCAPE CONTRACTOR SHALL CONFIRM THAT ALL LIMBEROCK AND CONSTRUCTION DEBRIS HAS BEEN REMOVED TO A MIN DEPTH OF 18" FROM AREAS TO BE LANDSCAPED AND THAT THE PLANTING LOAM IS OF P11 55 - 65.

10% OPEN SPACE AREA REQUIREMENTS:

PER CITY OF ALACHUA LDR SECTION 6.7.3 (A) STATES THAT THE MINIMUM OPEN SPACE SET-ASIDE SHALL BE 10% OF THE DEVELOPMENT SITE. THIS REQUIREMENT IS MET BY THE CALCULATIONS FOR 30% LANDSCAPE, SHOWN WITHIN CHART ON THIS SHEET, WHICH INCLUDE LANDSCAPE BUFFERS, BASIN AND OTHER LANDSCAPE AREAS,

30% LANDSCAPED AREA REQUIREMENTS:

PER CITY OF ALACHUA COMPREHENSIVE PLAN POLICY 2.4.1, WHICH STATES THAT THE MINIMUM LANDSCAPE AREA MUST BE 30% OF THE DEVELOPED SITE.

TOTAL SITE AREA = 77,392.98 S.F. = 1.77 ACRES
TOTAL PROPOSED LANDSCAPE AREA.....62,549 S.F. = 80.8 %

REQUIRED TREE MITIGATION: A TREE SURVEY HAS BEEN PROVIDED AT TIME OF PLAN REVISION.

HERITAGE TREES REMOVED: 02 TREES (100 24", pi 21") REGULATED TREES REMOVED: 04 TREES (mg 8", mg 11", sg 9", cb 10" –10")
MITIGATION REQUIRED: TREE FOR TREE MITIGATION: 06 TREES TO BE REPLACED = 4 at 1.5" EACH (CODE MINIMUM SIZE), 45" replacement for heritage tree removal heritage 51.0' TOTAL REPLACEMENT INCHES AT LEAST 50% OF THE TOTAL REPLACEMENT TREES SHALL BE CANOPY TREES AND AT LEAST 75% SHALL BE CHOSEN FROM THE RECOMMENDED TREE LIST PER 6.2.1(D)(4)(b). NOTE: ALL TREES TO BE COUNTED TOWARDS MITIGATION REPLACEMENT TREES ARE MARKED "M" ON THE PLAN. TREES USED FOR MITIGATION ARE PART OF THE MINIMUM LANDSCAPE REQUIREMENTS.
MITIGATION PROVIDED: 15 CANOPY TREES PROVIDED @ 2.5" CALIPER – MEETS 50 % REQUIREMENT FOR CANOPY TREES – MEETS 75% REQUIREMENT FOR TREES THAT ARE ON THE RECOMMENDED TREE LIST

TREES ALSO HAVE BEEN SELECTED UNDER REVIEW OF Tree Inventory and Management Plan, Alachua, Florida, July 2025 BY THE Davey Resource Group

SITE LANDSCAPE CALCULATIONS: SECTION 6.2.2 (D)(1)(b)

PROPERTY = 77392.98 S.F = 1.77 AC.

DESCRIPTION	TREE REQUIREMENTS	TREE PROVIDED
PRIMARY SIDE CANOPY TREES	03 TREES PER ACRE 03 TREES 1.77 ACRES = 05 TREES	07 TREES PROVIDED 06 TREE CREDITS USED
SIDE AND REAR CANOPY TREES NORTH SIDE CANOPY TREES SOUTH SIDE CANOPY TREES EAST SIDE CANOPY TREES	02 TREES PER ACRE PER SIDE AND REAR 02 TREES 1.77 ACRES = 3.5 TREES 02 TREES 1.77 ACRES = 3.5 TREES 02 TREES 1.77 ACRES = 3.5 TREES	05 TREES PROVIDED, 00 TREE CREDITS USED 16 TREES PROVIDED, 00 TREE CREDITS USED 09 TREES PROVIDED, 00 TREE CREDITS USED
SITE UNDERSTORY TREES	06 TREES PER ACRE 06 TREES 1.77 ACRES = 10.6 TREES 50% IN FRONT = 05 TREES 25% ON EAST SIDE = 03 TREES 25% ON WEST SIDE = 03 TREES	05 TREES PROVIDED, 00 TREE CREDITS USED 03 TREES PROVIDED, 00 TREE CREDITS USED 05 TREES PROVIDED, 00 TREE CREDITS USED
BUILDING FACADE	04 TREES PER 100 L.F. / SHRUB LINE ALONG ALL FACADES 320 L.F. OF FACADE 3.2 X 4 = 13 TREES REQUIRED	13 TREES PROVIDED, 00 TREE CREDITS USED SHRUB LINE ALONG ALL APPLICABLE FACADES PROVIDED

PERIMETER BUFFER LANDSCAPED AREA REQUIREMENTS: SECTION 6.2.2 (D)(3)

LOCATION	TREE AND SHRUB REQUIREMENTS	TREE AND SHRUB PROVIDED
NORTHERN PERIMETER = 416.86 L.F. TYPE "B" BUFFER OPTION "2": 7.5' WIDE 1 PERIMETER BUFFER REQUIRED DUE TO ADJACENT VACANT LOT	05 CANOPY TREES REQUIRED CONTINUOUS EVERGREEN HEDGE REQUIRED	09 CANOPY TREES PROVIDED CONTINUOUS EVERGREEN HEDGE PROVIDED
EASTERN PERIMETER = 198.17 L.F. TYPE "B" BUFFER OPTION "2": 15' WIDE 1 PERIMETER BUFFER REQUIRED DUE TO ADJACENT VACANT LOT	03 CANOPY TREES REQUIRED CONTINUOUS EVERGREEN HEDGE REQUIRED	06 CANOPY TREES REQUIRED CONTINUOUS EVERGREEN HEDGE PROVIDED
SOUTHERN PERIMETER = 431.80 L.F. TYPE "B" BUFFER OPTION "2": 7.5' WIDE 30 L.F. (DRIVEWAY) = 401.80 L.F. TYPE "B" BUFFER: 7.5' WIDE	11 CANOPY TREES REQUIRED/07 UNDERSTORY TREES CONTINUOUS EVERGREEN HEDGE REQUIRED	16 CANOPY TREES PROVIDED CONTINUOUS EVERGREEN HEDGE PROVIDED
WESTERN PERIMETER = 196.87 L.F. TYPE "B" BUFFER: 15' WIDE STREET 441/1-75 GATEWAY OD	05 CANOPY TREES REQUIRED CONTINUOUS EVERGREEN HEDGE REQUIRED	06 CANOPY TREES PROVIDED/05 UNDERSTORY TREES PROVIDED CONTINUOUS EVERGREEN HEDGE PROVIDED

PARKING BUFFER LANDSCAPED AREA REQUIREMENTS:

SECTION 6.2.2 (D)(2)(b): 4 CANOPY TREES & 2 UNDERSTORY TREES PER 100 L.F

LOCATION	TREE AND SHRUB REQUIREMENTS	TREE AND SHRUB PROVIDED
PARKING PERIMETER = 4410 L.F	16 CANOPY TREES 08 UNDERSTORY TREES CONTINUOUS EVERGREEN HEDGE	16 CANOPY TREES PROVIDED 08 UNDERSTORY TREES PROVIDED CONTINUOUS EVERGREEN HEDGE PROVIDED

INTERIOR PARKING AREA LANDSCAPED REQUIREMENTS:

SECTION 6.2.2 (D)(2)(a): 1 CANOPY / UNDERSTORY TREES FOR EVERY 2000 SF: 10 SHRUBS EVERY TREE

LOCATION	TREE AND SHRUB REQUIREMENTS	TREE AND SHRUB PROVIDED
PROPOSED PAVED PARKING AREA	6,630 S.F.	
	6,630 S.F./2000 S.F. = 3 TREES REQUIRED	03 CANOPY TREES
	03 (TREES) X 10 (SHRUBS) = 30 SHRUBS REQUIRED	30 SHRUBS PROVIDED

DATE	NO. APPROVAL	REASON	REVIEW TREE CALCULATIONS AND ADD TREE CREDITS	
			BY	SPL

Farm Burea Building

Alachua, Florida Alachua County

LANDSCAPE NOTE

STEVEN PATRICK LAUTE

Landscape Architect
Irrigation Designer

8019 SW 102nd AVENUE
Gainesville, Florida 32608
(941) 946-4775
FL REG NO. LA0001956

DATE: 10/21/16

SCALE: 1" = 20'

DRAWN BY: SPL

DESIGNED: SPL

PROJECT NO: AD-00795-16

FILE NAME: farm burea landscape.dwg

SHEET NO.

* OF *

101

BOUNDARY SURVEY

PORTION OF TAX PARCEL

#03053-001-001

ALACHUA, FL 32615

SECTION 09, TOWNSHIP 08 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA

LAND DESCRIPTION: (PREPARED BY THIS FIRM)

A PARCEL OF LAND BEING SITUATED IN SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID SECTION, A DISTANCE OF 1576.08 FEET; THENCE RUN N89°33'13"E, 1300.20 FEET TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 503, PAGE 107, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE RUN S01°49'00"E, ALONG THE WEST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 1347.44 FEET TO A FOUND 4"x4" CONCRETE MONUMENT ("LB 50917"). SAID CONCRETE MONUMENT BEING THE NORTHWEST CORNER OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4076, PAGE 2345, OF SAID PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA; THENCE CONTINUE S01°49'00"E, ALONG SAID WEST LINE, A DISTANCE OF 1000.00 FEET, TO A FOUND 5/8" IRON ROD (NO IDENTIFICATION). SAID IRON ROD BEING A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF N.W. US. HIGHWAY NO. 441 (STATE ROAD NO. 20 & 25) (200 FOOT RIGHT-OF-WAY); THENCE RUN S79°06'59"E, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 1279.84 FEET TO A FOUND 5/8" REBAR & CAP ("LB 23897"). SAID REBAR AND CAP ALSO BEING THE SOUTHEAST CORNER OF THAT CERTAIN TRACT OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 2392, PAGE 782; THENCE RUN N03°06'22"W, ALONG THE EAST LINE OF SAID CERTAIN TRACT OF LAND, A DISTANCE OF 260.82 FEET TO A FOUND 5/8" REBAR & CAP ("LB 23897"). SAID REBAR AND CAP ALSO BEING THE NORTHEAST CORNER OF SAID CERTAIN TRACT OF LAND; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.15 FEET TO A SET 1/2" REBAR & CAP ("LB 79965"); THENCE CONTINUE N03°06'22"W, A DISTANCE OF 26.49 FEET TO A SET 1/2" REBAR & CAP ("LB 79965"); SAID REBAR AND CAP ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE N03°06'22"W, A DISTANCE OF 177.68 FEET TO A SET 1/2" REBAR & CAP ("LB 79965"). SAID NAIL & DISK LYING AND BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF AN INGRESS-EGRESS ROAD IMPROVEMENTS AND PUBLIC UTILITIES EASEMENT AS DESCRIBED IN OFFICIAL RECORDS BOOK 4400, PAGE 2104 AND ON A NON-TANGENT CURVE, CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 301.00 FEET; THENCE RUN S01°49'00"E, THROUGH A CENTRAL ANGLE OF 32°01'49", AND AN ARC BEING SUBTENDED BY A CHORD BEARING AND 168.27 FEET TO A SET NAIL & DISK ("LB 79965"). SAID ARC BEING SUBTENDED BY A CHORD BEARING AND S14°44'53"W, A DISTANCE OF 28.60 FEET, ALONG SAID RIGHT-OF-WAY LINE TO A SET NAIL & DISK ("LB 79965"); THENCE RUN S73°46'22"E, A DISTANCE OF 177.62 FEET TO A SET 1/2" REBAR & CAP ("LB 79965"); THENCE SOUTH 89°08'35" EAST, A DISTANCE OF 94.31 FEET TO A SET 1/2" REBAR & CAP ("LB 79965"); THENCE SOUTH 73°46'22" EAST, A DISTANCE OF 154.47 FEET TO THE POINT OF BEGINNING.

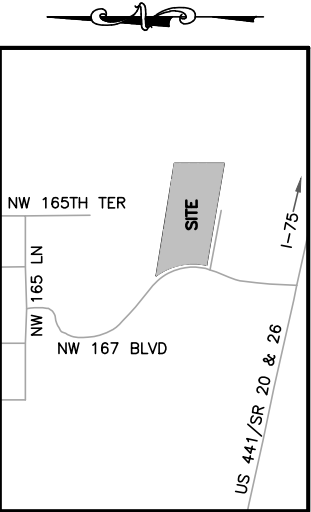
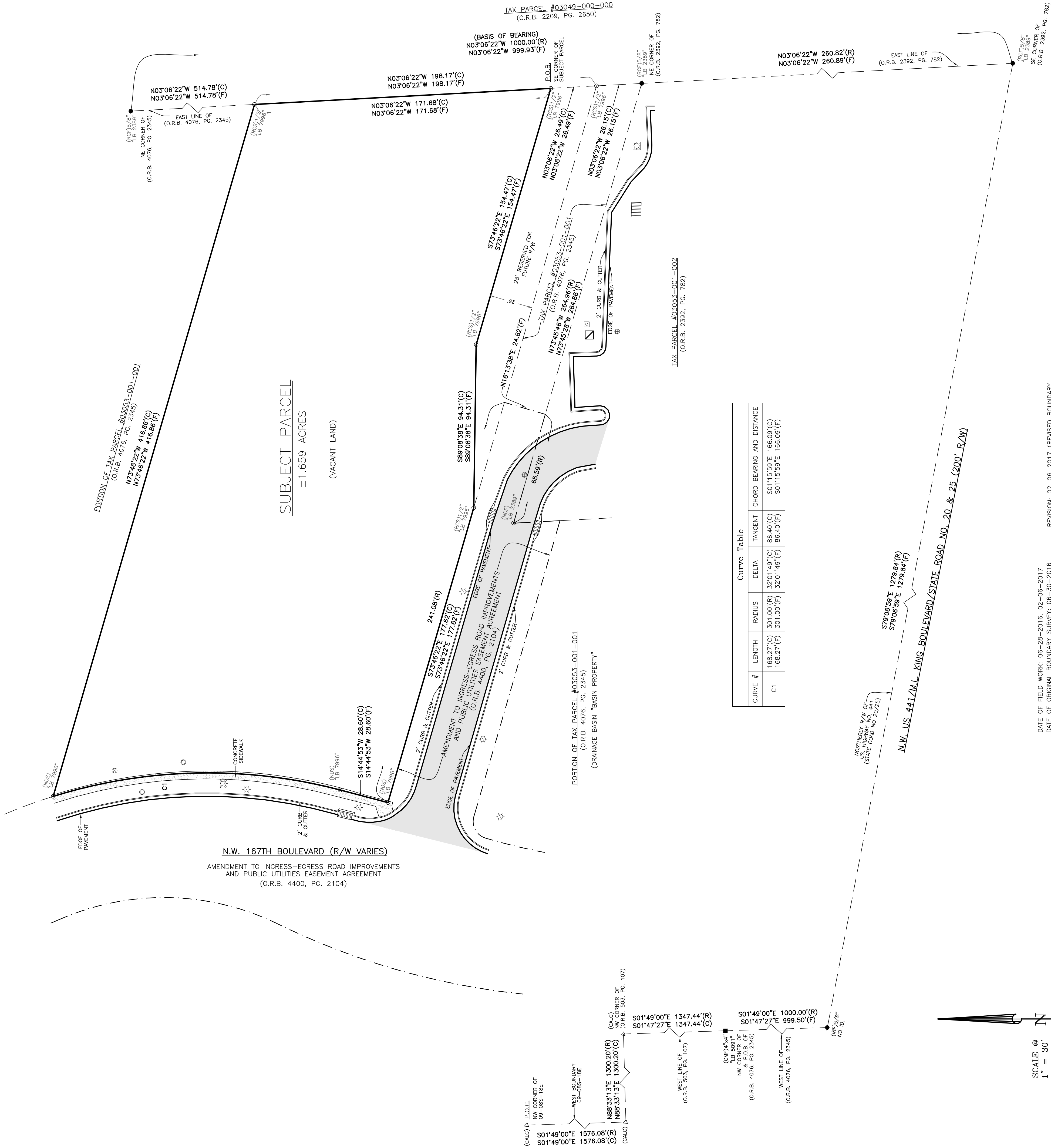
SAID PARCEL OF LAND CONTAINING 1.659 ACRES, MORE OR LESS.

SURVEYOR'S NOTES:

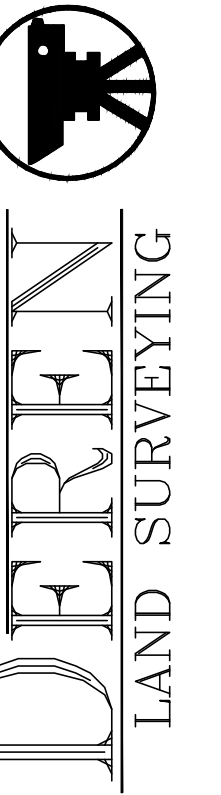
1. SURVEY BASED ON MONUMENTATION FOUND AND ACCEPTED AND ON LAND DESCRIPTIONS OF RECORD AS SHOWN ON THIS SURVEY.
2. BEARINGS ARE BASED ON A RECORDED CALL OF N03°06'22"W FOR THE EASTERLY LINE OF THAT CERTAIN TRACT OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 4076, PAGE 2345.
4. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS SIGNED AND SEALED BY THE LAND SURVEYOR IN RESPONSIBLE CHARGE.
5. UNLESS NOTED, NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS WERE LOCATED FOR THIS SURVEY. FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
6. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAYS, AND/OR OWNERSHIP WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN.
7. ONLY ABOVE GROUND UTILITIES WERE LOCATED FOR THIS SURVEY.
8. NORTH ARROW IS BASED ON BEARING STRUCTURE.
9. CERTIFICATION IS NOT TRANSFERABLE.
10. THE PURPOSE OF THIS SURVEY IS TO SHOW BOUNDARY INFORMATION AND IMPROVEMENTS. IT IS NOT TO BE USED FOR ARCHITECTURAL, ENGINEERING, DESIGN OR CONSTRUCTION PURPOSES.
11. THIS SURVEY COMPLIES WITH THE FLORIDA STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER SJ-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

FLOOD ZONE:

IT IS THE OPINION OF THIS LAND SURVEYOR BASED ON AN INTERPRETATION OF F.I.R.M. PANEL NO. 140 OF 640, COMMUNITY PANEL NO. "120664 0140 U" THAT THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN). MAP EFFECTIVE DATE JUNE 16, 2006.



LOCATION MAP: NOT TO SCALE



KRIS ANN GATH P.S.M.
GAINESVILLE, FLORIDA 32609
PHONE: (352) 331-0010
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FAX: (352) 336-1084
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DERENLANDSURVEYING.COM

DATE OF FIELD WORK: 06-28-2016, 02-06-2017
DATE OF ORIGINAL BOUNDARY SURVEY: 06-30-2016
DATE OF REVISED BOUNDARY SURVEY: 02-06-2017
FOR 25' FUTURE RIGHT-OF-WAY

REVISION: 02-06-2017 (REVISED BOUNDARY FOR 25' FUTURE RIGHT-OF-WAY)

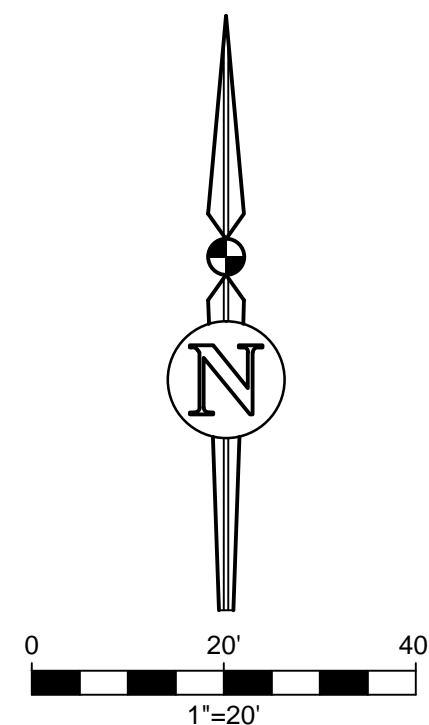
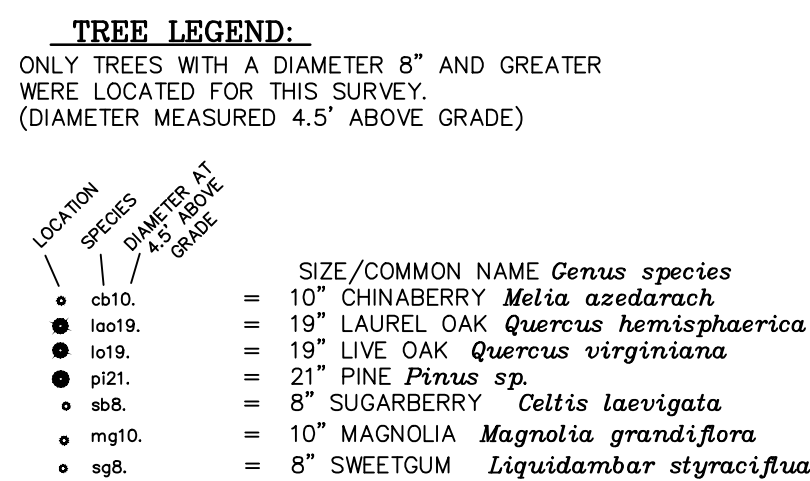
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DATE OF REVISED BOUNDARY SURVEY: 02-06-2017
FOR 25' FUTURE RIGHT-OF-WAY

A PORTION OF SECTION 9, TOWNSHIP 8 SOUTH, RANGE 18 EAST,
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA
FOR
SOUTHERN EQUITY INVESTMENTS, INC.



- | LEGEND OF SYMBOLS & ABBREVIATIONS: | |
|------------------------------------|--------------------------------|
| CONC | CONCRETE |
| CPE D | CORRUGATED POLY-ETHYLENE PIPE |
| Δ | DELTA (CENTRAL) ANGLE |
| R | RADIUS |
| A | ARC |
| T | TANGENT |
| CB | CHORD BEARING |
| CD | CHORD DISTANCE |
| ELEV | ELEVATION |
| ID | IDENTIFICATION |
| N | NUMBER |
| O.R. | OFFICIAL RECORDS BOOK |
| P.C.S. | PAGES |
| PVC | POLY-VINYL CHLORIDE |
| R/C | REINFORCED CONCRETE PIPE |
| W | WITH |
| O CQ | SANITARY CLEAN-OUT |
| ⊙ | FIRE HYDRANT |
| ● | FOUND NAIL & DISK (ID) |
| ⊙ | FOUND LEEBARK & CAP (size, ID) |
| ELECTR | ELECTRICAL HANDHOLE |
| ⊙ | LIGHT POLE |
| ⊙ | MANHOLE |
| ⊙ | SIGN |
| ⊙ | ELEVATION CONTOUR LINE |
| ⊙ | FENCE LINE |
| ⊙ | SPOT ELEVATION |

- NOTES:**
- 1) ELEVATIONS SHOWN HEREON WERE BASED ON AN ELEVATION OF 89.37 FEET (29 NGVD) ON TOP OF A 4"x4" CONCRETE MONUMENT AND DISK, FLORIDA D.O.T. BM NO. 39.
 - 2) BEARINGS AS SHOWN HEREON WERE PROJECTED FROM A BEARING OF S 01°49'00"E ON THE WEST BOUNDARY OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 18 EAST.
 - 3) BEARINGS AND DISTANCES SHOWN IN PARENTHESES () REFER TO LEGAL DESCRIPTION WHERE THEY DIFFER FROM FIELD MEASUREMENT.
 - 4) ALL CURB TYPES AS SHOWN ARE PER FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 300.
 - 5) NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY THE SURVEYOR, THEREFORE, THERE MAY BE RESTRICTIONS OTHER THAN THOSE SHOWN HEREON WHICH MAY BE FOUND IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA. EASEMENTS AND BUILDING SETBACK REQUIREMENTS, OTHER THAN THOSE SHOWN, WERE NOT PROVIDED TO THIS SURVEYOR.

[illegible]

edwards **40** years

la engineers-survivors-planners, inc.

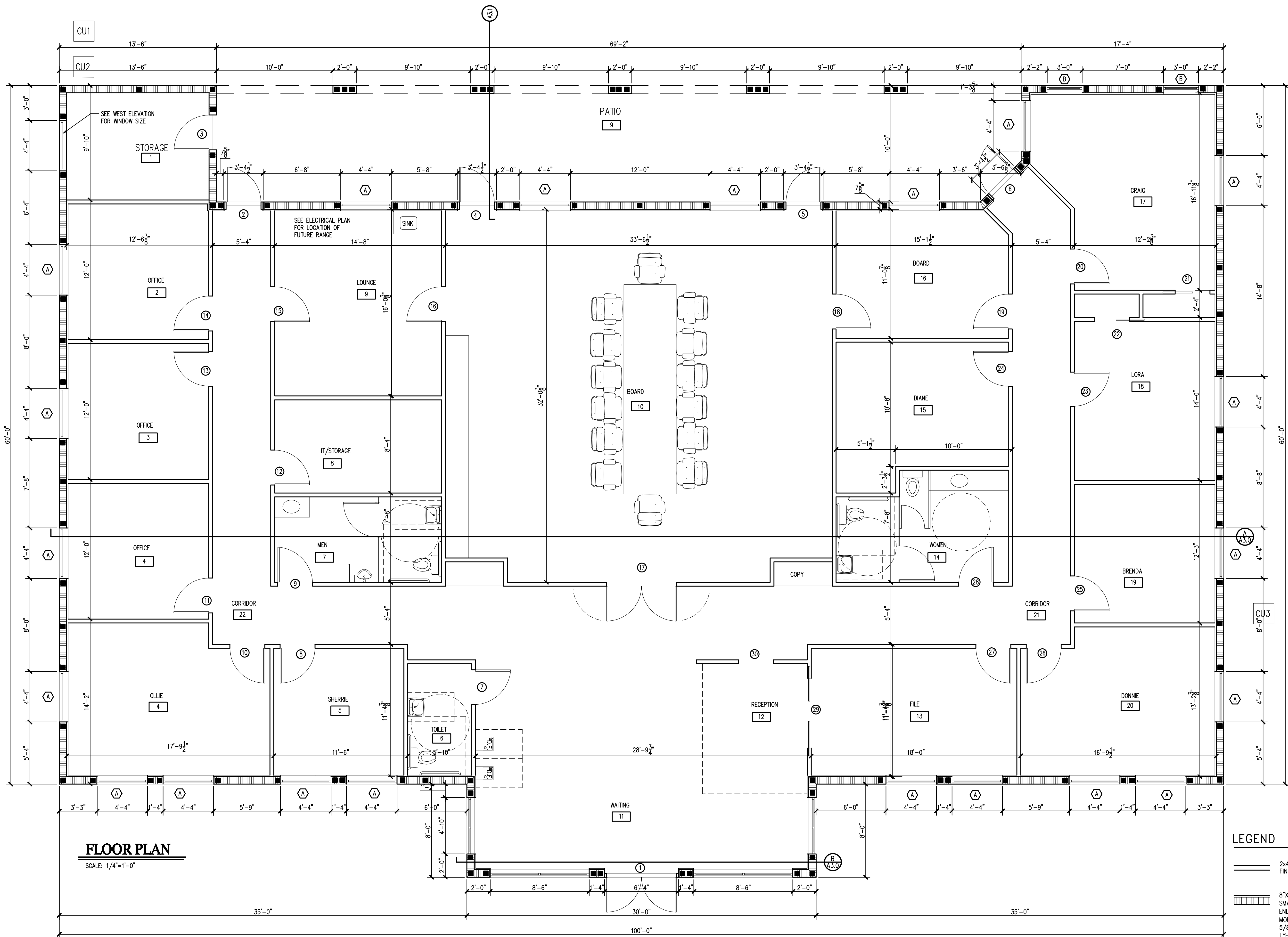
LB 2389
2604 N.W. 47th ST. GAINESVILLE, FL 32606-6602
TEL: (352) 333-7249 FAX: (352) 373-7249
E-MAIL: mail@edsi.com

Project No.	eda engineers-surveyors-planners, inc.	
2016-0269 S01	Corporate Authorization No. LB 2389	
Drawn	SG/AL	P.S.M. 4239
Check	B.G.	
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. COPYRIGHT © 2016		
By: ROBERT W. GRAVER		

Fieldbook	Page	Survey Date	Drainage Completed	Revised
954	31-33	12/16/16		12/23/16

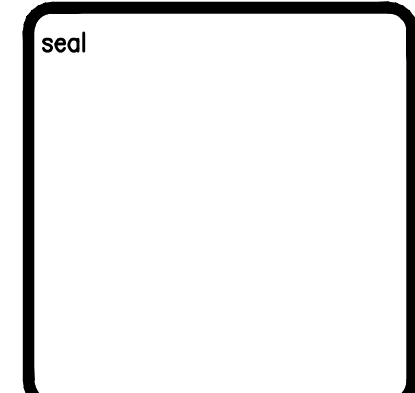
PREPARED FOR:) SOUTHERN EQUITY INVESTMENTS, INC.

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF SURVEYING AND MAPPING, CHAPTER 11S-22.01, F.A.C. 11S-22.01(1) ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.07, F.L.A.S. 171.01, F.S. 171.01(1). THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 12/16/16.



LEGEND

- 2x4 STUDS AT 24" O.C. W/ 5/8" GYP. BRD. FINISH AS IN EXISTING BUILDING, TYP.
- 8"x8"x16" CONCRETE BLOCK FILLED WITH SMALL ROCK CONCRETE W/ (1) #5 VERT @ ENDS, OPENINGS AND 6'-0" O.C. TYPE "S" MORTAR W/ 3/4" FURRING AT 24" O.C. W/ 5/8" GYP. BRD. 3/4" RIGID INSULATION, TYP.



LIC. No. AA0002469
3615 N.W. 13th. Street
Gainesville, FL 32609
Phone (352) 372-6477
Fax (352) 338-4476

**EUGENE
RUSSELL
DAVIS**
architect inc.

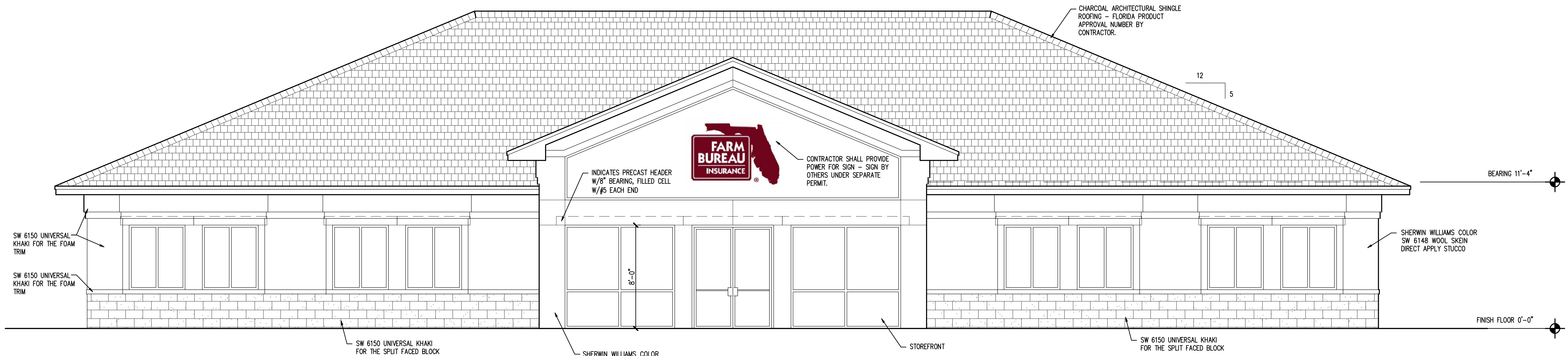
**NEW OFFICE
FOR
FARM BUREAU**
NW 16TH BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08
DRAWN: **das**
CHECKED: **ERD**
DATE: 2-6-17

revisions:

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FLOOR PLAN
Drawing no.:
A1.0



SOUTH ELEVATION

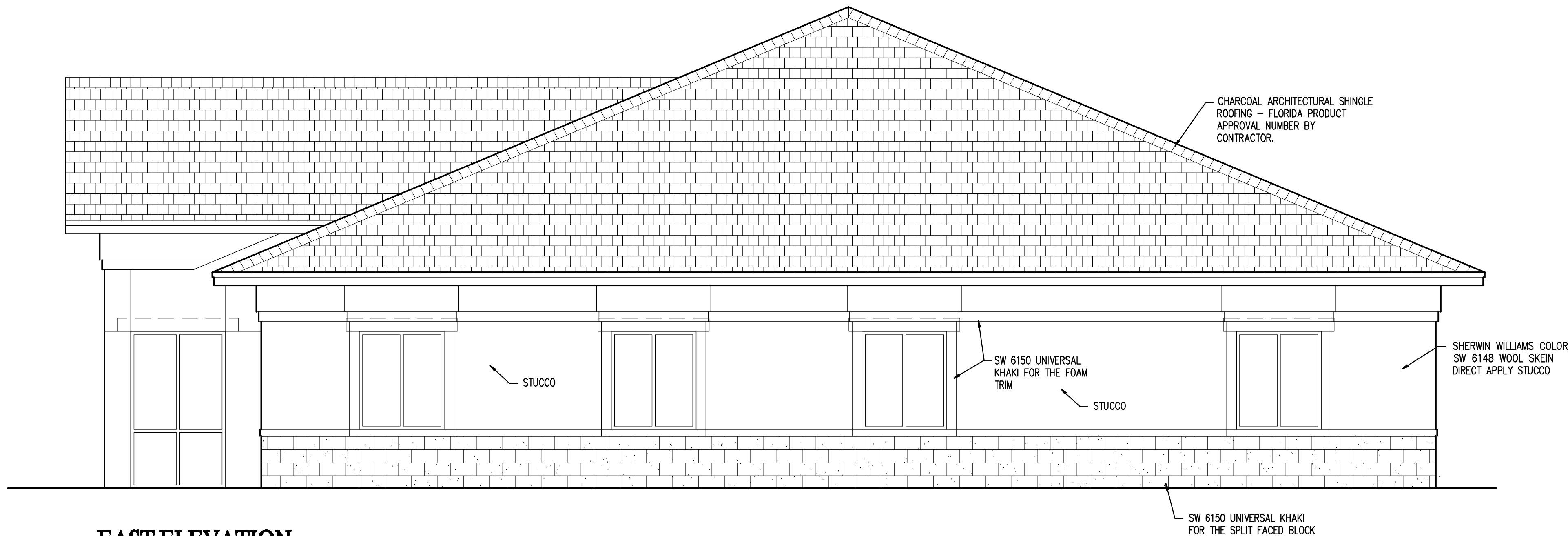
SCALE: 1/4"=1'-0"

WALL FINISH PERCENTAGES	
SPLIT FACED BLOCK	18%
DIRECT APPLIED SYNTHETIC STUCCO	25%
FOAM BANDING WITH SYNTHETIC STUCCO	14%

GLAZING	
WALL S.F.	1035 S.F.
GLAZING REQUIRED	362 S.F.
GLAZING PROVIDED	363 S.F.

ITEMS IN COMPLIANCE WITH CITY'S
LAND DEVELOPMENT REGULATIONS
3 REQUIRED/5 PROVIDED

- d. RECESSES AND/OR PROJECTIONS
THE PROJECTION OF THE FRONT ENTRY
- e. ROOF OVERHANG ... TWO-FOOT OVERHANG FOR BUILDINGS 50
TO 100 FEET WIDE ...
2'-0" ROOF OVERHANG
- f. VARIED ROOF LINES
VARIED ROOF LINES AND DIRECTION
- g. ARTICULATED CORNICE LINES
STUCCO BANDS/ARTICULATED CORNICE LINES
- k. CHANGE IN BUILDING MATERIALS
SPLIT FACE BLOCK/STUCCO/COLORS AS NOTED
- l. PROMINENT PUBLIC ENTRANCE DEFINE BY SUBSTANTIVE
ARCHITECTURAL FEATURES
FRONT ENTRY PROJECTS OUT FROM BUILDING WITH FULL
LENGTH STOREFRONT, BRAKE IN BUILDING MATERIAL AND
DIFFERING ROOF HEIGHT AND DIRECTION



EAST ELEVATION

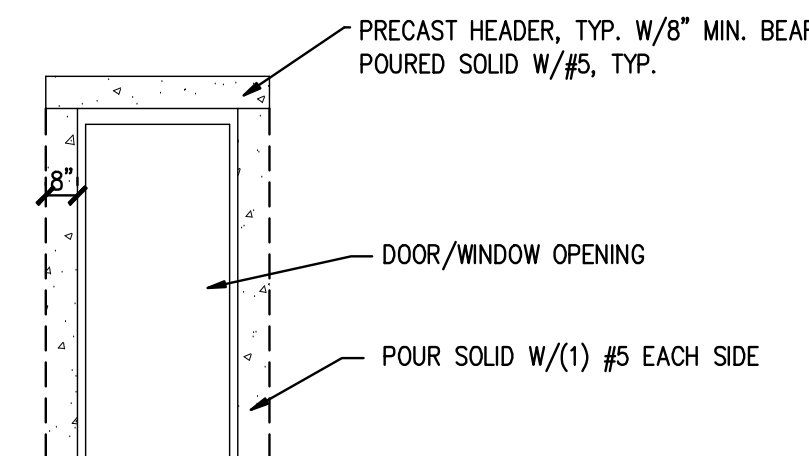
SCALE: 1/4"=1'-0"

WALL FINISH PERCENTAGES	
SPLIT FACED BLOCK	23%
DIRECT APPLIED SYNTHETIC STUCCO	37%
FOAM BANDING WITH SYNTHETIC STUCCO	23%

GLAZING	
WALL S.F.	703 S.F.
GLAZING REQUIRED	105 S.F.
GLAZING PROVIDED	135 S.F.

TYPICAL HEADER/BEARING DETAIL

SCALE: 1/4"=1'-0"



NOTE
COLORS MAY CHANGE SLIGHTLY, OR
MAY BE PICKED BY OWNER AT
LATER.

seal

LIC. No. AA0002469
3615 N.W. 13th. Street
Gainesville, FL 32609
Phone (352) 372-6477
Fax (352) 338-4476

EUGENE
RUSSELL
DAVIS
architect inc.

architect

NEW OFFICE
FOR
FARM BUREAU
NW 16TH BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08

DRAWN: **das**

CHECKED: **ERD**

DATE: 2-6-17

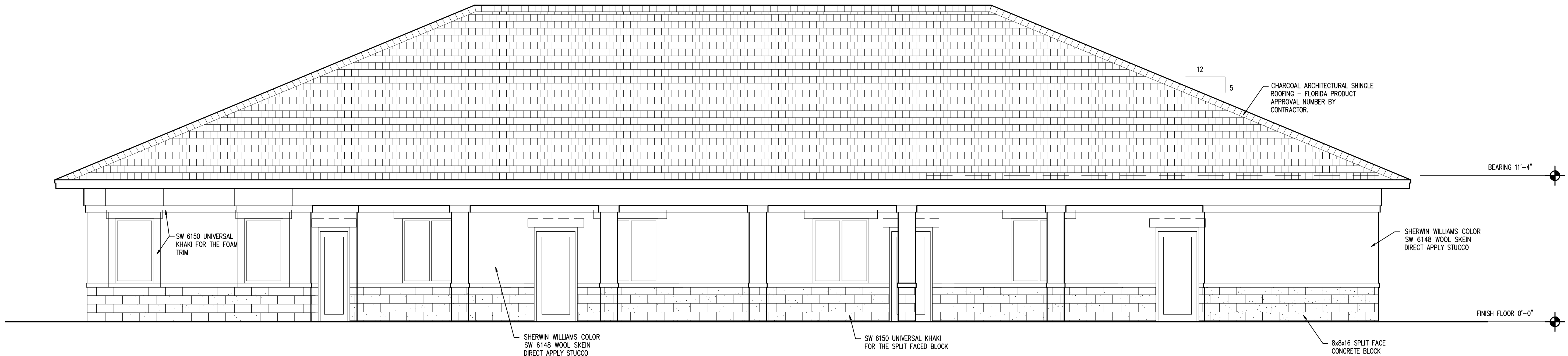
revisions:

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ELEVATIONS

drawing no.:

A2.0



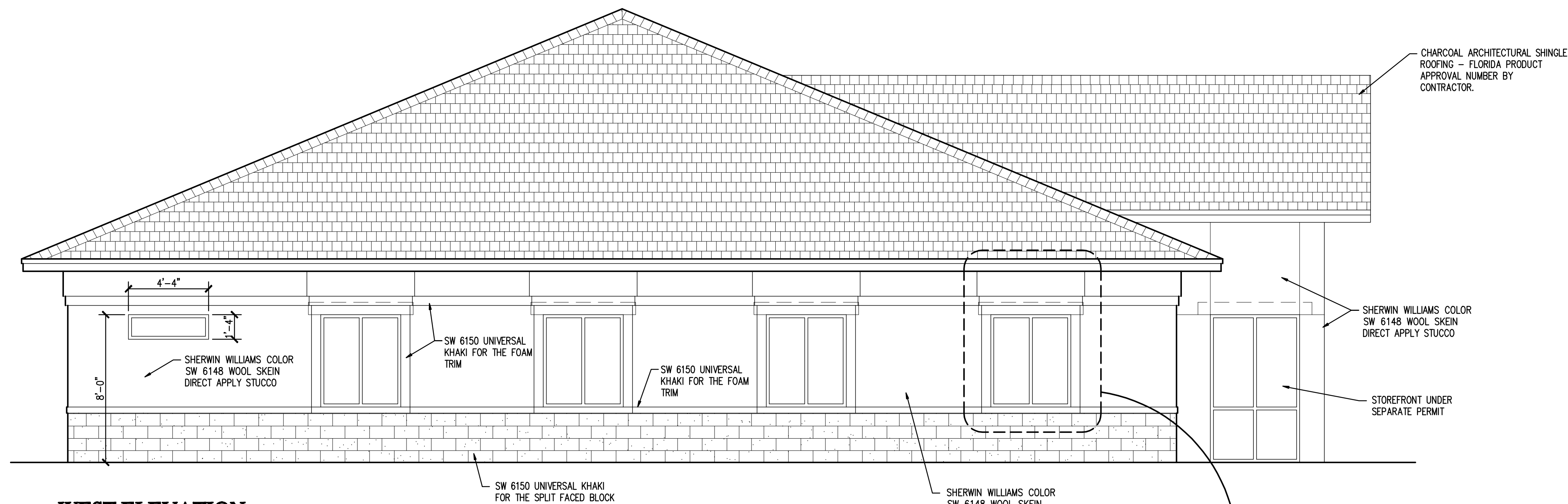
NORTH ELEVATION

SCALE: 1/4"=1'-0"

WALL FINISH PERCENTAGES	
SPLIT FACED BLOCK	25%
DIRECT APPLIED SYNTHETIC STUCCO	38%
FOAM BANDING WITH SYNTHETIC STUCCO	22%

GLAZING	
WALL S.F.	1035 S.F.
GLAZING REQUIRED	155 S.F.
GLAZING PROVIDED	170 S.F.

CONTRACTOR SHALL PROVIDE ALL
REQUIRED FLORIDA PRODUCT
APPROVAL NUMBERS.

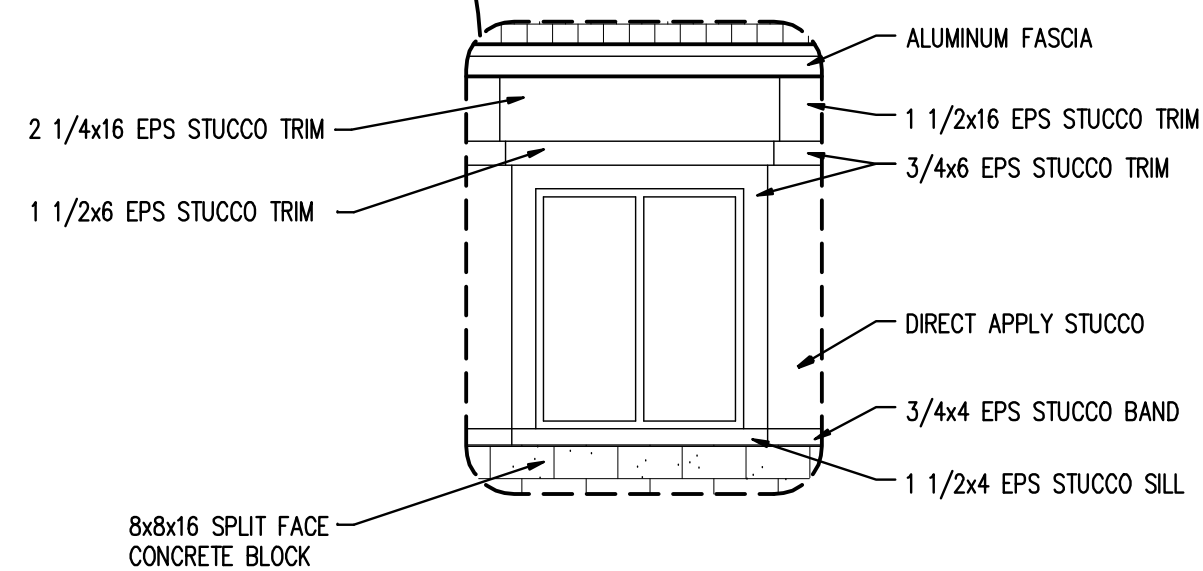


WEST ELEVATION

SCALE: 1/4"=1'-0"

WALL FINISH PERCENTAGES	
SPLIT FACED BLOCK	23%
DIRECT APPLIED SYNTHETIC STUCCO	36%
FOAM BANDING WITH SYNTHETIC STUCCO	23%

GLAZING	
WALL S.F.	703 S.F.
GLAZING REQUIRED	140 S.F.
GLAZING PROVIDED	141 S.F.

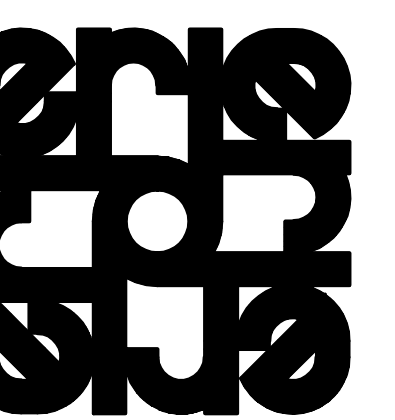


NOTE
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LATER.

seal

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NEW OFFICE
FOR
FARM BUREAU
NW 16TH BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08

DRAWN: **das**

CHECKED: **ERD**

DATE: 2-6-17

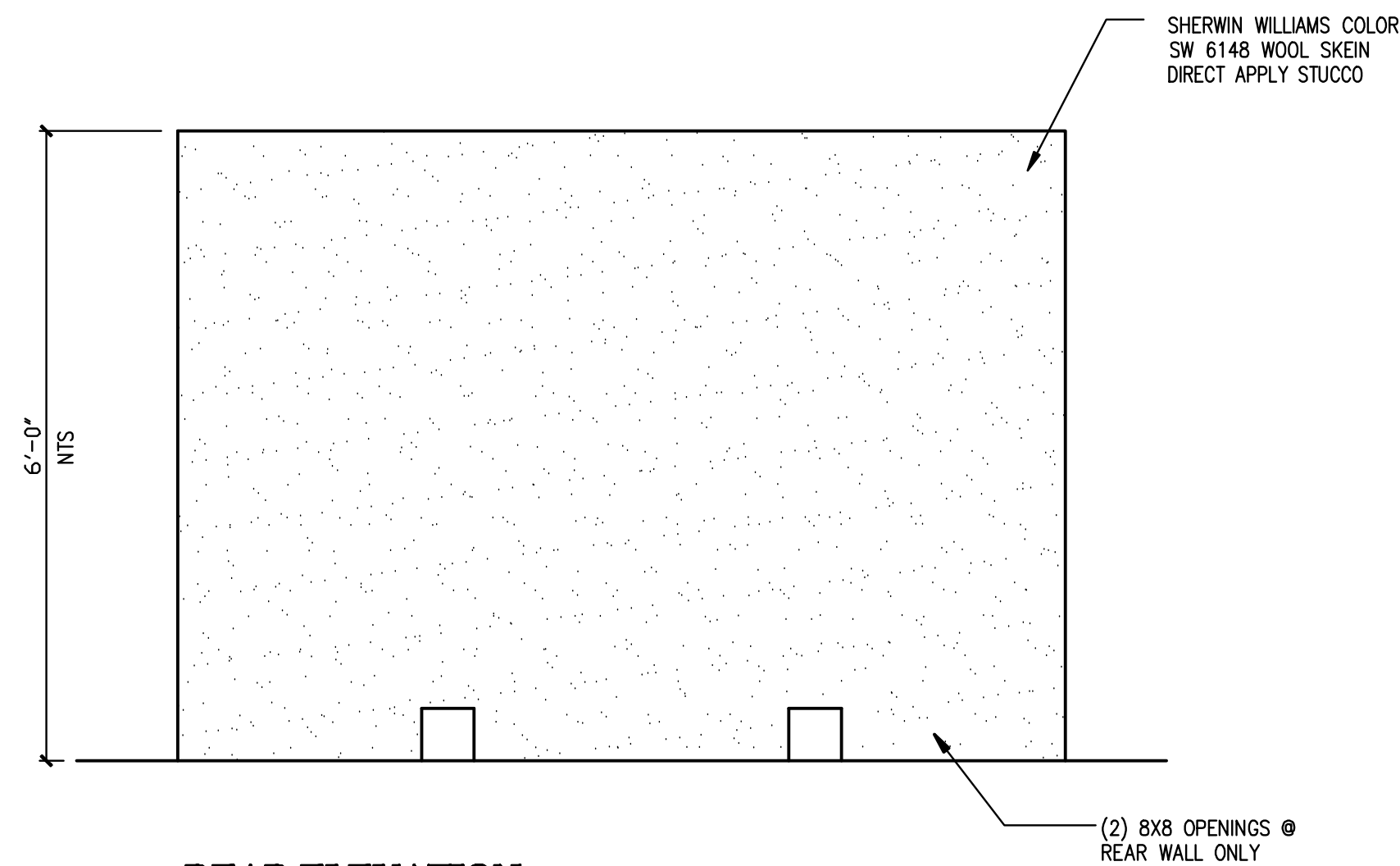
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ELEVATIONS

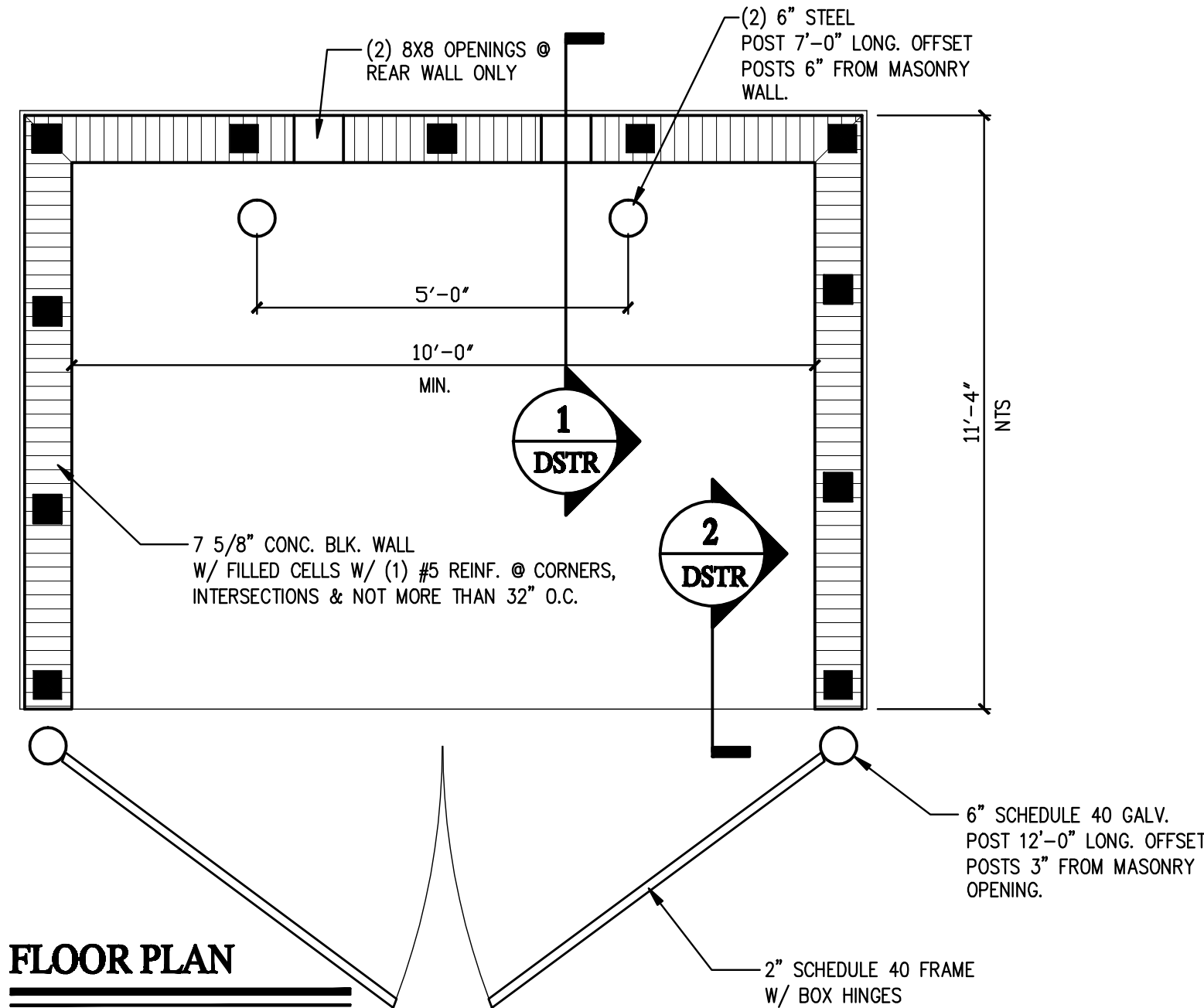
drawing no.:

A2.1



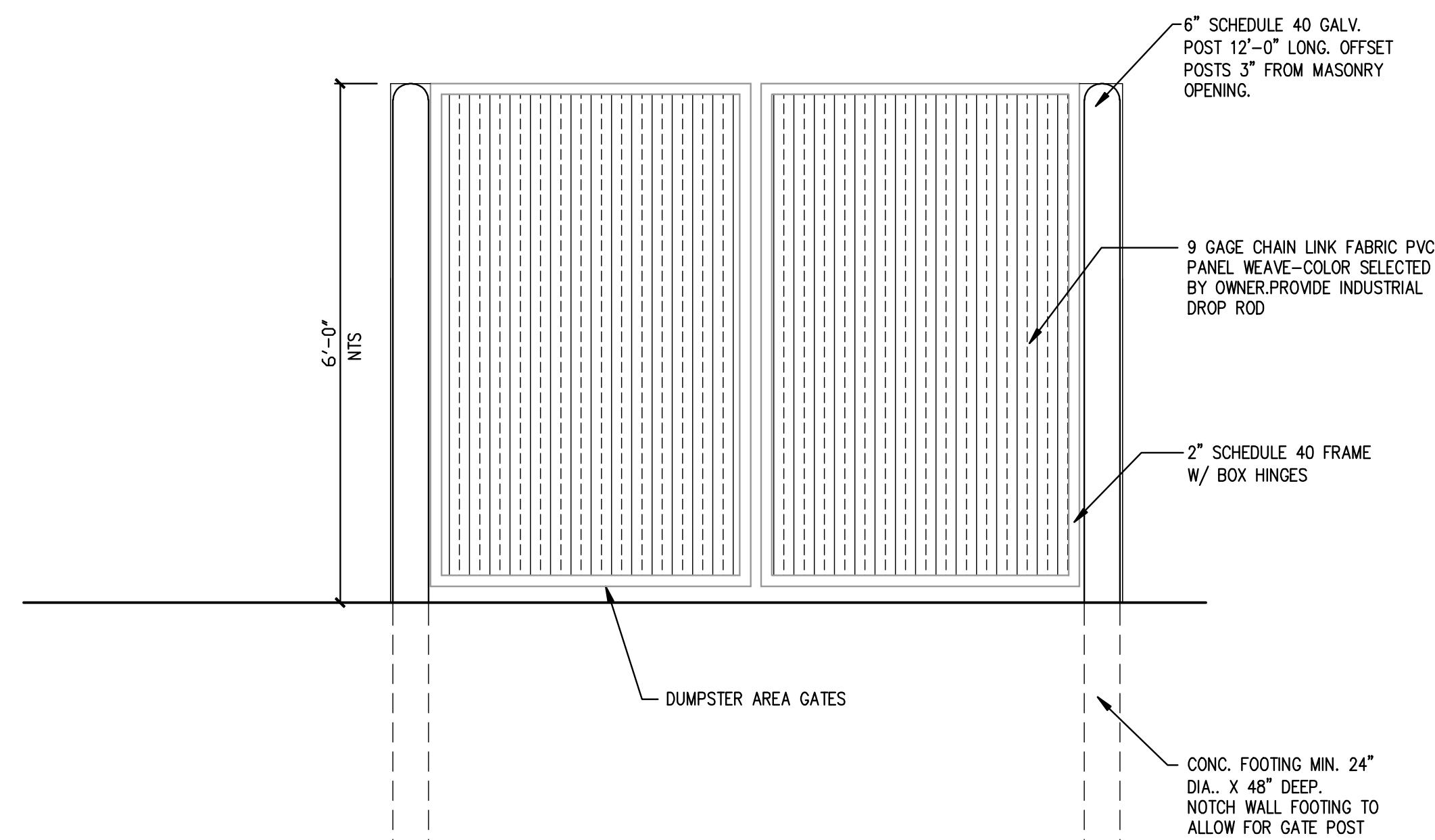
REAR ELEVATION

SCALE: 1/2"=1'



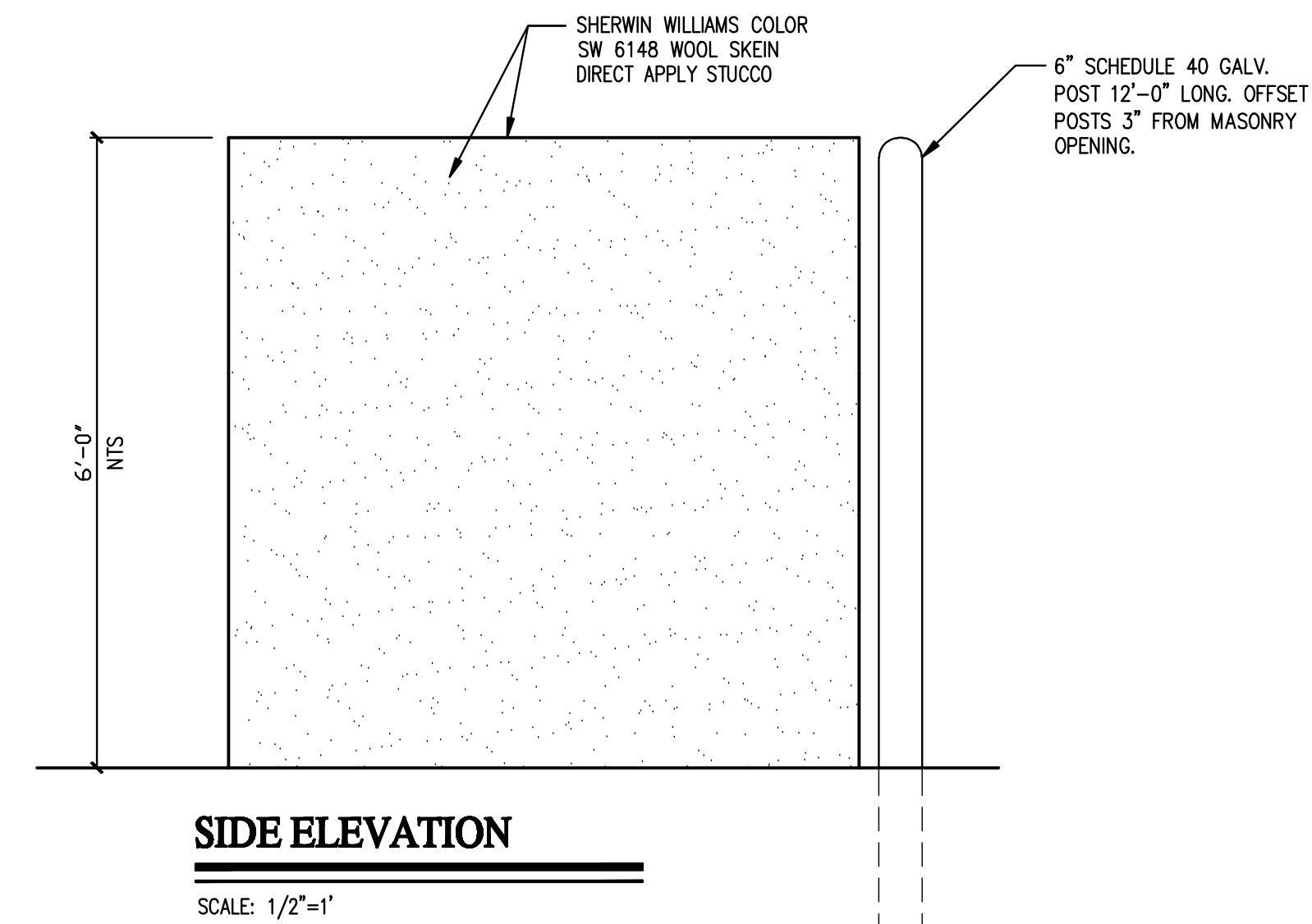
FLOOR PLAN

SCALE: 1/2"=1'



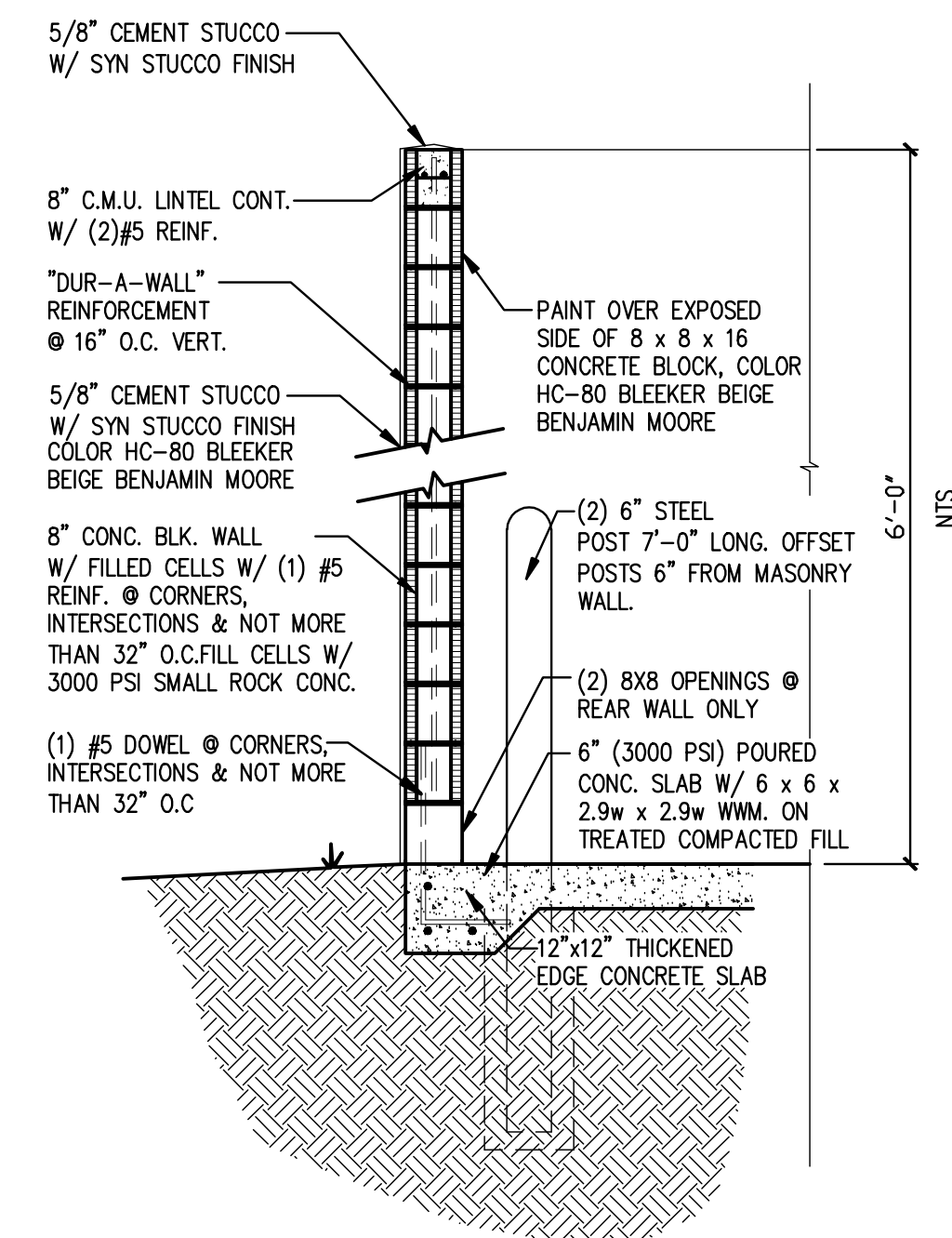
FRONT ELEVATION

SCALE: 1/2"=1'



SIDE ELEVATION

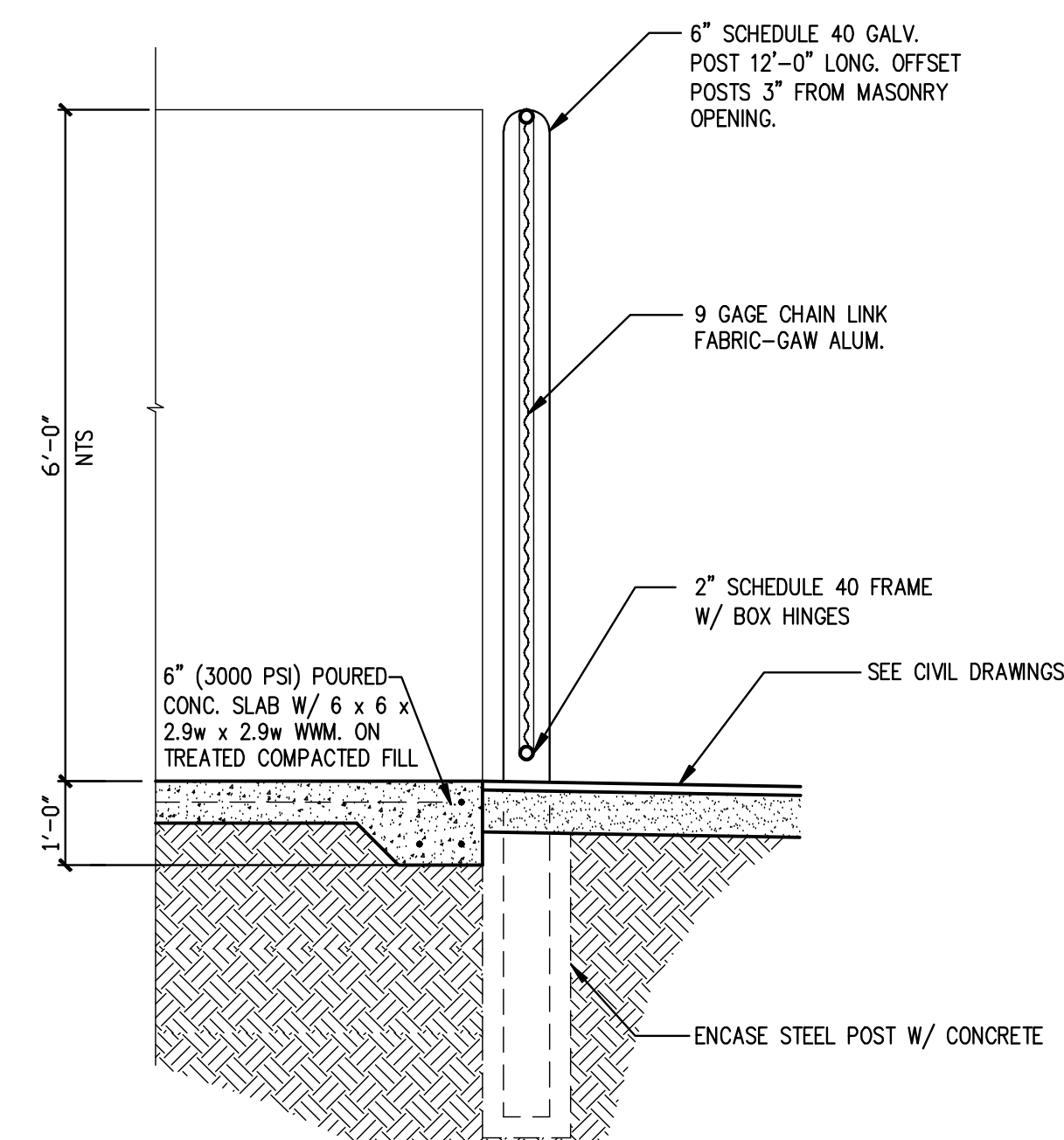
SCALE: 1/2"=1'



SECTION

SCALE: 1/2"=1'

1
DSTR



SECTION

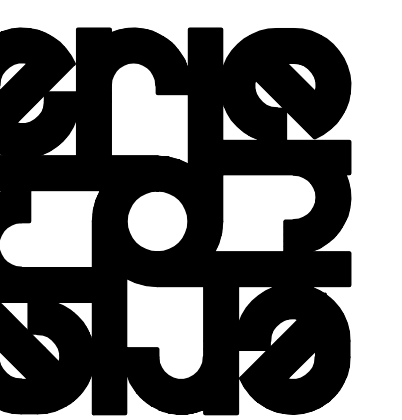
SCALE: 1/2"=1'

2
DSTR

seal

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Gainesville, FL 32609
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RUSSELL
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architect inc.



NEW OFFICE
FOR
FARM BUREAU
NW 167th BOULEVARD ALACHUA, FLORIDA

PROJ. NO.: 2016-08

DRAWN: das

CHECKED: ERD

DATE: 2-6-17

revisions:

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DUMPSTER ENCLOSURE SCREEN

drawing no.:

DSTR

OR

AN ORDINANCE
FLORIDA, RELAT
THAN FIVE PERCI
THE CITY, PURSU
CITY OF NEWBE
ZONING ATLAS O
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(A) TO CITY OF
AND ALACHUA
BUSINESS TO CI
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CORPORATE LIM
FLORIDA WHICH
PROVIDING SEV
ORDINANCES IN
EFFECTIVE DATE

All parcels are being
to City of Newberry
01924-010-003, whic
Agriculture-Rural Bu
Commercial Neighbor



Copies of the proposed
by metes and bounds
Newberry Planning &
located at 25815 S.W.
regular business hours.

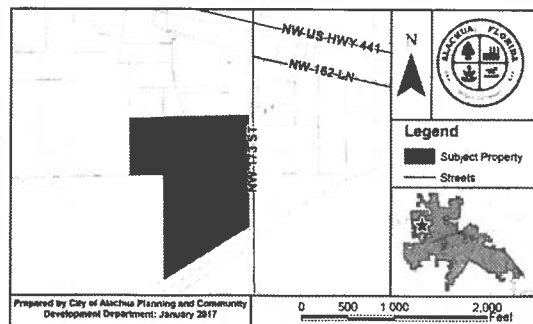
If a person or entity de
city of Newberry City
considered at such me
will need a record of t
the individual or entity
of the proceedings is n
and evidence upon whi
ordinance is available
bounds description of
available at the Newber

(Published:Alach

City of ALACHUA

NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

Notice is hereby given that the Planning & Zoning Board of the City of Alachua will hold a public hearing on March 14, 2017, at 6:00 p.m. The hearing will be held in the James A. Lewis Commission Chambers in City Hall, located at 15100 NW 142nd Terrace, Alachua, Florida, to consider the following: A request by Jamie Poulos, of Poulos & Bennett, LLC, applicant and agent, for RL REGI Florida, LLC, property owner, for consideration of a Large Scale Comprehensive Plan Amendment (LSCPA) to the City of Alachua Future Land Use Map (FLUM) to amend the FLUM from Medium Density Residential to Moderate Density Residential on a ±35.82 acre subject property. The ±35.82 acre property subject to the proposed amendment is located to the west of NW 173rd Street (also known as County Road 235A), approximately 1,000 feet south of the intersection of NW US Highway 441 and NW 173rd Street, consisting of Tax Parcel Numbers 03042-050-006, 03042-050-007, 03042-052-002, 03042-052-003, 03042-052-004, 03042-052-005, and 03042-052-006; Existing FLUM: Medium Density Residential; Existing Zoning: Residential Multiple Family – 8 (RMF-8).



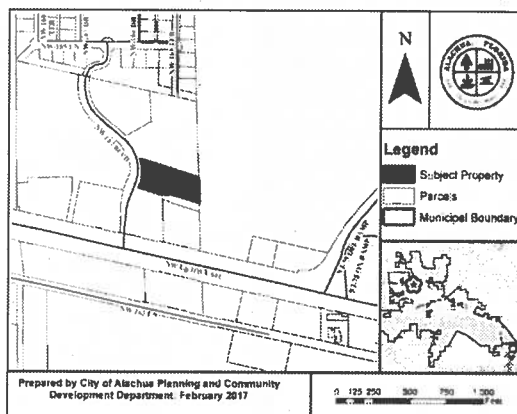
At the public hearing, all interested parties may appear and be heard with respect to the application. Copies of the application are available for public inspection at the Planning and Community Development Department, 15100 NW 142nd Terrace, Alachua, Florida, on any regular business day between the hours of 7:30 a.m. to 6:00 p.m. Written comments on the application may be sent to the following address: City of Alachua, Planning and Community Development, P.O. Box 9, Alachua, FL 32616. Notice is given pursuant to Section 286.0105, Florida Statutes, that, in order to appeal any decision made at the public hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, any persons with a disability requiring reasonable accommodation in order to participate in this meeting should call the City Clerk at (386) 418-6100 x 101 at least 48 hours prior to the public hearing.

(Published: Alachua County Today - March 02, 2017)

City of ALACHUA

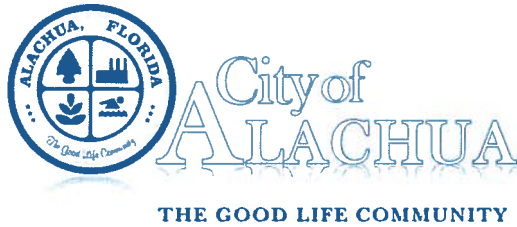
NOTICE OF PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD OF THE CITY OF ALACHUA, FLORIDA

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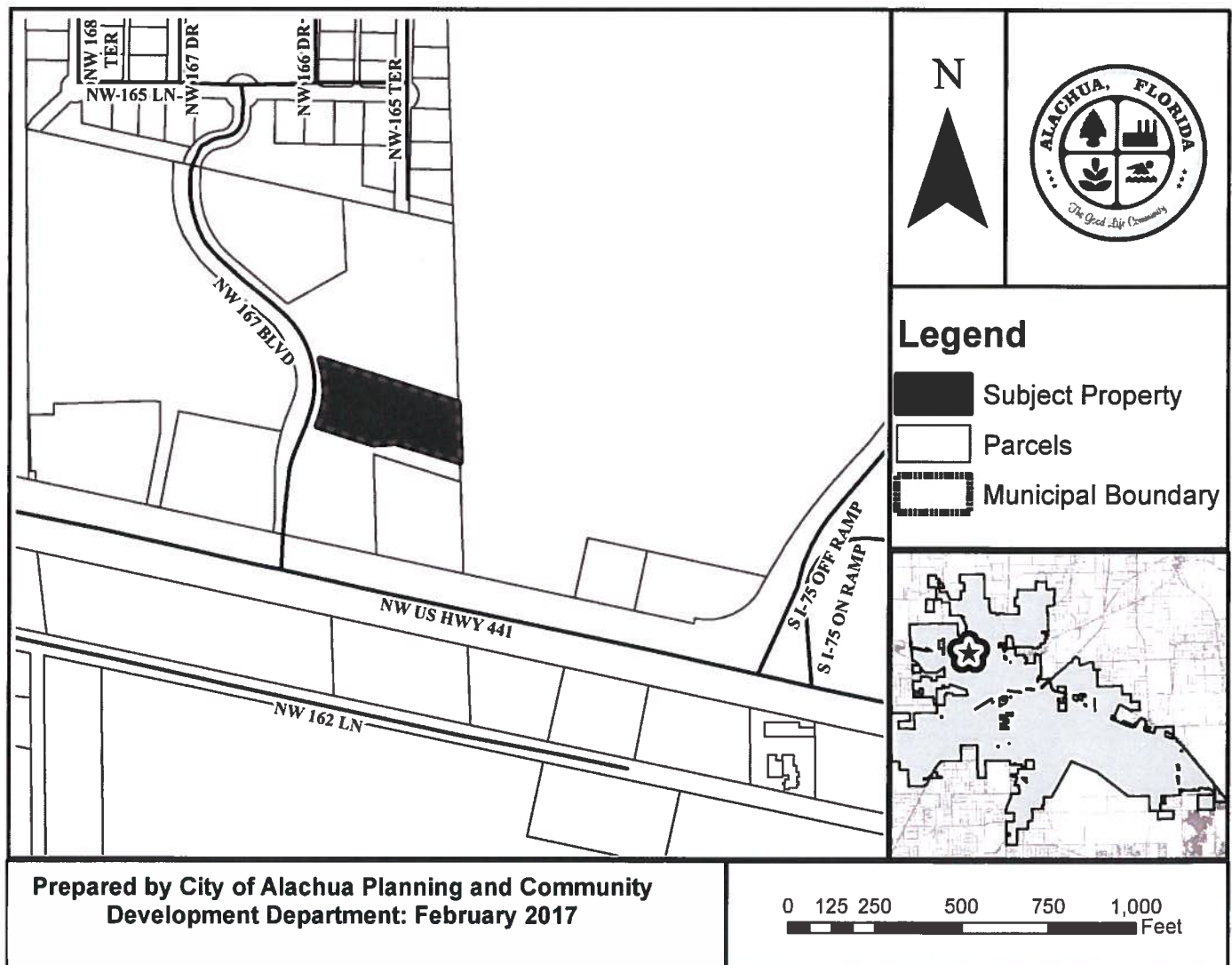
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03049-000-000
MEGAHEE ENTERPRISES LTD.,LLLP
2632 NW 43RD ST # 2138
GAINESVILLE FL 32606

03049-003-000
MURPHY'S LOT LLC
2632 NW 43RD ST STE 2138
GAINESVILLE FL 32606-7545

03053-000-000
CAVACEPPI, SHARLEEN O TRUSTEE
PO BOX 1325
ALACHUA FL 32616-1325

03053-001-001
HIPP INVESTMENTS LLC
14610 NW 129TH TER
ALACHUA FL 32615

03053-001-002
TALAL PROPERTIES LTD & TAREK
1326 E LUMSDEN RD
BRANDON FL 33511

03053-001-003
RACETRAC PETROLEUM INC
PO BOX 56607
ATLANTA GA 30343

03053-001-004
ALACHUA-WINDCREST LLC
605 EAST ROBINSON ST STE 340
ORLANDO FL 32801

03053-001-005
A MASON GRACE RENTALS LLC
13929 NW 166TH TER
ALACHUA FL 32615

03053-002-000
PATEL, INDIRA K
8706 SADDLEHORN DR
IRVING TX 75063

03053-010-000
HERITAGE OAKS PROPERTY, OWNERS
PO BOX 969
Alachua FL 32516

03053-010-001
STEVENS JOHN J & JAMIE N
16775 NW 165TH LANE
ALACHUA FL 32615

03053-010-002
DOLBEC RICHARD D II & LAUREN K
16813 NW 165TH LANE
Alachua FL 32615

03053-010-003
GRIEVE THOMAS H & MELISA A
16843 NW 165TH LN
ALACHUA FL 32615

03053-010-004
BROOKS TODD B
16873 NW 165TH LN
ALACHUA FL 32615

03053-010-011
AXIAK LAURA ANNE
16611 NW 165TH TER
ALACHUA FL 32615

03053-010-012
FROMHOLT DAVID B & SUSAN E
16575 NW 165TH TER
ALACHUA FL 32615

03053-010-013
JELMBERG MICHAEL & MARY
16545 NW 165TH TER
ALACHUA FL 32615

03053-010-014
FORD NATHANIEL M III & TIROSHA T
16515 NW 165TH TER
ALACHUA FL 32615

03053-010-015
MITCHELL CHARLES E & NANCY E
16530 NW 165TH TER
ALACHUA FL 32615

03053-010-016
CARTER DIANE S
8502 NW 35TH RD
GAINESVILLE FL 32606

03053-010-017
NYGAARD & STRATTAN
16567 NW 165TH LN
ALACHUA FL 32615

03053-010-018
WALLACE CHARLES E & PATRICIA A
16621 NW 165TH LN
ALACHUA FL 32615

03053-010-019
MANDARINO TERRANCE M & LISA
CLARK
16651 NW 165TH LN
ALACHUA FL 32615

03053-010-044
GEPHART RALPH G & DOROTHY J
16623 NW 168TH TER
ALACHUA FL 32615

03053-010-045
NOTO & NOTO
16603 NW 168TH TER
Alachua FL 32615

03053-010-046
BOLANOS & MCKERCHER W/H
16642 NW 167TH DR
ALACHUA FL 32615

03053-010-047
ROGERS, MICHAEL C & FELICIA GA
16622 NW 167TH DR
ALACHUA FL 32615-6497

03053-010-048
WESTBROOK BENTON C & DORA H
16602 NW 167TH DR
ALACHUA FL 32615

03053-010-051
HARRIS AARON A
16609 NW 166TH DR
ALACHUA FL 32615

03053-010-053
DAVIS RICHARD E JR & MAUREEN
16624 NW 165TH TER
ALACHUA FL 32615

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SANTA ANA CA 92705

03061-004-001
CIRCLE K STORES INC
PO BOX 8019
GARY NC 27512-9998

03053-010-050

3053-001-006
VYSTAR CREDIT UNION
4949 BLANDING BLVD
JACKSONVILLE FL 32210

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Gainesville, FL 32653

Dan Rhine
288 Turkey Creek
Alachua, FL 32615

Tom Gorman
9210 NW 59th Street
Alachua, FL 32653

Richard Gorman
5716 NW 93rd Avenue
Alachua, FL 32653

Peggy Arnold
410 Turkey Creek
Alachua, FL 32615

David Forest
23 Turkey Creek
Alachua, FL 32615

John Tingle
333 Turkey Creek
Alachua, FL 32615

President, TCMOA
1000 Turkey Creek
Alachua, FL 32615

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UF Assistant Director Planning
PO Box 115050
Gainesville, FL 32611

Craig Parenteau
FL Department of Environmental Protection
4801 Camp Ranch Road
Gainesville, FL 32641

Jeannette Hinsdale
P.O. Box 1156
Alachua, FL 32616

Lynn Coullias
7406 NW 126th Ave
Alachua, FL 32615

Lynda Coon
7216 NW 126 Avenue
Alachua, FL 32615

Tamara Robbins
PO Box 2317
Alachua, FL 32616

Dr. Lee A. Niblock
Alachua County Manager
12 SE 1st Street
Gainesville, FL 32601

John Amerson
All County Marion Property Management
2916 NE Jacksonville Rd
Ocala, FL 34479

City Manager, City of Alachua
P.O. Box 9
Alachua, FL 32616

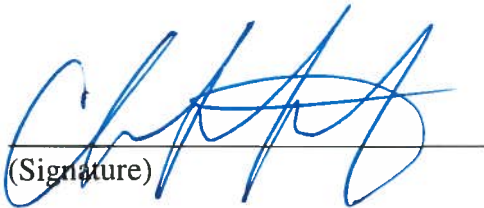


AFFIDAVIT FOR POSTED LAND USE SIGN

I Christopher Gmuer, POSTED THE LAND USE
(Name)
SIGN ON 2/27/2017 FOR THE Site Plan – Farm Bureau Insurance Office
(Date) (State type of action and project name)
LAND USE ACTION.

AS PER ARTICLE 2.2.9 D OF THE LAND DEVELOPMENT REGULATIONS.

THIS WILL BE INCLUDED IN THE STAFF REPORT.


(Signature)

1 - One
(Number of signs)