

VEMO AUTO AUCTIONS

CITY OF ALACHUA

PROJECT INFORMATION

PROJECT NAME: VEMO AUTO AUCTIONS
LOCATION: TPN 05949-013-000 & 05949-018-000
10100 CELLON CREEK BLVD
ALACHUA, FL 32615
PROPERTY OWNER: NEAL BRUCE D & LANETTE T
3728 NE 4TH ST
GAINESVILLE, FL 32609
CIVIL ENGINEER: CHRISTOPHER A. GMUER, PE
GMUER ENGINEERING, LLC
(352) 281-4928 - chrisg@gmuering.com
2803 NW 13th ST BOX 314
GAINESVILLE, FL 32609
LANDSCAPE ARCH: ELISABETH MANLEY
(352) 363-7412 - emanley@manleydesign.net
/ IRRIGATION DESIGN: 3462 NW D AVE, 15TH AVENUE
GAINESVILLE, FL 32605
PHOTOMETRIC: JERRY DONALDSON
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13323 MILLHOPPER RD
GAINESVILLE, FL 32653
ZONING: ILW - LIGHT AND WAREHOUSE INDUSTRIAL DISTRICT

LEGAL DESCRIPTION:
PARCEL 1 (PER O.R. 4513, PAGE 1687)

A TRACT OF LAND SITUATED IN FRACTIONAL SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST, AND THE FERNANDEZ GRANT, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 18 EAST, BEING ON THE WEST LINE OF THE AFOREMENTIONED FRACTIONAL SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST FOR THE POINT OF REFERENCE AND RUN SOUTH 89 DEGREES 46 MINUTES 15 SECONDS EAST, ALONG AN EASTERLY PROJECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND ALONG THE NORTH LINE OF PARCEL "E" AS DESCRIBED IN OFFICIAL RECORDS BOOK 1659, PAGE 2265 ET SEQ., A DISTANCE OF 1659.70 FEET TO A CONCRETE MONUMENT AT THE INTERSECTION OF SAID NORTH LINE OF PARCEL "E" WITH THE EAST RIGHT OF WAY LINE OF A 100 FOOT WIDE FLORIDA POWER CORPORATION EASEMENT AND THE TRUE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 46 MINUTES 15 SECONDS EAST, ALONG SAID NORTH LINE OF PARCEL "E" A DISTANCE OF 577.17 FEET TO A STEEL ROD AND CAP; THENCE RUN NORTH 00 DEGREES 13 MINUTES 45 SECONDS EAST, A DISTANCE OF 575.17 FEET TO A STEEL ROD AND CAP; THENCE RUN NORTH 61 DEGREES 57 MINUTES 19 SECONDS WEST, A DISTANCE OF 473.21 FEET TO A STEEL ROD AND CAP; THENCE RUN SOUTH 89 DEGREES 51 MINUTES 08 SECONDS WEST, A DISTANCE OF 565.59 FEET TO A CONCRETE MONUMENT; THENCE RUN NORTH 81 DEGREES 17 MINUTES 39 SECONDS WEST, A DISTANCE OF 73.00 FEET TO A STEEL ROD AND CAP ON THE AFOREMENTIONED EAST RIGHT OF WAY LINE OF THE FLORIDA POWER CORPORATION EASEMENT; THENCE RUN SOUTH 00 DEGREES 36 MINUTES 26 SECONDS WEST, ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 247.55 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2 (PER O.R. 4513, PAGE 1649)

A PARCEL OF LAND SITUATED IN FRACTIONAL SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST, WITHIN THE FERNANDEZ GRANT, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

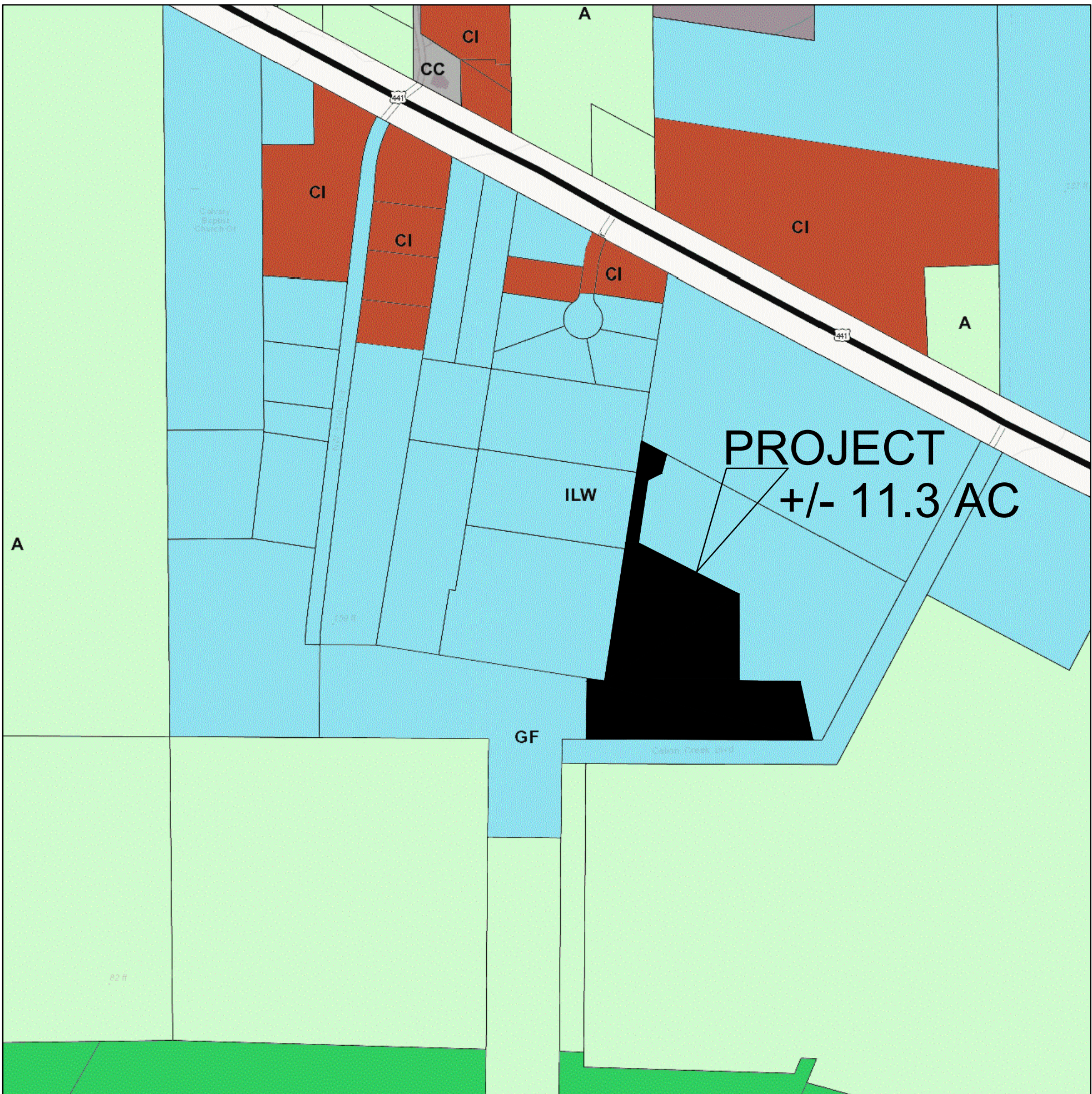
COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 18 EAST FOR A POINT OF REFERENCE, THENCE SOUTH 89°46'01" EAST, ALONG AN EASTERLY EXTENSION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND ALONG THE NORTH LINE OF PARCELS "D AND E", AS PER OFFICIAL RECORDS BOOK 1659, PAGE 2265 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, A DISTANCE OF 1659.81 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2896, PAGE 161 OF SAID PUBLIC RECORDS; THENCE SOUTH 89°46'37" EAST, CONTINUING ALONG SAID NORTH LINE OF PARCEL "E", A DISTANCE OF 577.14 FEET TO THE SOUTHEAST CORNER OF SAID LANDS AND THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTH LINE, NORTH 00°12'53" EAST ALONG THE EAST LINE OF SAID LANDS, A DISTANCE OF 575.16 FEET, TO THE NORTHEAST CORNER OF SAID LANDS; THENCE NORTH 61°57'54" WEST ALONG THE NORTHERLY LINE OF SAID LANDS, A DISTANCE OF 473.25 FEET TO THE NORTHWEST CORNER OF SAID LANDS AND THE EASTERLY LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2910, PAGE 700 OF SAID PUBLIC RECORDS, A DISTANCE OF 423.25 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2947, PAGE 998 OF SAID PUBLIC RECORDS; THENCE SOUTH 61°57'52" EAST ALONG THE SOUTHERLY LINE OF SAID LANDS, A DISTANCE OF 122L.19 FEET TO THE SOUTHEAST CORNER OF SAID LANDS AND THE NORTHWESTERLY LINE OF THE AFOREMENTIONED PARCEL "E", AS DESCRIBED IN OFFICIAL RECORDS BOOK 1659, PAGE 2265 OF SAID PUBLIC RECORDS (SAID PARCEL "E" BEING THE 100 FOOT WIDE RIGHT OF WAY CELLON DRIVE); THENCE SOUTH 28°02'57" WEST ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 729.12 FEET TO THE INTERSECTION OF THE NORTHWESTERLY LINE OF SAID PARCEL "E" AND THE NORTH LINE OF SAID PARCEL "E"; THENCE NORTH 89°46'37" WEST ALONG SAID NORTH LINE OF PARCEL "E", A DISTANCE OF 384.64 FEET TO THE POINT OF BEGINNING.

PROPOSED USE: WHOLESALE AUTOMOBILE AUCTIONS
AREA OF PROJECT: ±11.3 ACRES
MIN LOT AREA: NONE
MIN LOT WIDTH: NONE
FRONT SETBACK: 20'
SIDE SETBACK: 15'
REAR SETBACK: 15'
MAX HEIGHT: 65'
MAX LOT COVERAGE: NONE
MAX FAR: 0.5 FOR PARCELS 5 ACRES AND GREATER
PROPOSED BLDGS: 10,400 SF + 1,120 SF = 11,520 SF
PROPOSED FAR: 11,520 SF / 23.41 AC = .0113
MIN REQ PARKING: 11,520 SF X 1 PER 350 SF = 33 SPACES
OUTDOOR AUCTION AREA: 51,585 SF X 1 PER 1,000 SF = 52 SPACES
OUTDOOR STORAGE AREA: 150,800 SF = NOT APPLICABLE
33 + 52 = 85 SPACES
PROPOSED SPACES: 88 SPACES
BIKE PARKING: 80 * 1 SPACE / 10 = 8 SPACES
LOADING SPACE: 1 SPACE FOR 5,000 TO 24,999 SF USE
HANDICAP SPACE: 4 HIC SPACE FOR 76-100 SPACES

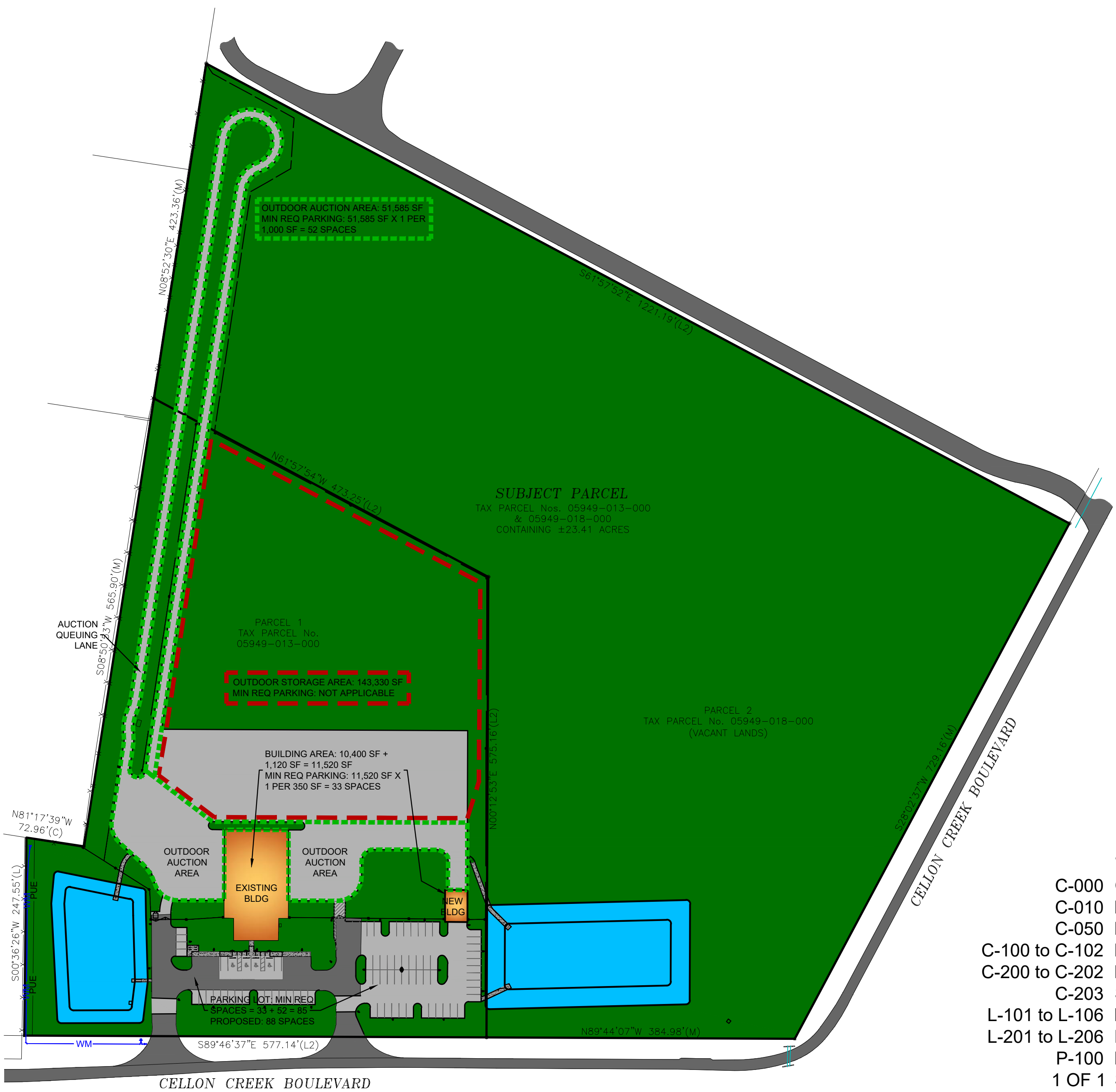
REQUIREMENTS AND ZONING CLARITY FOUND IN REPLY LETTER REGARDING USE DETERMINATION REQUEST FROM THE LDR ADMINISTRATOR DATED 3-21-2017

SHEET INDEX

- C-000 COVER & SHEET INDEX
- C-010 NOTES & LEGEND
- C-050 DEVELOPMENT PLAN AND SHEET KEY
- C-100 TO C-102 DEMO, SITE & HORIZONTAL CONTROL PLAN
- C-200 TO C-202 PAVING, GRADING, DRAINAGE, & UTILITY PLAN
- C-203 SMF CROSS SECTIONS AND DETAIL
- L-101 TO L-106 LANDSCAPE PLANS
- L-201 TO L-206 IRRIGATION PLANS
- P-100 PHOTOMETRIC PLAN
- 1 OF 1 SURVEY - BOUNDARY TOPOGRAPHIC TREE UTILITY
- A1.0 EX BUILDING PHOTO ELEVATIONS
- A2.0 TO A2.2 WAREHOUSE BUILDING ELEVATIONS
- A3.0 CHECK-IN BUILDING ELEVATIONS



LOCATION MAP
NOT TO SCALE



SITE PLAN MAP
NOT TO SCALE

PRELIMINARY	NOT FOR CONSTRUCTION
PRICING:	CONSTRUCTION:
UNDER REVIEW	ENGINEER OF RECORD: CHRISTOPHER A. GMUER FL PE # 71599 2018-02-28
PERMITTING / DESIGN REVISIONS:	2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN 2017-09-18 REVISED FROM 9/14 MEETING NOTES 2017-10-09 SRWMD INITIAL SUBMITTAL 2017-12-13 CITY OF ALACHUA RESUBMITTAL 2018-02-14 CITY OF ALACHUA COMMENT REVISIONS 2018-02-28 MINOR JBRFO COMMENT REVISIONS
CLIENT:	C.A. GMUER, PE C.A. GMUER, PE ALACHUA APP # SRWMD APP # CITY PROJECT #
DESIGN:	TBD 17-0093
QUALITY CONTROL:	
COVER AND SHEET INDEX	C-000

A. THE OPERATION AND MAINTENANCE UTILITY IS THE PROPERTY OWNER UNLESS OTHERWISE SPECIFIED.

B. IN ACCORDANCE WITH SECTION 373.416(2), F.S., UNLESS REVOKED OR ABANDONED, ALL STORMWATER MANAGEMENT SYSTEMS, PERMITTED STORMWATER MANAGEMENT SYSTEMS, AND PERMITTED STORMWATER PERMIT UNDER PART V OF CHAPTER 373, F.S., MUST BE OPERATED AND MAINTAINED IN PERPETUITY. THE OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE DESIGNS, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS AND CONDITIONS OF THE PERMIT. THE PERMITTEE SHALL MAINTAIN THE PERMITTED STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH THE PERMIT.

C. UPON COMPLETION OF THE PERMITTED STORMWATER MANAGEMENT SYSTEMS, DAMS, RESERVOIRS, PONDAGE, DETENTION BASINS, APPURTENANT WORK, OR WORKS, THE AGENCY SHALL HAVE PERIODIC INSPECTIONS MADE TO ENSURE THE PROJECT WAS CONSTRUCTED AND IS BEING OPERATED IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT, AND IN A MANNER THAT PROTECTS THE PUBLIC HEALTH AND SAFETY AND THE ENVIRONMENT. THE REQUIRED PERIODIC INSPECTIONS SHALL BE CONDUCTED BY THE AGENCY OR AN AUTHORIZED REPRESENTATIVE OF THE DISTRICT OR DEP WHO REQUESTS ENTRY FOR PURPOSES OF SUCH INSPECTIONS. THE PERIODIC INSPECTIONS SHALL BE CONDUCTED AT THE FREQUENCY AND REGULARITY SPECIFIED IN THE PERMIT.

D. INSPECTIONS MAY BE PERFORMED BY AGENCY STAFF DURING AND AFTER CONSTRUCTION, WHEN NEEDED TO INSURE A PROJECT IS BEING OPERATED AND MAINTAINED IN PERPETUITY. THE PERMIT MAY REQUIRE THE "DESIGN AND MAINTENANCE OF THE PROJECT SHALL BE CONDUCTED IN ACCORDANCE WITH THE PERIODIC INSPECTIONS SCHEDULE FOR A SPECIFIC PROJECT WILL BE SPECIFIED IN THE PERMIT."

E. PROJECTS THAT DO NOT CONSIST OF OR INCLUDE A STORMWATER MANAGEMENT SYSTEM, DAM, DETENTION BASIN, PONDAGE, DETENTION BASIN, APPURTENANT WORK, OR WORKS, OR OTHER SPECIAL OR NON-RESIDENTIAL, MAY ALSO BE REQUIRED IN THE PERMIT TO BE REGULARLY INSPECTED AND MONITORED TO ENSURE CONTINUED COMPLIANCE WITH PERMIT CONDITIONS AND THE FUNCTIONING OF THE PROJECT. THIS MAY INCLUDE PERIODIC PERMITS TO ENTER THE PROJECT FOR INSPECTION AND MONITORING. FOR EXAMPLE, A RESIDENTIAL FILL PAD MAY HAVE BEEN PERMITTED WITH SPECIFIC REQUIREMENTS FOR SLOPE DRAINAGE OR RUNOFF, A DOCK LOCATED IN WATERS WITH SENSITIVE RESOURCES MAY HAVE BEEN PERMITTED WITH CONDITIONS FOR PROTECTING SENSITIVE RESOURCES, A HIGHWAY ACCESS ROAD TO A LIFT STATION MAY HAVE BEEN PERMITTED, A POND, OR WITH REQUIREMENTS FOR HANDLING OR OTHER ASSOCIATED STRUCTURES. THE PERMIT WILL SPECIFY THE PERIODIC INSPECTIONS THAT WILL BE REQUIRED, AND HOW THE RESULTS OF THE INSPECTIONS ARE TO BE REPORTED TO THE AGENCY. THE PERMIT MAY ALSO REQUIRE THE PERMITTEE TO SUBMIT EXAMPLES WHERE MONITORING AND REPORTING BY SUCH PERSONS MAY BE REQUIRED FOR SUCH ACTIVITIES ARE:

THE FOLLOWING ARE EXAMPLES OF ACTIVITIES AS DISCUSSED ABOVE THAT ARE SUBJECT TO AN INITIAL INSPECTION PRIOR TO CONVERSION TO THE OPERATION PHASE, AND THEN SUBJECT TO ROUTINE INSPECTIONS DURING THE OPERATION AND MAINTENANCE PHASES. THE INSPECTION FREQUENCY DURING THE OPERATION AND MAINTENANCE PHASES SHALL BE AS SPECIFIED IN THE PERMIT.

1. SINGLE-FAMILY DOCK (TO VERIFY THAT: HANDRAILS ARE CONSTRUCTED AND ARE MAINTAINED TO PREVENT MOORING OF VESSELS IN SHALLOW WATERS);

2. SINGLE-FAMILY DOCKING (TO VERIFY THAT: MAINTENANCE OF MANATEE PROTECTION SIGNS, SEWAGE PUMPOUT FACILITIES, OR OVER-WATER FUELING OPERATION);

3. SINGLE-FAMILY LOT (TO VERIFY LAWN GRADING AND SLOPING IS MAINTAINED TO REDUCE DISCHARGES OF NUTRIENTS FROM LAWN RUNOFF ENTERING SENSITIVE WATERS);

4. LANDS OR RIVER OR LAKE TO VERIFY INTEGRITY OF EXISTING CHANNEL PLANTINGS;

5. LANDS WITHIN A CONSERVATION EASEMENTS (FOR ENCROACHMENTS, ALTERATIONS, OR EXISTENCE/VEGETATION REMOVAL) IN ACCORDANCE WITH A PERMIT UNDER THIS CHAPTER;

6. SPECIAL USE SITES (TO VERIFY THAT: THE PROJECT IS CONDUCTED IN ACCORDANCE WITH THE STATUS OF EXOTIC SPECIES REMOVALS); AND OTHER DREDGING OR FILLING (FOR EXAMPLE, DREDGED MATERIAL SITES AND DAMS) TO ENSURE FUNCTIONING AND STABILITY OF DIKES AND CONTROL STRUCTURES).

THE EFFICIENCY OF STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, AND MOST OTHER PROJECTS INVOLVING EROSION CONTROL OR PREVENTION OF EROSION, OR A SIGNIFICANT REDUCTION IN THE FLOW CAPACITY OF A STORMWATER MANAGEMENT SYSTEM OFTEN CAN BE ATTRIBUTED TO PARTIAL BLOCKAGES OF ITS CONVEYANCE SYSTEM. ONCE FLOW CAPACITY IS COMPROMISED, FLOODING MAY RESULT. THEREFORE, OPERATION AND MAINTENANCE ENTITIES MUST PERFORM PERIODIC INSPECTIONS TO IDENTIFY AND REMOVE OBSTACLES TO FLOW. IF THE PROJECT IS RETURNED TO THE OPERATIONAL PHASE, INSUFFICIENT OR IMPROPER OPERATION OF PROJECTS THAT MAY ENDANGER PUBLIC HEALTH, SAFETY, OR WELFARE, OR THE WATER RESOURCES, IF DEFICIENCIES ARE FOUND, THE OPERATION AND MAINTENANCE ENTITY WILL BE RESPONSIBLE FOR CORRECTING THE DEFICIENCIES. THE OPERATION AND MAINTENANCE ENTITY SHALL BE RESPONSIBLE FOR INSPECTION AND REPORTING OF THE PROJECTS IN ACCORDANCE WITH THE PERMIT. THE CORRECTIONS MUST BE DONE A TIMELY MANNER TO PREVENT COMPROMISES TO FLOOD PROTECTION AND WATER QUALITY. INSPECTION AND REPORTING FREQUENCIES WILL BE INCLUDED AS PERMIT CONDITIONS BASED ON SITE SPECIFIC OPERATION AND MAINTENANCE REQUIREMENTS.

1. THE TYPE, NATURE, AND DESIGN OF THE DESIGN AND PERFORMANCE STANDARDS PROPOSED, INCLUDING ANY ALTERNATIVE DESIGNS SUCH AS PAVING OR PAVING, GREEN ROOFS, CISTERNS, MANAGED AQUATIC PLANT SYSTEMS, STORMWATER HARVESTING, WETLAND TREATMENT TRAINS, LOW IMPACT DESIGNS, ALUM OR POLYMER INJECTION;

2. THE PROXIMITY OF RECEIVING WATERS CLASSIFIED AS OUTSTANDING FLORIDA WATERS IN RULE 62-302.700, F.A.C., OR IMPAIRED FOR CONSTITUENTS LIKELY TO BE CONTAINED IN DISCHARGES FROM THE PROJECT;

3. THE NATURE OF THE NATURAL RESOURCES OF THE PROJECT, INCLUDING THE ACTIVITY IT WILL IMPOSE MORE THAN 40 AC-RE OF WATER, OR WILL INCLUDE ABOVE GROUND IMPOUNDMENTS;

4. THE TOPOGRAPHY, RAINFALL PATTERNS, AND ADJACENT DEVELOPMENT SURROUNDING THE ACTIVITY SITE, INCLUDING ANY SPECIAL BASIN DESIGNATIONS WITHIN THE DISTRICT IN WHICH THE ACTIVITY IS LOCATED, AS SPECIFIED IN PARAGRAPH 33-303.03(3), F.A.C.;

5. THE NATURE OF THE UNDERLYING SOILS, GEOLOGY, AND GROUNDWATER AND HYDROLOGY;

6. THE POTENTIAL FOR CONSTRUCTION AND OPERATION OF THE PROJECT TO CAUSE HARM TO PUBLIC HEALTH, SAFETY, OR WELFARE, OR HARM TO WATER RESOURCES, WATER QUALITY STANDARDS, OR WATER QUALITY.

7. PRIOR COMPLIANCE HISTORY WITH THE PROPOSED DESIGN AND PERFORMANCE TYPE, INCLUDING WHETHER THE ACTIVITY CHARACTERISTICS ARE LIKELY TO POSE MORE THAN A MINIMAL RISK FOR HARM.

G. SPECIAL INSPECTION AND REPORTING REQUIREMENTS DURING INSPECTION TO THE FOLLOWING:

1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE;

2. THE SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE;

3. STORMWATER MANAGEMENT SYSTEMS THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OILS OR GREASES, OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED PROPERLY;

4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.

H. UNLESS OTHERWISE SPECIFIED IN THE PERMIT, THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN A RECORD OF EACH INSPECTION OF THE PROJECT AND REPORT THE RESULTS OF EACH INSPECTION TO THE DATA COLLECTION INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE AGENCY, IN ACCORDANCE WITH THE REPORTING SECTION, BELOW. THE INSPECTION AND REPORTING REQUIREMENTS CONTAINED IN A PERMIT ISSUED UNDER PART IV OF CHAPTER 33-303.03(3), F.A.C. SHALL BE APPLIED TO THE PROJECT. THE INSPECTION AND REPORTING REQUIREMENTS CONTAINED IN SECTION 373.411, F.S., SHALL CONTINUE TO BE APPLIED IN ACCORDANCE WITH THE EXISTING PERMIT UNLESS THE PERMITTEE OBTAINS A MODIFICATION USING THE PROCEDURES IN RULE 62-330.301, F.A.C., TO COMPLY WITH THE MODIFICATION AND AMENDMENT OF THE PERMIT. THE PERMITTEE SHALL ALSO COMPLY WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT APPLICANT'S HANDBOOK, VOLUME I (GENERAL AND ENVIRONMENTAL),

A. ALL FORMS REQUIRED FOR REPORTING CAN BE SUBMITTED TO THE RESPECTIVE AGENCY INTERNET SITE. IF THE PERMITTEE DOES NOT USE THE ELECTRONIC FORMS PROVIDED ON THAT SITE, THEY SHALL BE RESPONSIBLE FOR RETAINING RECORDS OF THE INSPECTIONS AND FOR DELIVERING SUCH RECORDS WITHIN 30 DAYS OF REQUEST TO THE AGENCY. B. THE AGENCY HAS THE RIGHT TO CONDUCT INSPECTIONS OF THE FACILITY TO DETERMINE THE POTENTIAL FOR THE ACTIVITY HARM TO WATER QUALITY, WATER RESOURCES, PUBLIC HEALTH, OR PUBLIC SAFETY. WITHIN 30 DAYS OF ANY FAILURE OF A STORMWATER MANAGEMENT SYSTEM OR DEVIATION FROM THE PERMIT, A REPORT SHALL BE SUBMITTED ELECTRONICALLY OR IN WRITING TO THE AGENCY USING THE FOLLOWING INFORMATION: C. THE AGENCY SHALL DETERMINE THE APPROPRIATE REMEDIAL ACTIONS TAKEN TO RESOLVE THE FAILURE OR DEVIATION. D. THE OPERATION AND MAINTENANCE ENTITY OF A REGIONAL STORMWATER MANAGEMENT FACILITY MUST NOTIFY AN AGENCY ON AN ANNUAL BASIS, USING FORM 6230-331(12), "REGIONAL STORMWATER MANAGEMENT SYSTEM ANNUAL REPORT," OF NEW SYSTEMS AND THEIR ASSOCIATED STORMWATER VOLUMES THAT HAVE BEEN AUTHORIZED FOR DISCHARGE TO THE RECEIVING WATER BODY. E. THE AGENCY SHALL DETERMINE IF THE MAXIMUM ALLOWABLE TREATMENT VOLUME OF STORMWATER AUTHORIZED TO BE ACCEPTED BY THE REGIONAL STORMWATER MANAGEMENT FACILITY HAS NOT BEEN EXCEEDED. F. A LISTING OF ALL THE FORMS THAT ARE INCORPORATED BY REFERENCE IN CHAPTER 62-330, F.A.C., IS CONTAINED IN APPENDIX A OF THE FORMS. THE AGENCY SHALL DETERMINE THE FORMS OF WHICH MAY BE OBTAINED FROM THE AGENCY, AS DESCRIBED IN APPENDIX A OF THAT VOLUME AND SUBSECTION 62-330.010(5), F.A.C.

1. THE ENGINEER AND HIS CONSULTANTS PREPARED THESE PLANS AND DESIGN DOCUMENTS THROUGH THE USE OR RELIANCE UPON DESIGN ELEMENTS AND INFORMATION ORDINARILY OR CUSTOMARILY FURNISHED BY OTHERS, INCLUDING, BUT NOT LIMITED TO, SURVEYORS, GEOTECHNICAL ENGINEERS, ENVIRONMENTAL CONSULTANTS, ARCHITECTS, BUILDING SYSTEMS ENGINEERS, SPECIALTY CONTRACTORS, MANUFACTURERS, SUPPLIERS, AND THE PUBLISHERS OF TECHNICAL STANDARDS. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR DESIGN ERROR AND OMISSIONS RESULTING FROM THE QUALITY OF THIS INFORMATION.
2. ALL POINTS OF COORDINATION OR INTERFACE BETWEEN THESE PLANS AND DESIGN DOCUMENTS AND THE PLANS AND DESIGN DOCUMENTS OF OTHERS TO BE COMPLETED BY THE CONTRACTOR.

CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCURING MATERIALS AND INSTALLATION.

1. UTILITY LOCATES SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO THE INITIATION OF SITE CONSTRUCTION.
2. PROPOSED UTILITY TAPS AND CROSSINGS SHALL BE PHYSICALLY LOCATED AND VERIFIED BY THE CONTRACTOR AS SOON AS PRACTICABLE AND SHALL CONTACT THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES OR CONFLICTS.
3. UTILITY RELIEF, SUPPORT, PROTECTION, TERMINATION, CAPPING, AND REMOVAL SHALL BE COORDINATED BY THE CONTRACTOR WITH UTILITY COMPANIES. ADEQUATE TIME SHALL BE PROVIDED FOR PROPER COORDINATION AND TO MINIMIZE SERVICE INTERRUPTIONS.
4. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES TO THE UTILITY COMPANY FOR THEIR SERVICES.

ADJ	ADJACENT	MAX	MAXIMUM
ALUM	ALUMINUM	MES	MITERED END SECTION
APT	APARTMENT	MH	MANHOLE
ASPH	ASPHALT	MIN	MINIMUM
B&J	BORE & JACK	MO	MONTH
BC	BACK OF CURB	MUTCD	MANUAL ON UNIFORM TRAFFIC DESIGN
BLDG	BUILDING	N	NORTH
BM	BENCHMARK	N/A	NOT APPLICABLE
BSL	BUILDING SE/BACK LINE	NE	NORTH EAST
C&G	CURB & GUTTER	NG	NATURAL GRADE
C1	CURVE ONE	NIC	NOT IN CONTRACT
CATV	CABLE TELEVISION	NO	NUMBER
CEC	CLAY ELECTRIC COOPERATIVE	NTS	NOT TO SCALE
CF	CUBIC FEET	NW	NORTH WEST
CJ	CAST IRON	OC	ON CENTER
CIP	CAST-IN-PLACE	PE	PROFESSIONAL ENGINEER
CL	CENTER LINE	POB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POE	POINT OF ENDING
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PRI	PRIMARY
CO	CLEAN OUT	PRM	PERMANENT REFERENCE MARKER
COMM	COMMUNICATIONS	PSI	POUNDS PER SQUARE INCH
CONC	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PUD	PLANNED URBAN DEVELOPMENT
DBI	DITCH BOTTOM INLET	PVC	POLYVNYL CHLORIDE
DCBP	DOUBLE CHECK BACKFLOW PREVENTER	PMT	PAVEMENT
DEG	DEGREES	R/W	RIGHT OF WAY
DHWL	DESIGN HIGH WATER LEVEL	RCP	REINFORCED CONCRETE PIPE
DI	DUCTILE IRON	REF	REFERENCE
DIA	DIAMETER	RPBFP	REDUCED PRESSURE BACKFLOW PREVENTER
DIM	DIMENSION	RT	RIGHT
DIP	DUCTILE IRON PIPE	S	SOUTH
E	EAST	S/W	SIDEWALK
E/M	EASEMENT	SE	SOUTH EAST
EL	ELEVATION	SEC	SECONDARY
ELEC	ELECTRIC	SF	SQUARE FEET
EP	EDGE OF PAVEMENT	SG	SPACE GEAR
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	SPA	SWITCH
EX	EXISTING	SS	SANITARY SEWER
FC	FACE OF CURB	ST	STORM SEWER
FDC	FIRE DEPARTMENT CONNECTION	STA	STATION
FF	FINISH FLOOR	STD	STANDARD
FG	FINISH GRADE	STL	STEEL
FH	FIRE HYDRANT	SW	SOUTH WEST
FL	FIRE LINE	SY	SQUARE YARD
FLI	FLOW LINE	TBC	TRAFFIC BEARING COVER
FM	FORCE MAIN	TEL	TELEPHONE
FO	FIBER OPTIC	TFMR	TRANSFORMER
FP	FLOOD PLAIN	TV	TELEVISION
FT	FEET	TW	TOP OF WALL
FUT	FUTURE	TYP	TYPICAL
GALV	GALVANIZED	UD	UNDER DRAIN
GV	GATE VALVE	UTIL	UTILITY
HC	HANDICAP	VCP	VITRIFIED CLAY PIPE
HORIZ	HORIZONTAL	VEH	VEHICLE
HR	HOUR	W	WEST
INV	INVERT	W/	WTH
LF	LINEAR FEET	W/WW	WATER/WASTEWATER
L1	LINE ONE	WM	WATER MAIN
LAT	LATITUDE	WS	WATER SERVICE
LONG	LONGITUDE	WW	WASTEWATER
LT	LEFT	YR	YEAR
MAINT	MAINTENANCE		

1. ALL SAFETY REGULATIONS AND PRACTICES SHALL BE ENFORCED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THIS PROJECT. THIS ALSO INCLUDES THE TRAVELING PUBLIC. THE FOLLOWING IS A NOTICE TO THE CONTRACTOR AND THE OWNER OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY REGULATIONS.
2. LOCAL AND STATE REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS (OSHA) REGULATIONS.
3. ALL SUBSURFACE CONSTRUCTION SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE "TRENCH SAFETY ACT" AND THE "CONSTRUCTION OF HIGHWAYS AND BRIDGES ACT". THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SIDEWALKS AND SHALL HAVE A TTP PLAN. THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER THAT IS FOOT ADVANCED NOT CERTIFIED AT THE COST OF THE CONTRACTOR. ALL WORK SHALL BE EXECUTED UNDER THE CLOSE SUPERVISION OF THE REVIEWING AGENCY'S APPROVED PROCEDURES. THE PLAN AND WORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

1. THESE PLANS, DESIGN DOCUMENTS, AND NOTES ARE NOT EXHAUSTIVE. ALL APPLICABLE CONSTRUCTION STANDARDS AND DETAILS THAT ARE LISTED, REFERENCED, OR IMPLIED ARE INCLUDED IN THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
2. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE REVIEWING AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
3. THE REPAIR OF DAMAGE EITHER ABOVE OR BELOW GROUND BY THE CONTRACTOR OR SUB-CONTRACTORS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE WILL BE IN THE OPINION OF THE OWNER, APPLICABLE AGENCY, OR ENGINEER. ALL REPAIRS SHALL BE MADE AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THE PARTICULAR ENTITY.
4. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT, SIDEWALKS, AND GRADING AROUND BUILDINGS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE.
5. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVED AREAS OF POOR DRAINAGE PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED, INSPECTED, AND TESTED PRIOR TO PAVEMENT BASE OR SIDEWALK INSTALLATION.

1. CONTRACTOR IS REQUIRED TO SUBMIT A COMPLETE NOI AND APPROPRIATE FEE TO SECURE A FEE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) AT LEAST TWO DAYS BEFORE CONSTRUCTION BEGINS. A PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OR IF THE PROJECT IS PART OF A LARGER DEVELOPMENT THAT WILL ULTIMATELY DISTURB ONE OR MORE ACRES.
2. PROJECTS THAT DISCHARGE STORMWATER TO AN MS4, A COPY OF THE NOI MUST ALSO BE SUBMITTED TO THE OPERATOR OF THE MS4.
3. THE CONTRACTOR IS TIMELY RESPONSIBLE FOR OBTAINING PERMIT COVERAGE AND IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO MINIMIZE EROSION AND SEDIMENTATION FROM STORMWATER DISCHARGES DURING CONSTRUCTION. THE ENGINEER SHOULD NOT BE LISTED AS THE OPERATOR AS THEY DO NOT HAVE OPERATIONAL CONTROL OVER THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMIT COVERAGE AT LEAST 2 DAYS BEFORE ASSUMING CONTROL OF THE PROJECT, AND THE PREVIOUS OPERATOR SHOULD FILE AN NPDES STORMWATER NOTICE OF TERMINATION WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROLS UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED.
6. ALL DISTURBED AND OPEN AREAS OF THE SITE SHALL BE SOODED UNLESS INDICATED OTHERWISE.

CABLE	CABLE	EXISTING CABLE
COM	COM	EXISTING COMMUNICATIONS
OHE	OHE	EXISTING ELECTRIC OVERHEAD
UGE	UGE	EXISTING ELECTRIC UNDERGROUND
FIBER	FIBER	EXISTING FIBER OPTIC
FIRE	FIRE	EXISTING FIRE
FM	FM	EXISTING FORCEMAIN
GAS	GAS	EXISTING GAS
RCW	RCW	EXISTING RECLAIMED WATER
STORM	STORM	EXISTING STORM
TEL	TEL	EXISTING TELEPHONE
WM	WM	EXISTING WATER
CABLE	CABLE	PROPOSED CABLE
COM	COM	PROPOSED COMMUNICATIONS
OHE	OHE	PROPOSED ELECTRIC OVERHEAD
UGE	UGE	PROPOSED ELECTRIC UNDERGROUND
FIBER	FIBER	PROPOSED FIBER OPTIC
FIRE	FIRE	PROPOSED FIRE
FM	FM	PROPOSED FORCEMAIN
GAS	GAS	PROPOSED GAS
RCW	RCW	PROPOSED RECLAIMED WATER
STORM	STORM	PROPOSED STORM
TEL	TEL	PROPOSED TELEPHONE
WW	WW	PROPOSED WATER
99	99	EXISTING ELEVATION CONTOUR
99	99	PROPOSED ELEVATION CONTOUR
		SWALE CENTERLINE
		PROPOSED GRADE SPOT ELEVATION
		0 99.99
SILT	SILT	SILT FENCE
TREE	TREE	TREE BARRICADE
		SETBACK
		BUFFER
		PROPERTY BOUNDARY

1. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE INDICATED TO REMAIN UNDISTURBED PER THE REVIEWING AGENCIES REQUIREMENTS. INSPECTIONS MAY BE REQUIRED PRIOR TO THE START OF CONSTRUCTION.
2. PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
3. ALL EXISTING UTILITIES SHALL BE SHOWN TO PRESERVED OR TO BE REMOVED. THIS SHALL BE CONFIRMED WITH THE REVIEWING AGENCY AND THE OWNER. THE LOCATION OF UTILITIES SHALL BE AT THE DISCRETION OF THE CONTRACTOR.
4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
5. DISTURBED AREAS SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, MISCELLANEOUS VEGETATION, DELETERIOUS MATERIAL, DEBRIS, ETC.
6. SIGNAGE TO BE DISPLAYED TO THE PUBLIC. SIGNAGE MAY NOT BE DEPICED ON THE PLANS OR SURVEY. CONTRACTOR SHALL BE AWARE OF ALL EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS AND CONFIRM AN INVENTORY WITH THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OR SALVAGE OF ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILLS, SIGNS, ETC., AND THEIR APPURTENANCES UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE PROPERLY DISPOSED IN A LEGAL MANNER.
8. PROTECTIVE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.

1. SITE CLEARING AND DEMOLITION MAY NOT BE ALLOWED TO BEGIN UNTIL CERTAIN PERMITS HAVE BEEN ISSUED AND MAY REQUIRE PRE-CONSTRUCTION MEETINGS, INSPECTIONS, CLEARANCES. THESE PERMITS ARE TYPICALLY ISSUED BY THE CITY OF CHICAGO AND INCLUDE THE FOLLOWING: PERMITS FOR EXCAVATION, EROSION CONTROL, AND CONSTRUCTION OF ANY TYPE.

2. OTHER PERMITS ARE REQUIRED PRIOR TO COMPLETING OTHER SITE COMPONENTS SUCH AS THE UTILITY CONSTRUCTION PERMITS, DRIVEWAY CONNECTION PERMITS, ROW USE PERMITS, ETC.

3. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. ALL REQUIRED PERMITS, INCLUDING TESTING, INSPECTIONS, CERTIFICATIONS, ETC. PRIOR TO AND DURING CONSTRUCTION (E.G. FDEP CDP, DEWATERING, MUD, WATER-SHIELD INSPECTIONS).

4. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE PROJECT IS UNDERWAY.

5. THE CONTRACTOR IS RESPONSIBILITY TO VERIFY THE CONSTRUCTION STANDARDS APPLICABLE TO EACH PORTION OF THE PROJECT. A SUGGESTED LIST OF APPLICABLE STANDARDS TYPICALLY ACCOMPANY THIS NOTICE ON THIS PROJECT.

6. THE CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PROCUREMENT OF MATERIALS AND INSTALLATION (E.G. PRECAST STRUCTURES, MANUFACTURED ITEMS). FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REWORK AND REPEATED VISITS AT THE CONTRACTOR'S EXPENSE.

7. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED TO THE ENGINEER FOR RESPONSE BEFORE COMMENCING THE RELATED WORK VIA THE OWNER'S CONSTRUCTION DOCUMENTATION PROCESS.

8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FIELD VISITS DESIRED BY THE OWNER AND THE ENGINEER AND REASONABLY SCHEDULING THOSE INSPECTIONS.

9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING ALL INSPECTIONS REQUIRED BY THE REVIEWING AGENCIES AS LISTED IN THE PERMITS, INSPECTOR'S REQUEST, OR IMPLIED BY THE DESIGN STANDARD.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO ALL AREAS OF THE PROJECT, INCLUDING MATERIALS, SOILS, UTILITIES, ETC. THE TESTING SHALL BE IN ACCORDANCE WITH THE APPROVED PERMITS, CONSTRUCTION STANDARDS, INSPECTOR'S REQUEST, DESIGN REPORTS, AND STANDARD PAVING AND GRADING SPECIFICATIONS. ACCESS SHALL BE PROVIDED TO ALL AREAS OF THE PROJECT, INCLUDING AREAS OF THE PROJECT ESPECIALLY UNDER ROADS AND OTHER PAVED AREAS, CONCRETE, AND OTHER MATERIALS TESTING.

11. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR ALL RETESTING COSTS AND ANY RECONSTRUCTION REQUIRED TO MEET THE RETESTING REQUIREMENTS.

12. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER THE SCHEDULE OF PUNCH LIST SITE VISITS WITH THE CONSTRUCTION SCHEDULE TO AVOID REPEAT VISITS. A TIMELINE OF ADDRESSING THE PUNCH LIST ITEMS SHALL BE PROVIDED TO THE OWNER IN A TIMELY MANNER. ANY DISPUTES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER.

13. RECORD DRAWINGS ARE DEFINED AS NOTES AND OTHER DOCUMENTATION COLLECTED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AS IT RELATES TO INSTALLATION PROGRESS, FIELD CONDITIONS, MEANS, METHODS AND SEQUENCES OF WORK, AND ANY OTHER INFORMATION THAT MAY BE NECESSARY FOR THE PROJECT TO BE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES UPON REQUEST. RECORD DRAWINGS ARE NOT INTENDED TO BE EXHAUSTIVE. HOWEVER, VERIFICATION OF INSTALLED CONDITIONS CAN BE REQUESTED AT THE DISCRETION OF THE CONTRACTOR.

14. THE CONTRACTOR SHALL CONFIRM REQUIREMENTS TO PROVIDE COMPLETE AS-BUILT INFORMATION TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES AT THE COST OF THE CONTRACTOR.

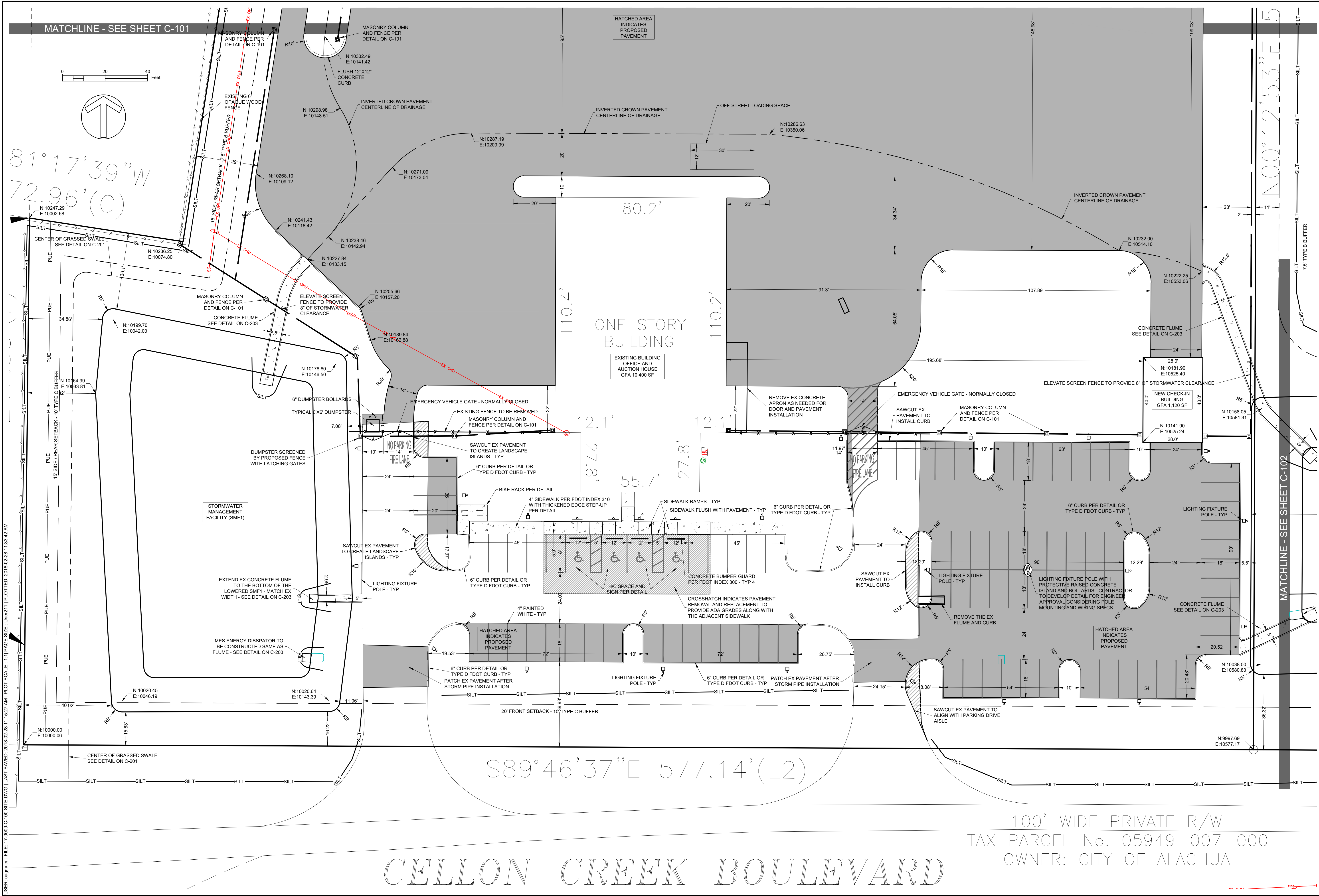
15. AS-BUILTS ARE DEFINED AS A DRAWING PRODUCED BY A REGISTERED LAND SURVEYOR BASED ON FIELD MEASUREMENTS AND DATA OF THE PROJECT. AS-BUILTS SHALL INCLUDE ELEVATIONS, AND DESCRIPTION OF IMPROVEMENTS. THEY SHOULD MEET REVIEWING AGENCIES REQUIREMENTS PER PERMIT AND CLOSURE REQUIREMENTS. THEY SHOULD ALSO MEET THE OWNER'S NEED FOR LENDING, WARRANT, AND OTHER REQUIREMENTS.

16. AS-BUILTS CONTAIN AT A MINIMUM: BUILDING LOCATION AND FINISHED FLOOR ELEVATIONS, ACCESSIBLE ROUTE AND PARKING GRASSES, PAVEMENT GRADE BREAKS, GRAVITY STRUCTURE TOP ELEVATIONS AND PIPE SIZES AND INVERTS, PRESSURE SYSTEM FITTINGS AND VALVES, SAMPLING POINTS, STORMWATER FACILITY TOP AND BOTTOM ELEVATIONS, AND STRUCTURE DETAILS, ETC. AND OTHER LOCATIONS WHERE FIELD MEASUREMENTS AND CONDITIONS DO NOT MATCH THE CONTRACT DOCUMENTS.

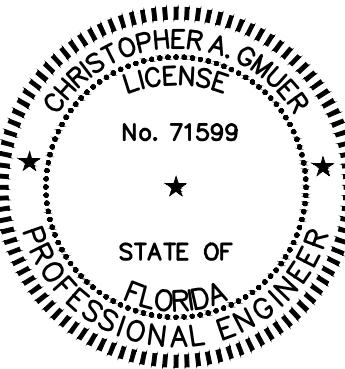
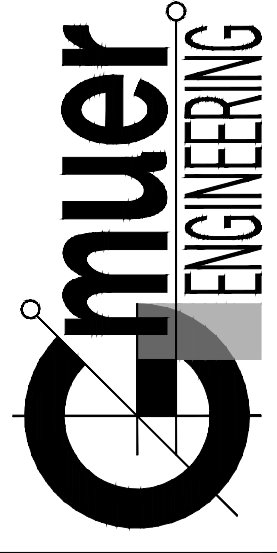
17. ADDITIONAL AS-BUILT INFORMATION MAY BE REQUIRED DURING CONSTRUCTION INSTALLATIONS AT CRITICAL LOCATIONS SUCH AS THE INTERSECTION OF UTILITY LINES, OR LOCATIONS WHERE THERE ARE LARGE DEPTHS OF CLEARANCE OR WHEN PARALLEL UTILITIES WITH WATER MAINS HAVE LESS THAN 10 FEET OF CLEARANCE.

1. IF NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL IMPROVEMENTS SHALL BE WARRANTED BY THE CONTRACTOR TO THE OWNER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. THIS WARRANTY WILL ALSO EXTEND TO THE MAINTENANCE ENTITY OF ANY OTHER IMPROVEMENTS INCLUDING ROADS, SIDEWALKS, UTILITIES, STORM PIPING, ETC. OR TO THE EXTENT REQUIRED BY THEIR APPLICABLE DESIGN STANDARDS.

NOTES AND LEGEND C-010	VEMO AUTO AUCTIONS	<table border="1"> <tr> <td>CUSTOMER:</td> <td></td> </tr> <tr> <td>DESIGN:</td> <td>C.A. GUMIER, PE</td> </tr> <tr> <td>QUALITY CONTROL:</td> <td>C.A. GUMIER, PE</td> </tr> <tr> <td>ALACHUA APP #</td> <td>TBD</td> </tr> <tr> <td>SRVMD APP #</td> <td>TBD</td> </tr> <tr> <td>ENG PROJECT #</td> <td>17-0009</td> </tr> </table>	CUSTOMER:		DESIGN:	C.A. GUMIER, PE	QUALITY CONTROL:	C.A. GUMIER, PE	ALACHUA APP #	TBD	SRVMD APP #	TBD	ENG PROJECT #	17-0009	 FL CA # 31553 gmuering.com (352) 281-4628 2603 NW 13th St, Box 314 Gainesville, FL 32609	 ENGINEER OF RECORD: CHRISTOPHER A. GUMIER FL PE # 171599 2016-02-28 <table border="1"> <thead> <tr> <th>PERMITTING / DESIGN REVISIONS:</th> <th>UNDER REVIEW</th> <th>PRICING:</th> <th>PRELIMINARY</th> </tr> </thead> <tbody> <tr> <td>2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN NOTES</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2017-10-04 SRVMD INTIAL SUBMITTAL</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2017-10-24 CITY OF ALACHUA INTIAL SUBMITTAL</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2017-11-01 CITY OF ALACHUA RESUBMITTAL</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2018-02-14 CITY OF ALACHUA RESUBMITTAL</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2018-02-28 MINOR JBPRO COMMENT REVISIONS</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	PERMITTING / DESIGN REVISIONS:	UNDER REVIEW	PRICING:	PRELIMINARY	2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN NOTES				2017-10-04 SRVMD INTIAL SUBMITTAL				2017-10-24 CITY OF ALACHUA INTIAL SUBMITTAL				2017-11-01 CITY OF ALACHUA RESUBMITTAL				2018-02-14 CITY OF ALACHUA RESUBMITTAL				2018-02-28 MINOR JBPRO COMMENT REVISIONS			
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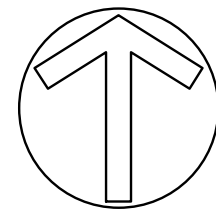
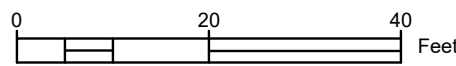


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PRELIMINARY NOT FOR CONSTRUCTION	
PRICING: CONSTRUCTION:	UNDER REVIEW
PERMITTING / DESIGN REVISIONS: 2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN 2017-09-18 REVISED INITIAL SUBMITTAL 2017-10-09 REVISED INITIAL SUBMITTAL 2017-12-13 CITY OF ALACHUA RESUBMITTAL 2018-02-14 CITY OF ALACHUA RESUBMITTAL 2018-02-28 MINOR JBRFO COMMENT REVISIONS	
ENGINEER OF RECORD: CHRISTOPHER A. GMUER FL PE # 71599 2018-02-28	
	
 FL CA # 31533 gmuereng.com (352) 281-4628 2603 NW 13th St, Box 314 Gainesville, FL 32609	
CLIENT: DESIGN: QUALITY CONTROL:	C.A. GMUER PE C.A. GMUER PE TBD 17-0009
ALACHUA APP # SRVMD APP # Gmuer PROJECT #	
VEMO AUTO AUCTIONS	
DEMO, SITE, & HORIZONTAL CONTROL PLAN	
C-100	

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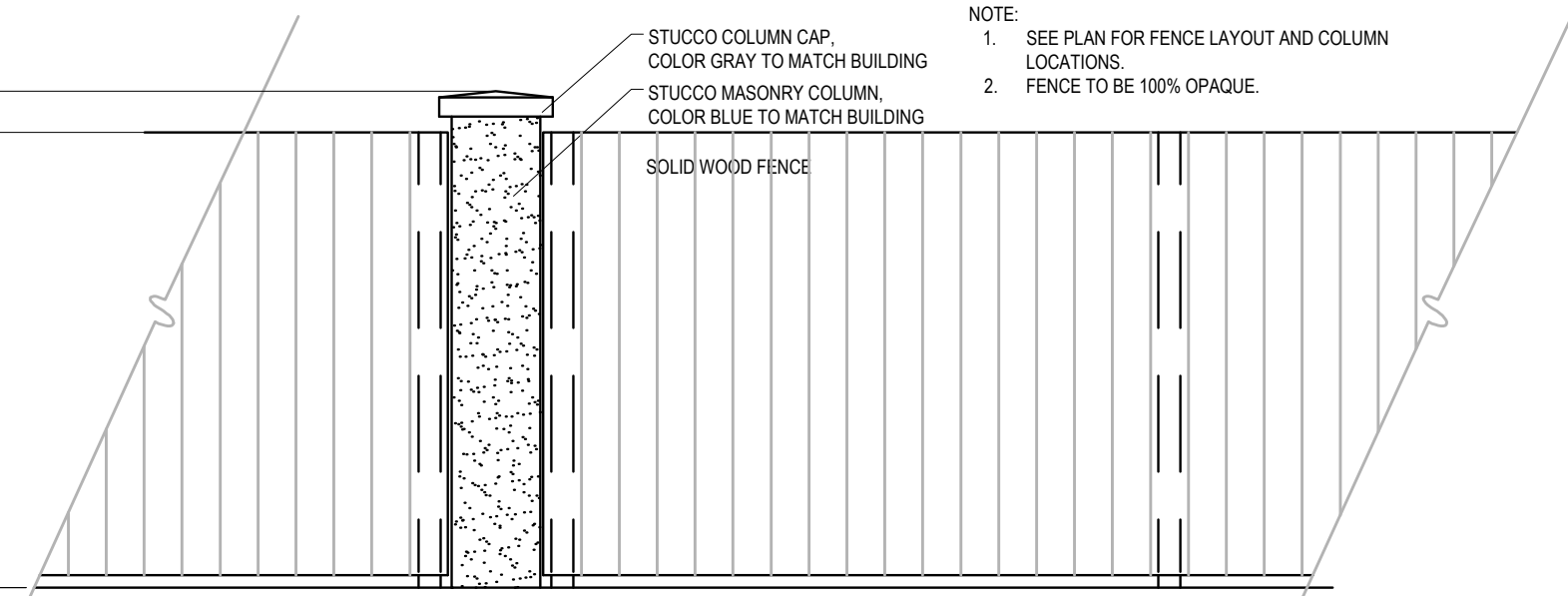
5964-004-000
RY PARTNERS, INC.



S08°50'53"W 565.90'(M)

MATCHLINE - SEE SHEET C-102

TYPICAL OPAQUE SCREEN FENCE
AND MASONRY COLUMN DETAIL



PARCEL 1
TAX PARCEL No.
05949-013-000

CONTRACTOR TO SEED AND
MULCH ALL DISTURBED AREAS
LESS THAN 4:1 SLOPE

HATCHED AREA
INDICATES
PROPOSED
PAVEMENT

SU
TAX PA
CO

MASONRY COLUMN
AND FENCE PER
DETAIL ON C-101

CENTER OF GRASSED SWALE
SEE DETAIL ON C-201

MASONRY COLUMN
AND FENCE PER
DETAIL ON C-101

MATCHLINE - SEE SHEET C-100

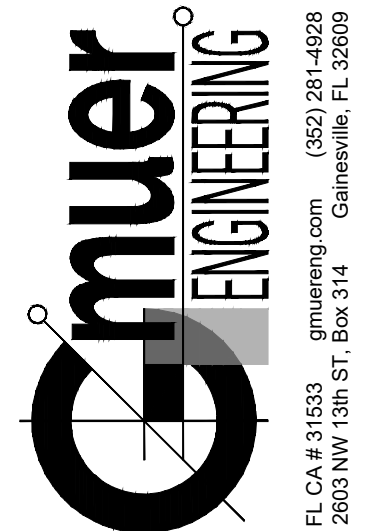
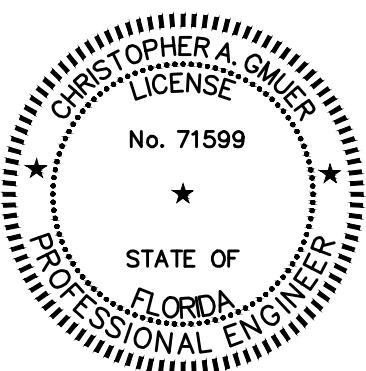
PRELIMINARY
NOT FOR CONSTRUCTION

PRICING:
CONSTRUCTION:

UNDER REVIEW

PERMITTING / DESIGN REVISIONS:
2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN
2017-09-18 REVISED FROM 9/14 MEETING NOTES
2017-10-09 SRWMD INITIAL SUBMITTAL
2017-12-13 CITY OF ALACHUA RESUBMITTAL
2018-02-14 CITY OF ALACHUA RESUBMITTAL
2018-02-28 MINOR JBRPO COMMENT REVISIONS

ENGINEER OF RECORD:
CHRISTOPHER A. GMUER
FL PE # 71599
2018-02-28



CLIENT:
DESIGN: C.A. GMUER PE
QUALITY CONTROL: C.A. GMUER PE
ALACHUA APP # TBD
SRWMD APP # TBD
Cemg PROJECT # 17-0009

MEMO AUTO
AUCTIONS

DEMO, SITE, &
HORIZONTAL
CONTROL PLAN

C-101



PECAN 11

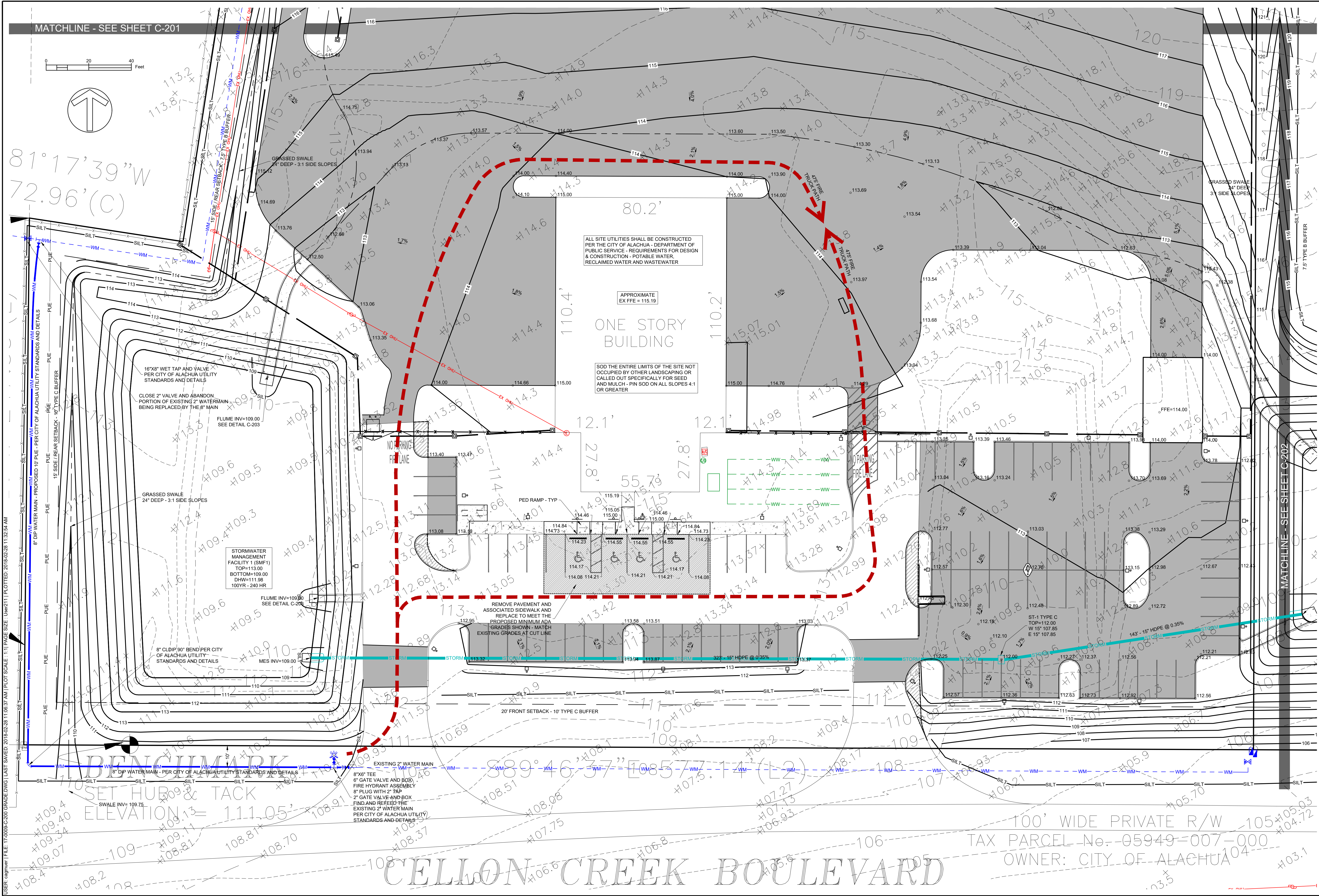


LO 12''

MES ENERGY DISSIPATOR TO
BE CONSTRUCTED SAME AS
FLUME - SEE DETAIL ON C-20

A - MATCHLINE - A

DEMO, SITE, & HORIZONTAL CONTROL PLAN C-102	VEMO AUTO AUCTIONS	CLIENT : <table border="1"> <tr> <td>DESIGN :</td> <td>C.A. GUMIER PE</td> </tr> <tr> <td>QUALITY CONTROL :</td> <td>C.A. GUMIER PE</td> </tr> </table> ALACHUA APP # TBD SRWMD PROJECT # 17-0089	DESIGN :	C.A. GUMIER PE	QUALITY CONTROL :	C.A. GUMIER PE	 FL CA # 21533 gmuere.com (352) 281-4028 2603 NW 13th St, Box 314 Gainesville, FL 32609	ENGINEER OF RECORD : CHRISTOPHER A. GUMIER FL PE # 71599 2018-02-28 	PERMITTING / DESIGN REVISIONS : 2017-09-14 REVISER CONCEPT WITH GEASONS AND STORM DESIGN 2017-09-18 REVISER FROM 914 MEETING NOTES 2017-10-09 SRWMD INITIAL SUBMITTAL 2017-10-24 CITY OF ALACHUA INITIAL SUBMITTAL 2018-02-14 CITY OF ALACHUA RESUBMITTAL 2018-02-14 CITY OF ALACHUA RESUBMITTAL 2018-02-28 MINOR JBPRO COMMENT REVISIONS	UNDER REVIEW	PRICING :	CONSTRUCTION : PRELIMINARY NOT FOR CONSTRUCTION
DESIGN :	C.A. GUMIER PE											
QUALITY CONTROL :	C.A. GUMIER PE											



MATCHLINE - SEE SHEET C-201

81°17'39"W
72.96'(C)

GRASSSED SWALE
24" DEEP - 3:1 SIDE SLOPES

16"X8" WET TAP AND VALVE
- PER CITY OF ALACHUA UTILITY
STANDARDS AND DETAILS

CLOSE 2" VALVE AND ABANDON
PORTION OF EXISTING 2" WATER MAIN
BEING REPLACED BY THE 8" MAIN

FLUME INV=109.00
SEE DETAIL C-203

GRASSSED SWALE
24" DEEP - 3:1 SIDE SLOPES

STORMWATER
MANAGEMENT
FACILITY 1 (SMF1)
TOP=113.00
BOTTOM=109.00
DHW=111.98
100YR - 240 HR

FLUME INV=109.00
SEE DETAIL C-203

8" OLD 90° BEND PER CITY
OF ALACHUA UTILITY
STANDARDS AND DETAILS

MES INV=109.00

EXISTING 2" WATER MAIN

8"X6" TEE
6" GATE VALVE AND BOX
FIRE HYDRANT ASSEMBLY
8" PLUG WITH 2" TAP
2" GATE VALVE AND BOX
FIND AND REREED THE
EXISTING 2" WATER MAIN
PER CITY OF ALACHUA UTILITY
STANDARDS AND DETAILS

SWALE INV=109.75

SETBACK & TACK
ELEVATION= 111.05'

REMOVE PAVEMENT AND
ASSOCIATED SIDEWALK AND
REPLACE TO MEET THE
PROPOSED MINIMUM ADA
GRADES SHOWN - MATCH
EXISTING GRADES AT CUT LINE

20' FRONT SETBACK - 10' TYPE C BUFFER

ONE STORY BUILDING

ALL SITE UTILITIES SHALL BE CONSTRUCTED
PER THE CITY OF ALACHUA - DEPARTMENT OF
PUBLIC SERVICE - REQUIREMENTS FOR DESIGN
& CONSTRUCTION - POTABLE WATER
RECLAIMED WATER AND WASTEWATER

APPROXIMATE
EX FFE = 115.19

SOD THE ENTIRE LIMITS OF THE SITE NOT
OCCUPIED BY OTHER LANDSCAPING OR
CALLED OUT SPECIFICALLY FOR SEED
AND MULCH - PIN SOD ON ALL SLOPES 4:1
OR GREATER

NO PARKING
FIRE LANE

NO PARKING
FIRE LANE

ST-1 TYPE C
TOP=112.00
W 15' 107.85
E 15' 107.85

143' - 15" HDPE @ 0.35%

100' WIDE PRIVATE R/W

TAX PARCEL No. 05949-007-000

OWNER: CITY OF ALACHUA

CELLON CREEK BOULEVARD

MATCHLINE - SEE SHEET C-202

PRELIMINARY

NOT FOR CONSTRUCTION

UNDER REVIEW

PERMITTING / DESIGN REVISIONS:

2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN

2017-09-18 REVISED FROM 9/14 MEETING NOTES

2017-09-09 SRWMD INITIAL SUBMITTAL

2017-09-09 SRWMD PRELIMINARY SUBMITTAL

2017-12-13 CITY OF ALACHUA RESUBMITTAL

2018-02-14 CITY OF ALACHUA RESUBMITTAL

2018-02-28 MINOR JBRFO COMMENT REVISIONS

ENGINEER OF RECORD:

CHRISTOPHER A. GUMER

FL PE # 71599

2018-02-28

STATE OF FLORIDA

PROFESSIONAL ENGINEER

No. 71599

Gumer

ENGINEERING

FL CA # 91533 gumereng.com (352) 281-4828
2803 NW 13th St, Box 514 Gainesville, FL 32609

CLIENT:

DESIGN:

QUALITY CONTROL:

ALACHUA APP #

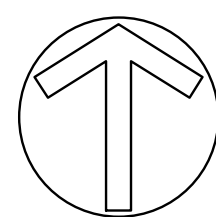
SRWMD APP #

SRWMD PROJECT #

VEMO AUTO AUCTIONS

PAVING,
GRADING,
DRAINAGE, &
UTILITY PLAN

C-200



~~CONTRACTOR TO USE THIS AREA TO
BALANCE CUT/FILL FOR THE REST OF
THE SITE WORK - CONTRACTOR TO
PROVIDE AN EVENLY GRADED AREA
UPON COMPLETION OF CONSTRUCTION
THAT IS SEEDED AND MULCHED.~~

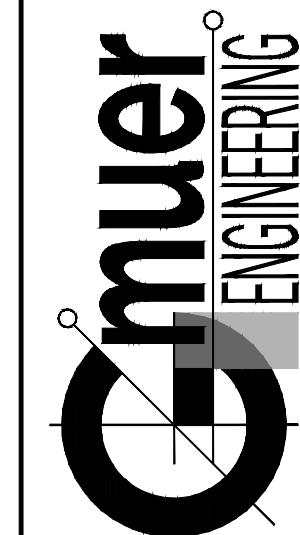
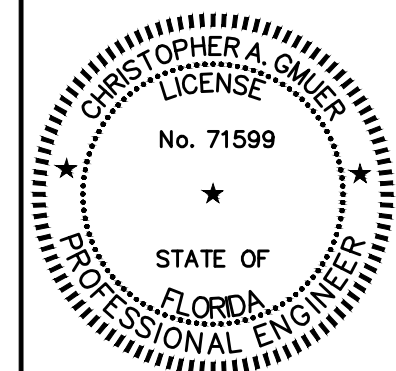
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RY PARTNERS, INC.

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PRICING :	PRELIMINARY
CONSTRUCTION :	NOT FOR CONSTRUCTION

PERMITTING / DESIGN REVISIONS :	UNDER REVIEW
2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN	

ENGINEER OF RECORD :
CHRISTOPHER A. GMUER
FL PE # 71599
2018-02-28



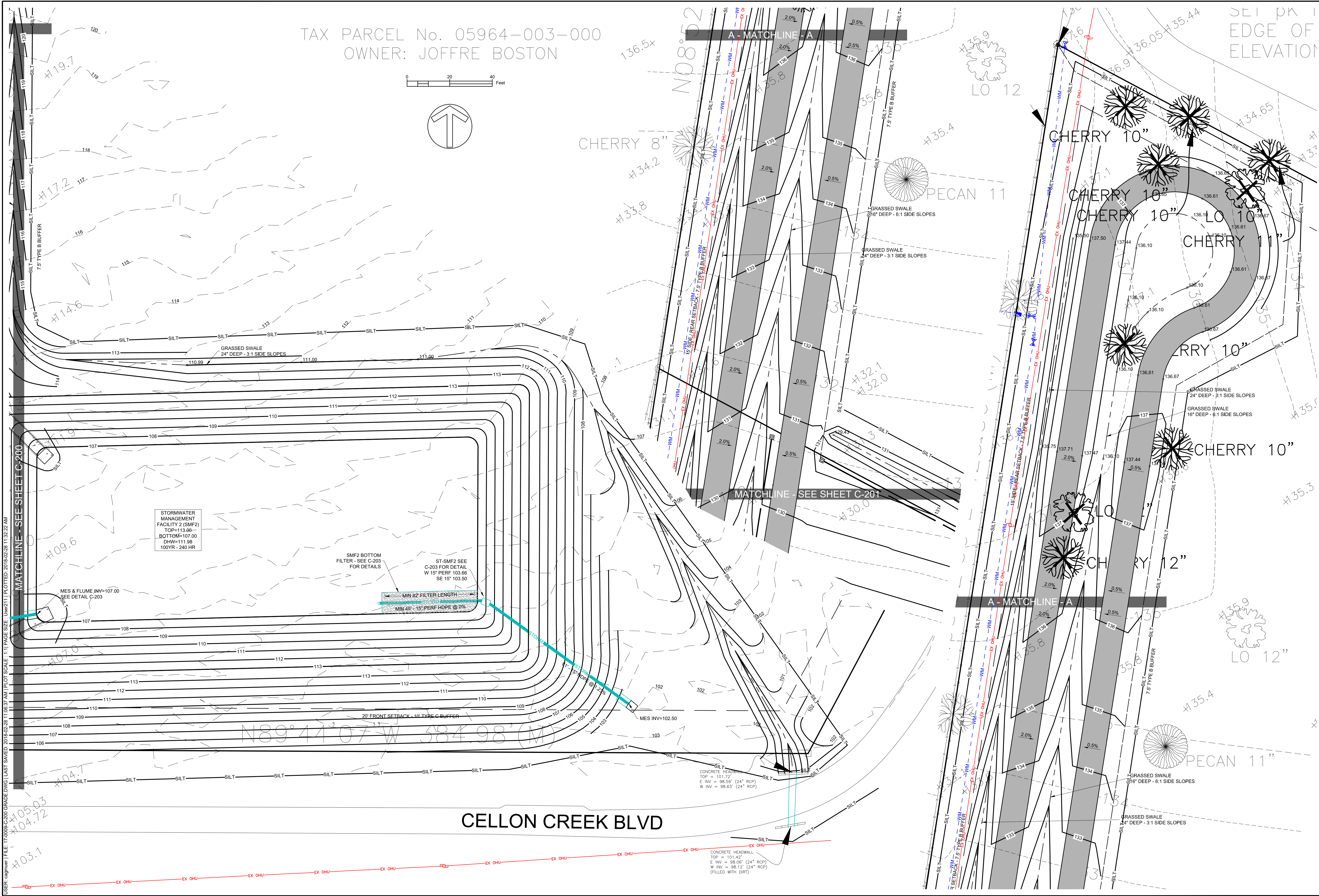
FL CA # 31533 qmuereng.com (352) 281-4928

CLIENT :	C.A. GMUER, PE C.A. GMUER, PE	TBD TBD
DESIGN :	QUALITY CONTROL :	ALACHUA APP # CEMUA APP #

VEMO AUTO
AUCTIONS

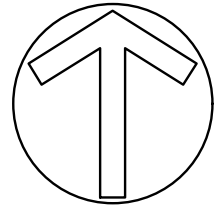
PAVING, GRADING, DRAINAGE, & UTILITY PLAN

C-201



TAX PARCEL No. 05964-003-000
OWNER: JOFFRE BOSTON

0 20 40 Feet



CHERRY 8"

PECAN 11"

CHERRY 10"

CHERRY 10"

CHERRY 11"

CHERRY 10"

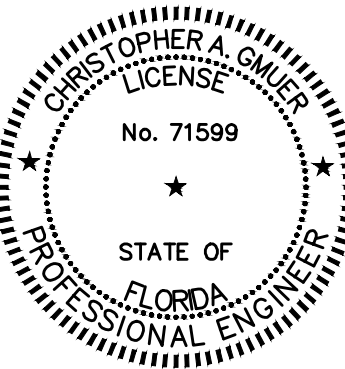
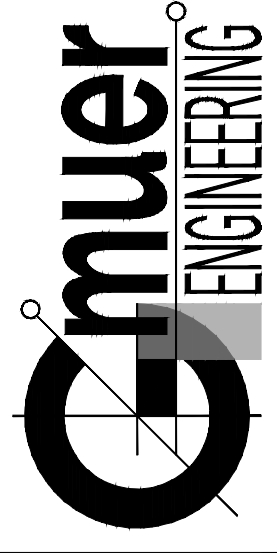
CHERRY 10"

CHERRY 12"

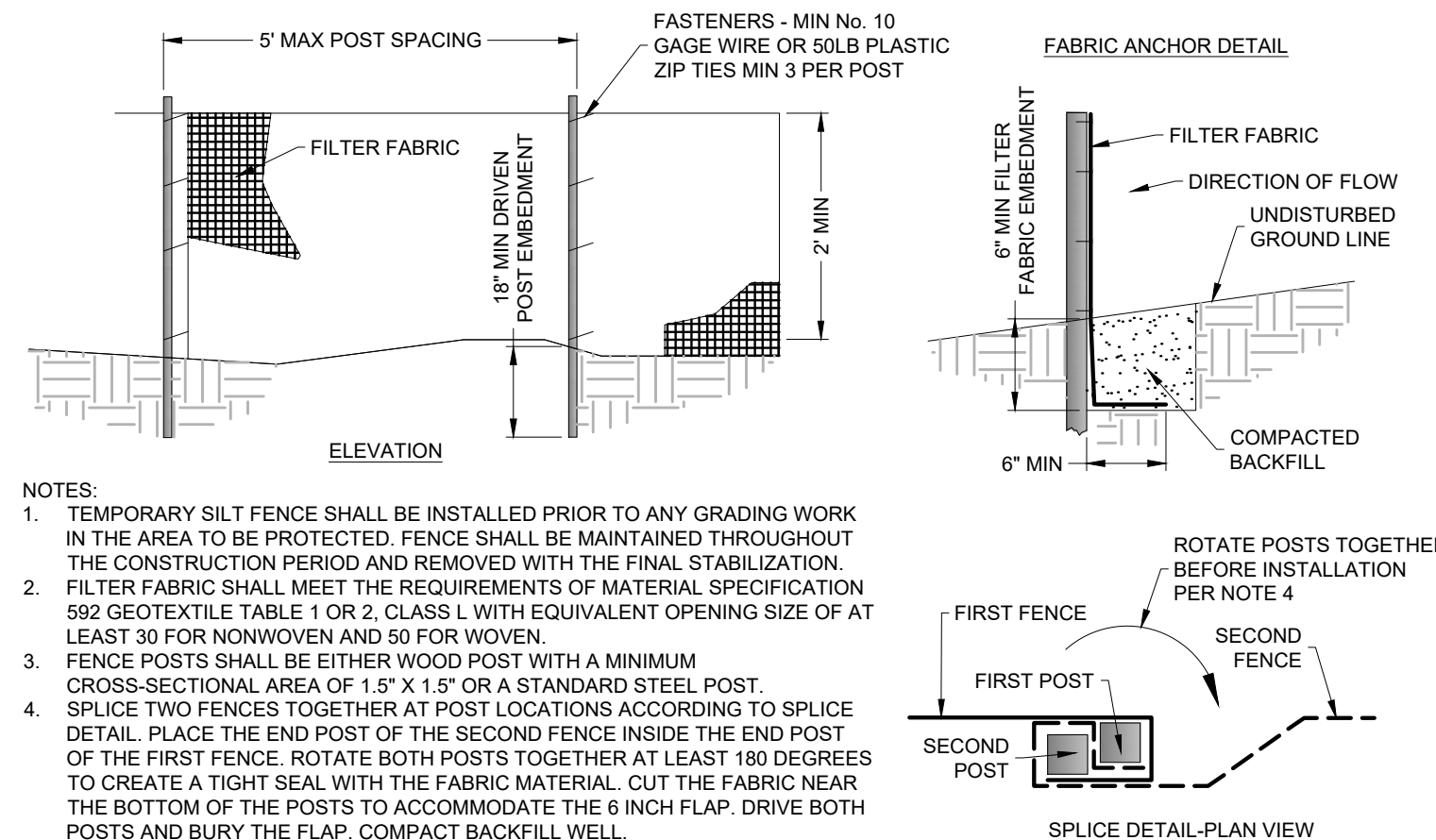
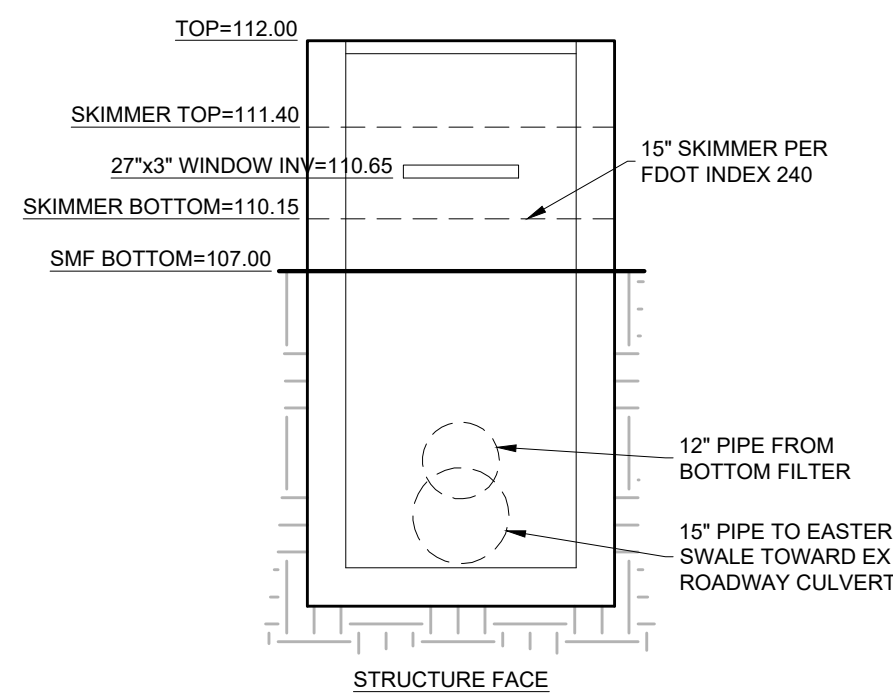
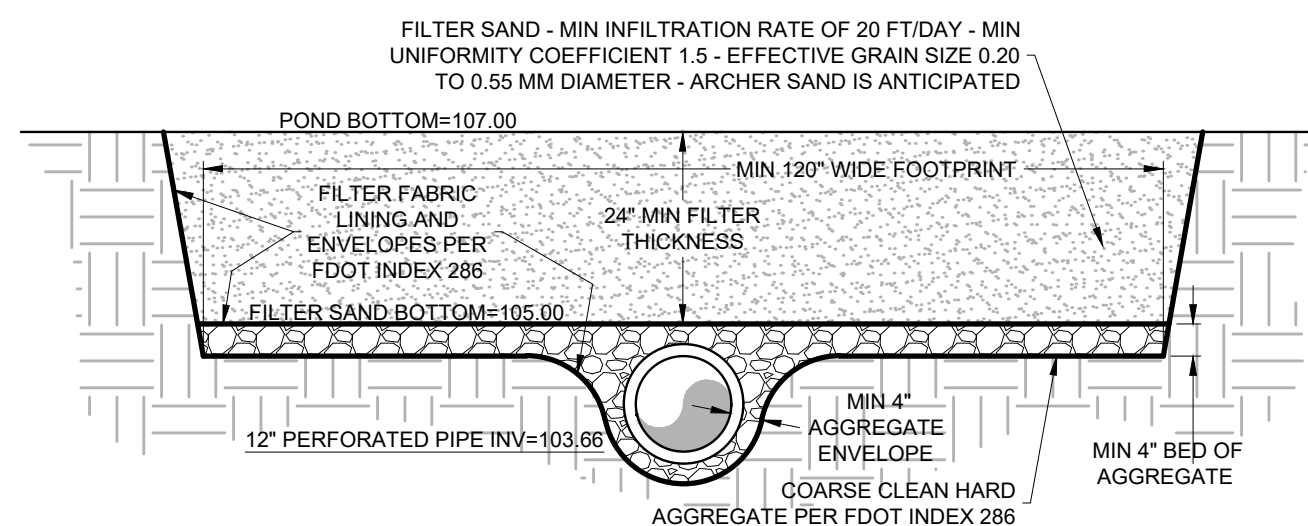
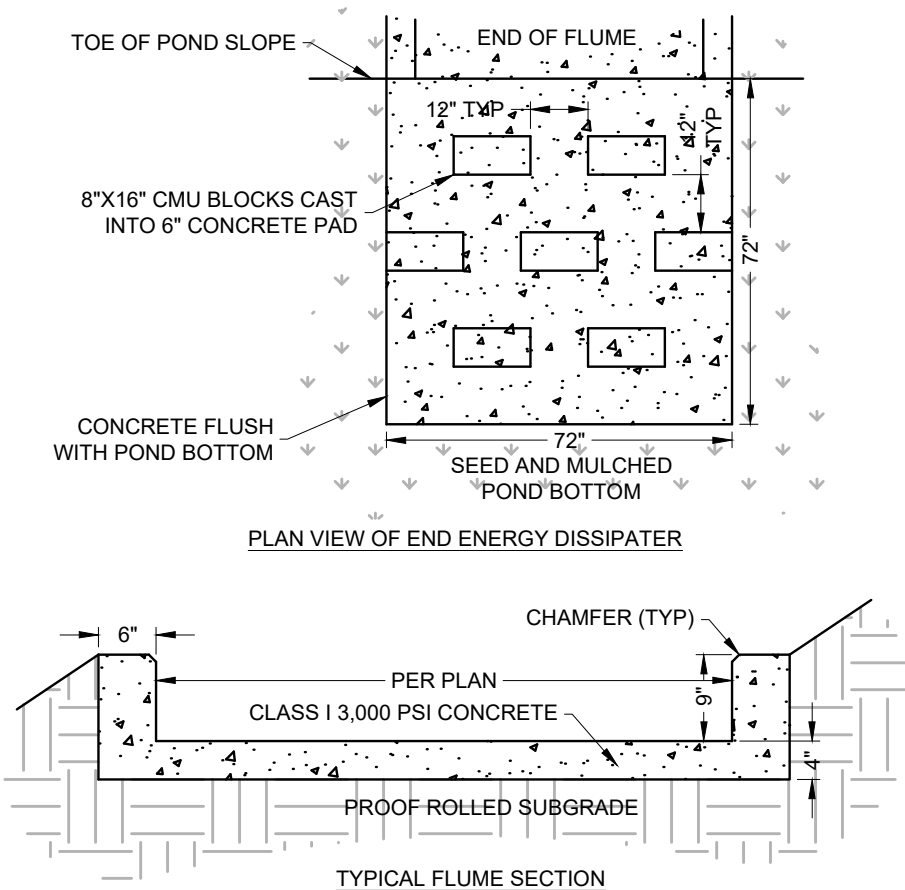
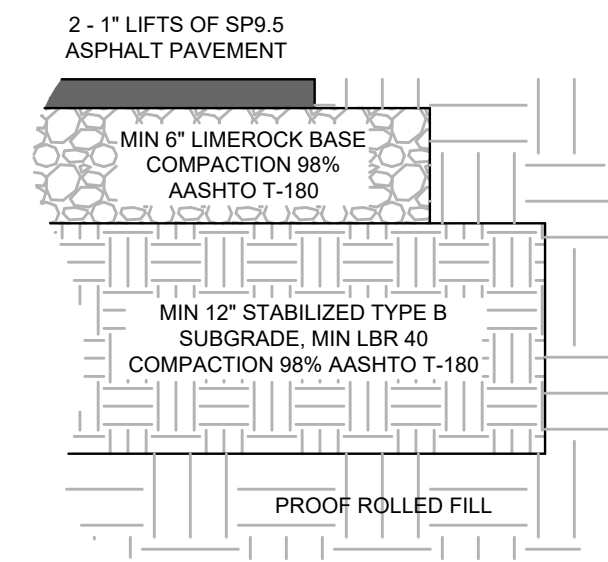
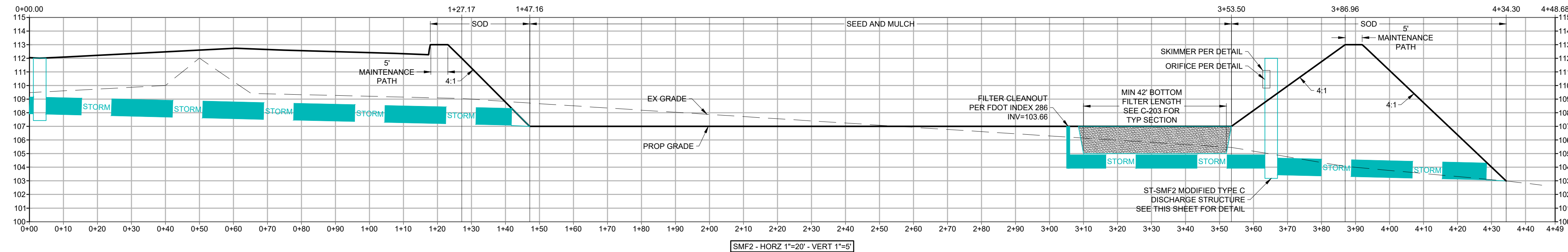
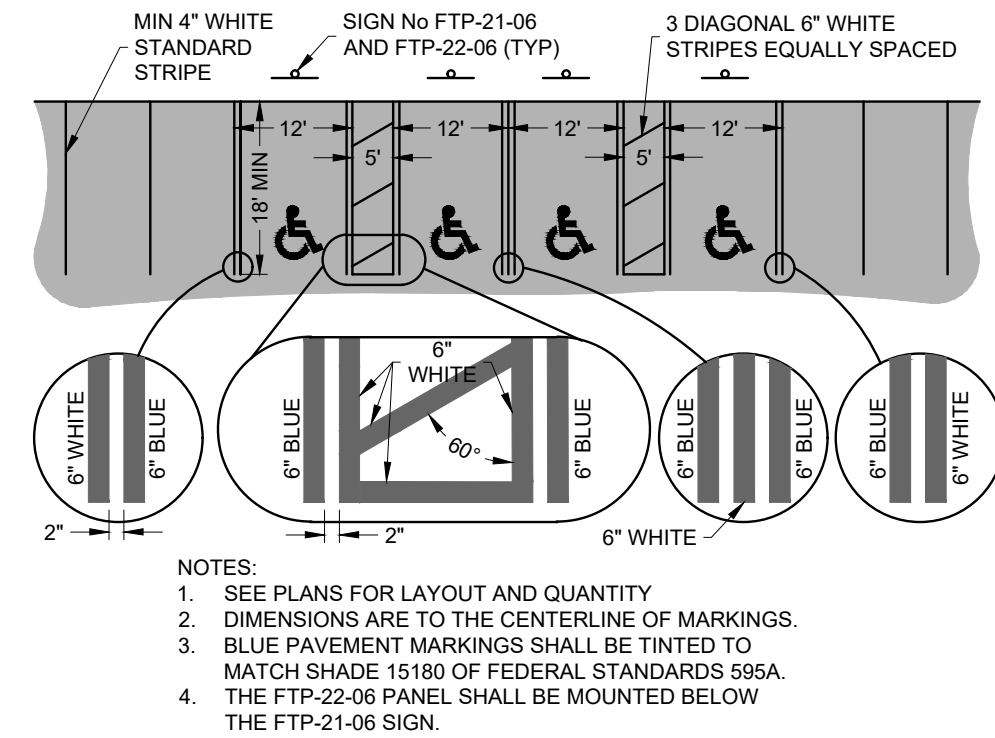
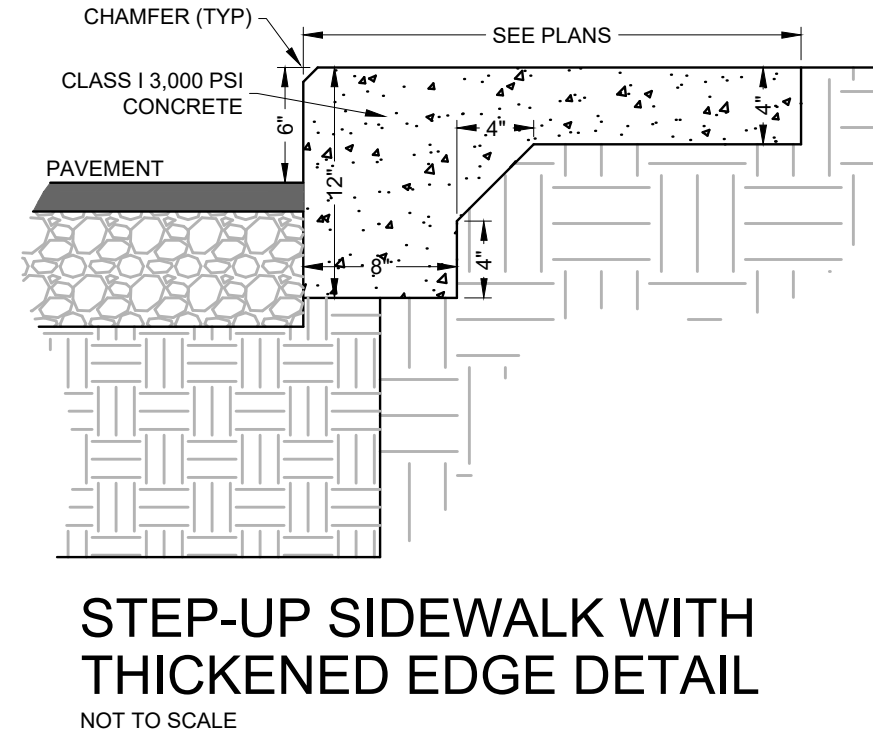
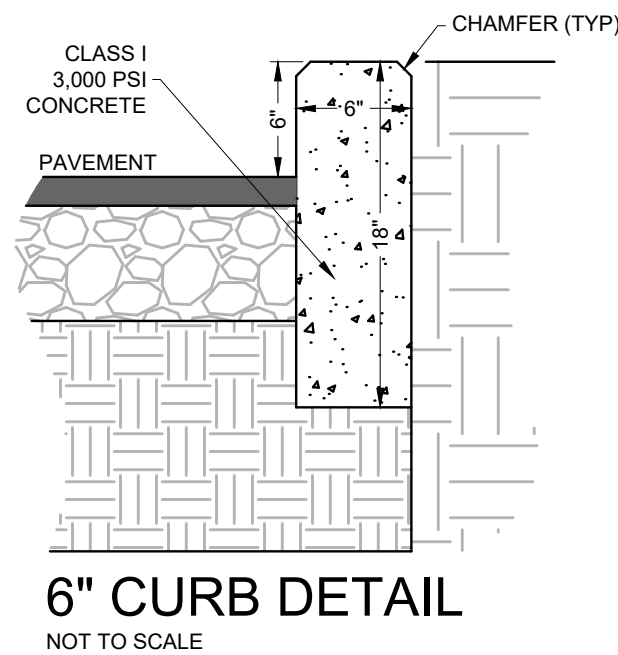
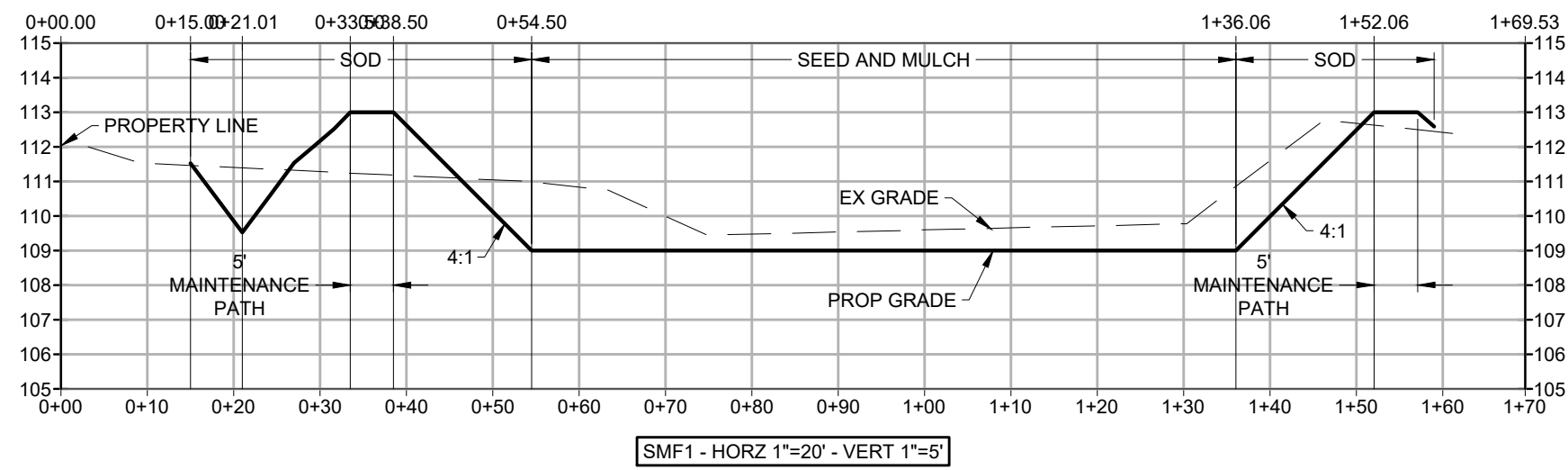
LO 12"

PECAN 11"

CELLON CREEK BLVD

PRELIMINARY NOT FOR CONSTRUCTION	
PRICING:	CONSTRUCTION:
UNDER REVIEW	
PERMITTING / DESIGN REVISIONS: 2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN 2017-09-18 REVISED FROM 9/14 MEETING NOTES 2017-10-09 SRWMD INITIAL SUBMITTAL 2017-12-13 CITY OF ALACHUA RESUBMITTAL 2018-02-14 CITY OF ALACHUA RESUBMITTAL 2018-02-28 MINOR JBRHO COMMENT REVISIONS	
ENGINEER OF RECORD: CHRISTOPHER A. GMAUER FL PE # 71599 2018-02-28	
	
 FL CA # 31533 gmauereng.com (352) 281-4628 2603 NW 13th St, Box 314 Gainesville, FL 32609	
CLIENT:	TBD
DESIGN:	C.A. GMAUER PE
QUALITY CONTROL:	C.A. GMAUER PE
ALACHUA APP #	TBD
SRWMD APP #	TBD
City PROJECT #	17-0093
VEMO AUTO AUCTIONS	
PAVING, GRADING, DRAINAGE, & UTILITY PLAN	
C-202	

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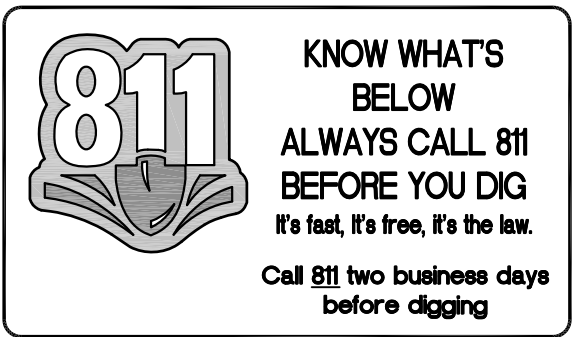


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ENGINEER OF RECORD: CHRISTOPHER A. GMUER FL PE # 71599 2018-02-28	
STATE OF FLORIDA PROFESSIONAL ENGINEER	
Gmuerr ENGINEERING FL CA # 31533 gmuerr.com (352) 281-4928 2803 NW 13th St, Box 314 Gainesville, FL 32609	
CLIENT:	TBD
DESIGN:	C.A. GMUER PE
QUALITY CONTROL:	C.A. GMUER PE
ALACHUA APP #	TBD
SRWMD APP #	TBD
City PROJECT #	17-0009
VEMO AUTO AUCTIONS	
SMF CROSS SECTIONS AND DETAILS	
C-203	

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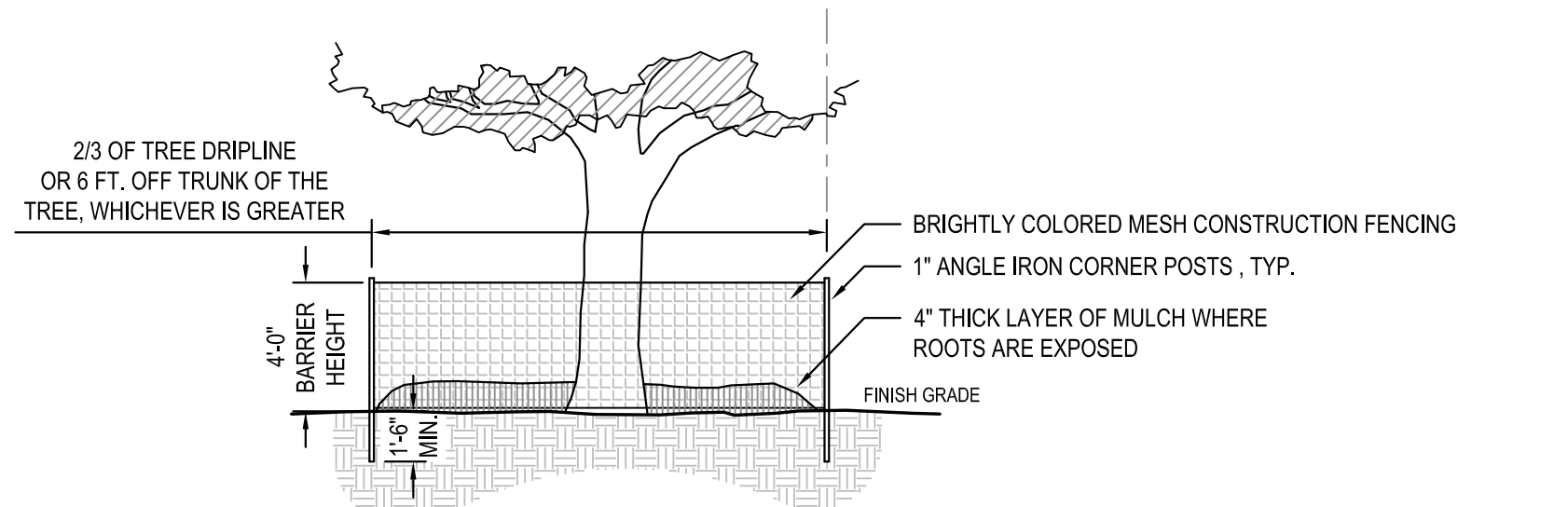
LANDSCAPE NOTES

1. **PRE-DESIGN MEETING:** IF REQUESTED BY THE CITY OF ALACHUA, CONDUCT A PRE-DESIGN, ON-SITE MEETING WITH THE LDR ADMINISTRATOR TO LOCATE ANY CHAMPION OR HERITAGE TREES AND OTHER REGULATED TREES AND TO DISCUSS PROTECTION METHODS FOR TREES TO BE RETAINED OR RELOCATED.
2. **EXISTING TREE PROTECTION:** PROTECTIVE BARRIERS SHALL BE CONSTRUCTED, AS NECESSARY, TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES LOCATED NEAR ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS. PROTECTED TREES SHALL INCLUDE THOSE TREES THAT HAVE NOT BEEN PERMITTED NOR DESIGNATED FOR REMOVAL BY EITHER THE TERMS OF THE PERMIT OR APPROVED DEVELOPMENT ORDER. PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT BY MACHINERY, VEHICLES, OR STORED MATERIALS. PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL CONSTRUCTION IS COMPLETED. SEE DETAIL BELOW FOR ADDITIONAL REQUIREMENTS.
3. **EXISTING UTILITIES:** LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL - SEE LOGO BELOW. A MINIMUM DISTANCE OF TEN FEET SHALL BE MAINTAINED FROM ALL RETAINED REGULATED, HERITAGE, AND CHAMPION TREES WHEN INSTALLING UNDERGROUND UTILITIES. IF THIS RESULTS IN UNREASONABLE HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER THE ROOT SYSTEMS. TREES WHOSE ROOTS ARE KNOWN TO CAUSE ROOT DAMAGE TO PUBLIC ROADWAYS OR OTHER PUBLIC WORKS SHALL NOT BE PLANTED WITHIN 15 FEET OF A PUBLIC UTILITY.
4. **VISIBILITY:** NO TREE SHALL BE PLANTED WITHIN TEN FEET OF A FIRE HYDRANT OR UTILITY POLE, WITHIN 15 FEET OF A DRIVEWAY APRON, WITHIN 20 FEET OF A TRAFFIC SIGN, OR WITHIN 25 FEET OF AN INTERSECTION IN ORDER TO ENSURE ADEQUATE VISIBILITY.
5. **TREE REMOVAL:** TREE REMOVAL SHALL BE CONDUCTED BY A LICENSED GENERAL CONTRACTOR, LICENSED RESIDENTIAL CONTRACTOR, OR TREE REMOVAL COMPANY. THE ENTITY RESPONSIBLE FOR REMOVAL OF THE TREE OR TREES SHALL HAVE A CURRENT OCCUPATIONAL LICENSE GRANTED BY THE JURISDICTION IN WHICH THE COMPANY IS LOCATED. PROOF OF CURRENT OCCUPATIONAL LICENSE SHALL BE SUBMITTED AT THE TIME OF APPLICATION FOR TREE REMOVAL PERMIT OR BUILDING PERMIT. A COPY OF THE TREE REMOVAL PERMIT SHALL BE POSTED ON THE SITE DURING CONSTRUCTION, IF APPLICABLE. SEE 'EXISTING REGULATED TREES AND REQUIRED MITIGATION' CHART FOR ADDITIONAL INFORMATION.
6. **PLANTING PREPARATION:** REMOVE ALL CONSTRUCTION DEBRIS, LIMESTONE, GRAVEL, ROAD BEDDING, LITTER, AND OTHER ITEMS POTENTIALLY DAMAGING TO PLANT GROWTH WITHIN PROPOSED LANDSCAPE AND TURF AREAS PRIOR TO PLANTING. MAINTAIN EXISTING GRADES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IF FILL IS REQUIRED, USE A CLEAN, SANDY LOAM WITH pH 5.5-6.5 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT IT IS FREE OF WEEDS, SEEDS, LITTER, TOXINS, AND OTHER ITEMS HARMFUL TO PLANTINGS.
7. **PRUNING:** IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE" (ANSI 300) AND "PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH—SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.
8. **PLANT MATERIAL - GENERAL:** ALL PLANT MATERIALS SHALL MEET 'FLORIDA NUMBER 1' REQUIREMENTS AS PER THE MOST CURRENT EDITION OF 'FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS', FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
9. **PROPOSED TREES:** PROPOSED CANOPY TREES SHALL BE A MINIMUM OF EIGHT FEET TALL WITH CALIPER PER FLORIDA GRADES AND STANDARDS. PROPOSED UNDERSTORY TREES SHALL HAVE A CALIPER OF 1 1/2" INCHES.
10. **PROPOSED SHRUBS:** PROPOSED SHRUBS SHALL BE A MINIMUM OF 24" HEIGHT IF UPRIGHT SPECIES AND 18" SPREAD IF SPREADING SPECIES.
11. **NEW TREE STAKING:** IF NECESSARY TO MAINTAIN TREES PLUMB, TREES SHALL BE STAKED WITH BIODEGRADABLE STAKING MATERIALS.
12. **SOD:** ALL UNPAVED AND DISTURBED AREAS OUTSIDE OF PROPOSED TREE, SHRUB, AND GROUNDCOVER PLANTINGS SHALL BE SODDED. SEE CIVIL PLANS FOR SODDING INFORMATION FOR STORMWATER FACILITIES. SOD SHALL BE SAND-GROWN, STRONGLY ROOTED, WITHOUT SYNTHETIC STABILIZING MATERIALS, FREE OF PESTS, AND CERTIFIED FREE OF NOXIOUS WEEDS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY.
13. **MULCH:** THREE INCHES OF MULCH SHOULD COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUNDCOVER PLANTING AREAS. MULCH SHOULD BE NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS. USE PINE STRAW MULCH FOR ALL PLANTING AREAS. MULCH TO BE FREE OF DEBRIS, STICKS, AND CONES. NO PLASTIC OR NON-BIODEGRADABLE WEED CLOTH OR SURFACE COVERS TO BE USED.
14. **IRRIGATION:** SEE IRRIGATION PLANS FOR IRRIGATION DESIGN.
15. **RESPONSIBILITY:** THE OWNER OF THE PARCEL SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PRESERVED, RELOCATED, OR REPLACEMENT TREES. ALL TREES WILL BE INSPECTED BY AN ARBORIST, FORESTER, OR REGISTERED LANDSCAPE ARCHITECT, HIRED BY THE OWNER, WITHIN SIX MONTHS AFTER PLANTING TO ENSURE THE TREES ARE SURVIVING IN A HEALTHY CONDITION. A CERTIFIED REPORT SHALL BE PROVIDED TO THE LAND DEVELOPMENT REGULATIONS ADMINISTRATOR DESCRIBING THE CONDITION OF TREES. TREES FOUND TO BE IN DECLINING CONDITION SHALL BE REPLACED BY THE OWNER OF THE PARCEL WITHIN 30 DAYS OF SUBMITTAL OF THE REPORT. IF REPLACEMENT IS NECESSARY, THERE SHALL BE A REINSPECTION REPORT SUBMITTED WITHIN SIX MONTHS AFTER THE REPLACEMENT REPLANTING. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ALL PLANT LIFE SHOWN ON A LANDSCAPE PLAN SHALL BE REPLACED IF IT DIES, IS SERIOUSLY DAMAGED, OR REMOVED.



NOTE:

1. PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL TREES TO BE RETAINED ON THE SITE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING AND CONSTRUCTION ACTIVITIES ARE COMPLETE, EXCEPT WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE PROTECTED AREA. IF LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE PROTECTED AREA, THEN THE PROTECTIVE BARRICADES SHALL ONLY BE REMOVED WHEN ACTIVITIES ARE OCCURRING. PROTECTIVE BARRICADES SHALL BE REPLACED UPON COMPLETION OF THE ACTIVITIES WITHIN THE PROTECTED AREA.
2. DO NOT STORE MATERIALS OR ALLOW ENCROACHMENT OF VEHICLES OR MACHINERY WITHIN TREE BARRIER AREA. NO BUILDING MATERIALS, DEBRIS, MACHINERY OR HARMFUL CHEMICALS SHALL BE PLACED WITHIN PROTECTIVE BARRIERS. ADDITIONALLY, THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE TREE PROTECTION AREA UNLESS APPROVED BY THE CITY OF ALACHUA DURING SITE PLAN REVIEW: CLEARING OF VEGETATION OTHER THAN BY HAND, COMPACTION, FILLING, OR REMOVAL OF SOIL, AND CONCRETE, ASPHALT, OR OTHER PAVING MATERIALS.
3. NO GRADE CHANGES MAY OCCUR WITHIN TREE BARRIER AREA WITHOUT APPROVAL. IF GRADE CHANGES ARE PROPOSED WITHIN THE TREE BARRIER AREA, EITHER A PROTECTIVE DRYWELL AND ROOT AERATION SYSTEM SHALL BE PROVIDED WHERE GRADE IS RAISED OR A PROTECTIVE RETAINING WALL SHALL BE CONSTRUCTED AT THE PERIMETER OF THE PROTECTIVE RADIUS.
4. NO ATTACHMENTS SHALL BE SECURED TO TREES DESIGNATED TO REMAIN ON SITE.
5. A THREE-INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF ANY EXPOSED ROOTS OF RETAINED REGULATED, HERITAGE, AND CHAMPION TREES AND KEPT WET DURING THE SITE CLEARING AND CONSTRUCTION PHASES.
6. ANY RETAINED OR RELOCATED TREE SHALL BE REPLACED IF THE TREE DIES WITHIN ONE YEAR AFTER SITE CLEARING AND CONSTRUCTION.
7. ANY ROOT PRUNING AND/OR PRUNING OF RETAINED REGULATED, HERITAGE, AND CHAMPION TREES DURING THE SITE CLEARING OR CONSTRUCTION PHASES SHALL BE DONE IN ACCORDANCE WITH ARBORICULTURAL STANDARDS.



1 EXISTING TREE PROTECTION DETAIL
SCALE: N.T.S.

EXISTING REGULATED TREES AND REQUIRED MITIGATION

Per City of Alachua ULDR, Article 6., Sec. 6.2.1.D. Tree Planting, Relocation, Replacement, Credit, Banking

REQUIREMENTS =

- Tree Mitigation:** New trees shall be installed to replace removed healthy, regulated (10" DBH and over) trees, excluding those trees on the City's Nuisance Tree List. Removed regulated trees shall be replaced on a 1 tree: 1 tree basis. Removed heritage and champion trees shall be replaced on an inch:inch basis.
- Replacement Trees:** Shall be graded Florida No. 1 or better. Replacement trees shall be of a similar type as that being removed. 50% shall be shade trees and 75% shall be site-specific trees chosen from the recommended tree list.
- Tree Credits:** Where a minimum number of trees are required to meet the landscaping requirements of these land development regulations or an approved planned development, credit shall be given for the retention of healthy existing native trees. No credit will be given for the preservation of trees on the nuisance tree list. double credit will be given for each preserved healthy heritage tree accommodated by a change in design within portions of the site proposed for development.

PROVIDED =

TREE NO.	EXISTING TREE	DBH	REMAIN OR REMOVE	MITIGATION REQUIRED or TREE CREDIT	TOTAL MITIGATION
1	Pecan / <i>Carya illinoensis</i>	11"	Remain	2 credits	
2	Live Oak / <i>Quercus virginiana</i>	12"	Remain	2 credits	
3	Live Oak / <i>Quercus virginiana</i>	12"	Remove	1 tree : 1 tree	2 trees
4	Live Oak / <i>Quercus virginiana</i>	10"	Remove	1 tree : 1 tree	2 trees
5	Willow / <i>Salix matsudana</i>	10"	Remain	2 credits	
* Note: 1. Existing Cherry Laurels are not considered regulated trees as they are included in the City's Nuisance Tree list. 2. Trees required for mitigation cannot be used for other site landscaping requirements.					4 trees Total Provided (Labeled as 'M' on plans all are shade trees of a similar species as those removed) 4 trees Total Tree Credits 6

SITE LANDSCAPE REQUIREMENTS

Per City of Alachua ULDR, Article 6., Sec. 6.2.2.D.1. Landscape Standards (c.) Business Uses

REQUIREMENTS =

- Canopy Trees, Primary/Street Facing Site Areas:** (3) canopy trees per acre.
- Canopy Trees, Side and Rear Site Areas:** (2) canopy trees per acre.
- Understory Trees, Entire Site:** (6) ornamental/understory trees per acre, with 50% planted in front of the structure and 25% planted on each side.
- Grassing, Entire Site:** A combination of solid sod, seeding and sprigs to cover 100% of the lot site disturbed by construction activities. Areas of native vegetation do not have to be sodded. An area within 20 feet of the front building facade shall be sodded with other disturbed areas to be sodded, seeded or sprigged.
- Building Facade:** An additional (4) canopy trees for each 100 lineal feet of facade, planted in front of the facade. An existing canopy tree that is a native species and in very good to excellent health can be utilized to fulfill this requirement if it is located within 25 feet of the building. It is encouraged that the tree be located so that it may provide shade on the structure during the summer afternoon. A row of shrubs planted along all facades of the structure, with consideration given to access to utility meters or mechanical equipment. In lieu of a horizontal line of shrubs along the front facade, shrub masses of three or more species may be utilized. Shrubs shall not be planted directly against the structure, but a minimum of two feet from the facade to facilitate adequate air circulation.

PROVIDED = Total Project Area 11.3 AC

SIDE OF SITE	REQUIRED	PROVIDED
Front, South	Canopy: 3/AC = 34 Trees at 15-gallon, 1.5" caliper (= 51 caliper inches total) Understory: 6/AC with 50% in Front = 34 Trees	Canopy: Alternative compliance requested.* Included on plan are 38, 15-gallon with 1.5" caliper trees plus 5, 30-gallon trees with 2" caliper. Translating both to caliper inches, 38 x 1.5" = 57" plus 5 x 2" = 10" = 67 caliper inches total. Understory: 34 Trees
Side, West	Canopy: 2/AC = 23 Trees at 15-gallon, 1.5" caliper (= 34.5 caliper inches total) Understory: 6/AC with 25% on side = 17 Trees	Canopy: 2 Tree Credits + Alternative compliance requested for remaining 20 remaining required trees.* Included on plan are 18, 30-gallon trees with 2" caliper. 18 x 2" caliper = 32 caliper inches total= 21 tree equivalents. Understory: 3 Tree Credits + 14 Trees
Side, East	Canopy: 2/AC = 23 Trees at 15-gallon, 1.5" caliper (= 34.5 caliper inches total) Understory: 6/AC with 25% on side = 17 Trees	Canopy: Alternative compliance requested.* Included on plan are 17, 15-gallon with 1.5" caliper trees plus 5, 30-gallon trees with 2" caliper. Translating both to caliper inches, 17 x 1.5" = 25.5" plus 5 x 2" = 10" = 35.5 caliper inches total. Understory: 17 Trees
Rear, North	Canopy: 2/AC = 23 Trees at 15-gallon, 1.5" caliper (= 34.5 caliper inches total)	Canopy: Alternative compliance requested.* Included on plan are 18, 15-gallon with 1.5" caliper trees plus 4, 30-gallon trees with 2" caliper. Translating both to caliper inches, 18 x 1.5" = 27" plus 4 x 2" = 8" = 35 caliper inches total. (Also provided are 60 Understory Trees due to perimeter buffer and parking lot screening requirements)
Bldg. Facade	1 Canopy tree / 25 LF Row of shrubs, all perimeters	Building facade trees noted with 'B' label on plans). Continuous paving along building's eastern and western perimeters prevent tree and shrub plantings along these building facades. Alternative compliance is requested in order to upsizae all building facade trees to provide the total number of required caliper inches with less trees.* Shrub rows have been provided where possible along facades.
	Front Facade: 135LF/25 = 5.4 = 5 Trees Back Facade: 110LF/25 = 3.2 = 4 Trees Western Side Facade: 110LF/25 = 4.4 = 5 Trees Eastern Side Facade: 110LF/25 = 4.4 = 5 Trees Total required trees: 20 20 trees at 15-gallon, 1.5" caliper = 30 caliper inches total	Front: 1 Existing (Tree Credit) + 5 Proposed Trees + shrub row Back: 4 Proposed Trees + shrub row West: 1 Proposed Tree + partial shrub row East: 5 Proposed Trees + partial shrub row Total: 15 proposed, 30-gallon 2" canopy trees = 30 caliper inches total

* Alternative compliance is requested per Section 6.2.2(D)(9)(b)(iii); * Up to a 25% reduction in the total number of required trees provided that the cumulative caliper size of all trees to be planted meets or exceeds the total caliper inches that would have been provided otherwise.* In some areas, the number of trees required would have resulted in a tree spacing that was not a best practice. To mitigate, 30-gallon, 2" caliper trees are proposed to allow for less trees in these tighter spaces. These larger trees provide 0.5" caliper more per tree than the code-minimum 15-gallon, 1.5" caliper trees. See calculations above that demonstrates the cumulative caliper per area meets requirements.

TREE DIVERSITY REQUIREMENTS

Per City of Alachua ULDR, Article 6., Sec. 6.2.2.D.8. Plantings

REQUIREMENTS =

- When fewer than (20) trees are required on a site, no more than 50% shall be of one type, OR
- When more than (20) but fewer than (40) trees are required , no more than 50% shall be of one single species, OR
- When (40) or more trees are required, no more than 50% of the required trees shall be of one single species.

TOTAL REQ. TREES	REQUIREMENT	PROVIDED
231	No more than a total of (116) for one proposed species	Most of one species is (66) Crape Myrtles

PARKING LOT LANDSCAPE REQUIREMENTS

Per City of Alachua ULDR, Article 6., Sec. 6.2.2.D.2. Parking Lot Landscaping

REQUIREMENTS =

- Offset:** Allow for a 2'-6" foot bumper overhang from the face of the curb to new plantings.
- Parking Interior Areas:** (1) canopy or understory tree/2,000 SF with (10) shrubs per tree, ideally within interior of parking lot islands.
- Parking Perimeter:** Shall be a minimum of five feet, and an average of seven feet in width along the entire length of the perimeter of the parking lot. The width of the buffer may vary to allow for design creativity, as long as a minimum width of five feet is maintained. Include (4) canopy trees for every 100 lineal feet, (2) understory/ornamental trees per 100 lineal feet, and a continuous, opaque screen of shrub material parallel to the parking lot area. The shrubs may be arranged in a linear or curvilinear pattern, as long as the screen does not have any visual breaks. The parking lot screen shall reach 36 inches in height within three years.

PROVIDED =

- Parking Interior Areas:** (1) canopy or understory tree/ 2,000 SF total parking lot area plus 10 shrubs/tree.

REQUIREMENT	PROVIDED
34,180 SF parking area / 2,000 SF = 17 trees total + 10 shrubs per tree = 170 shrubs	17 understory trees & 218 shrubs

- Parking Perimeter:** 4 canopy trees/100LF, 2 understory trees/100LF, and continuous, opaque hedge

REQUIREMENT	PROVIDED
Western Perimeter: 108 LF/ 25 = 5 Canopy trees 108 LF/ 50 = 3 Understory trees	Western: 5 Canopy trees, 3 Understory trees, and continuous hedge
Southern Perimeter: 355 LF/ 25 = 15 Canopy trees 355 LF/ 50 = 8 Understory trees	Southern: 15 Canopy trees, 8 Understory trees, and continuous hedge
Eastern Perimeter: 123 LF/ 25 = 5 Canopy trees 123 LF/ 50 = 3 Understory trees	Eastern: 5 Canopy trees, 3 Understory trees, and continuous hedge

SCREENING REQUIREMENTS

Per City of Alachua Memo, dated March 21, 2017

REQUIREMENTS =

- Outdoor Storage Screening:** Outdoor storage areas shall be screened from view from all property lines and adjacent right of ways by an opaque fence or wall between 6-8 ft. in height. The perimeter of the fence shall be landscaped with one tree every 20 LF.

PROVIDED =

- Continuous fence: See Civil Plans for fence layout and details.

- Landscape: See below.

SCREENING SIDE	REQUIRED	PROVIDED
North	409 LF / 20 = 21 trees	21 trees, canopy and understory
East	425 LF / 20 = 22 trees	22 trees, canopy and understory
South	428 LF / 20 = 22 trees	22 trees, canopy and understory
West	500 LF / 25 = 25 trees	25 trees, understory

SITE PERIMETER LANDSCAPE BUFFER REQUIREMENTS

Per City of Alachua ULDR, Article 6., Sec. 6.2.2.D.3. Perimeter Buffers

REQUIREMENTS =

- Vacant Adjacent Parcel** (Sec. 6.2.2.D.3.d.i.): Where a developing parcel is adjacent to a vacant parcel, the developing parcel may provide one-half of the perimeter buffer required adjacent to the vacant land in accordance with Table 6.2-2. Buffer Class Application.
- Existing Buffers** (Sec. 6.2.2.D.3.d.ii.): Where a developing parcel is adjacent to an existing use, then the developing parcel shall provide the full buffer required adjacent to the existing use, unless a perimeter buffer meeting the standards of this section already exists on either lot.
- Existing Trees to Remain Credits** (Sec. 6.2.2.D.4.): Canopy or ornamental/understory trees that are in very good to excellent health, that are protected before and during development of the site and maintained thereafter in a healthy growing condition, can be used to comply with the landscaping standards for Subsections 6.2.2(D)(1), Site landscaping; 6.2.2(D)(2), Parking lot landscaping; or 6.2.2(D)(3), Perimeter buffers, of this section. Credits for the preservation of existing canopy or ornamental/understory trees will be based on the standards in Table 6.2-3. Credit for Existing Trees Preserved.

- Alternative Landscape Plan** (Sec. 6.2.2.D.9.i. & ii.): An alternative landscape plan may be used where unreasonable or impractical situations would result from application of this section... (i.) A reduction in the total number of required trees and/or alteration of the spacing requirements between trees when underground connections to public facilities or public utilities, or public easements or rights-of-way, are located upon or in close proximity to the parcel...(i.) A reduction in the count, spacing, or species diversity standards which would be more desirable in terms of good landscape planning practice considering the nature of the parcel and adjacent parcels. (Referred to as 'alternative compliance' below.)

- Proposed Use and Adjacent Uses:** 'Industrial Services' is the development site's proposed use. Eastern and northern adjacencies are zoned as industrial services, which is considered 'Commercial Uses' within Table 6.2-2. Buffer Class Application and requires a Type B buffer. These adjacencies are currently vacant. Western adjacencies include parcels that are zoned as industrial services, which is considered 'Commercial Uses' within Table 6.2-2. and require a Type B buffer, and a municipal-owned parcel, considered 'Public and Institutional Uses' within Table 6.2-2, and require a Type C buffer. Parcels along the site's western perimeter are developed. Southern adjacent use is 'Public and Institutional Uses' (owner: UF Foundation) within Table 6.2-2. and requires a Type C buffer. This adjacency is currently vacant.

PROVIDED =

SIDE OF SITE	REQUIRED	PROVIDED
West	1. Adjacency with Alachua Public Works site = 10' wide Type C. Selected Option 2 Buffer, which requires one canopy tree per 30 LF and one shrub per tree = 170 shrubs 2. Other western adjacencies = 7.5' wide Type B. Selected Option 3 Buffer, which requires one four-foot berm or fence plus one canopy tree per 40LF, for those sections adjacent to existing solid wood fences. Selected Option 2 Buffer, which required one canopy tree per 40 LF, plus one hedge for those areas along the northern existing chain-link fence. Total length = 985 LF/40 = 25 canopy trees and either solid wood fence or continuous hedge.	1. Type 'C' Buffer is met with 8 proposed canopy trees and 31 shrubs 2. Type 'B' Buffer is met by existing opaque wooden fences of adjacent properties to remain for the majority of this perimeter. Additionally, existing understory vegetation between these fences and the existing overhead utility lines will be preserved. The northern 135 LF of this perimeter includes an existing chain-link fence, and 'option 2' buffer is selected for this length, with existing understory vegetation satisfying the shrub requirement. Alternative compliance is requested per Section 6.2.2(D)(9)(b)(i) for use of understory trees in lieu of canopy trees along this perimeter due to existing overhead utilities and the limited space for tree plantings between this overhead line and the proposed drive. Understory trees are proposed as larger than code-minimum size (30-gallon vs. 15-gallon) to assist in achieving buffer intent sooner. Total of 34 proposed understory and 2 canopy trees to remain meet this requirement. Trees are proposed at 20' minimum off of existing utility poles.
East	7.5' wide Type B. Either Option 3 Buffer, which requires a fence plus one canopy tree per 40LF, OR Option 2 Buffer, which requires one canopy tree per 40LF plus one hedge when a fence is not proposed. Since the adjacent site is vacant, only half of the requirement needs to be met. 1. Northern eastern buffer, along proposed chain-link fence, is proposed as Option 2: Total length = 433 LF/80 = 6 canopy trees and proposed hedge for half of length. 2. Central eastern buffer, along proposed solid wooden fence, is proposed as Option 3: Total length = 815/80 = 11 canopy trees and proposed solid fence. 3. Southern eastern buffer along proposed stormwater pond is proposed as Option 2: Total length = 165 LF/80 = 2 canopy trees and proposed hedge for half of the length.	1. Northern eastern buffer: 5 proposed and two existing canopy trees provided and proposed hedge along half of length. 2. Central eastern buffer: 16 proposed canopy trees and solid fence. 3. Southern eastern buffer: 3 canopy trees and proposed hedge along half of length.
North	7.5' wide Type B, Option 2 Buffer, which requires one canopy tree per 40LF plus one hedge. Since the adjacent site is vacant, only half of the requirement needs to be met. 1. Northern northern buffer: Total length = 145 LF/80 = 2 canopy trees and proposed hedge for half of the length. 2. Southern northern buffer along northern edge of proposed stormwater pond: Total length = 315 LF/80 = 4 canopy trees and proposed hedge for half of the length.	1. Northern northern buffer: 2 proposed canopy trees provided and proposed hedge for half of the length provided. 2. Southern northern buffer: 7 canopy trees and proposed hedge for half of the length provided.
South	10' wide Type C, Option 2 Buffer, which requires one canopy tree per 30LF plus one shrub per 8 LF. Since the adjacent site is vacant, only half of the requirement needs to be met. Total length = 835 LF (minus driveway widths)/60 = 14 canopy trees. 835LF/16 = 53 shrubs.	24 canopy trees and 159 shrubs provided. Shrubs have been grouped within various areas along this edge to look better and for ease of maintenance, versus shrubs spaced at 16' on center.

MANLEY DESIGN
Landscape Architecture • Site Planning

Manley Design, LLC
3462 NW 13th Avenue
Gainesville, Florida 32605
(352) 363-7412
Certificate of Authorization No. LC26000575

PROJECT NAME:

VEMO AUTO AUCTION

Alachua, FL

for
Dealers Auto Auction, Inc.

SEAL:

PROJECT NO: 17-047

CLIENT'S NO:

ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 11 OCT 2017

REVISIONS:

08 DEC 2017

14 FEB 2018

SCALE:

AS SHOWN

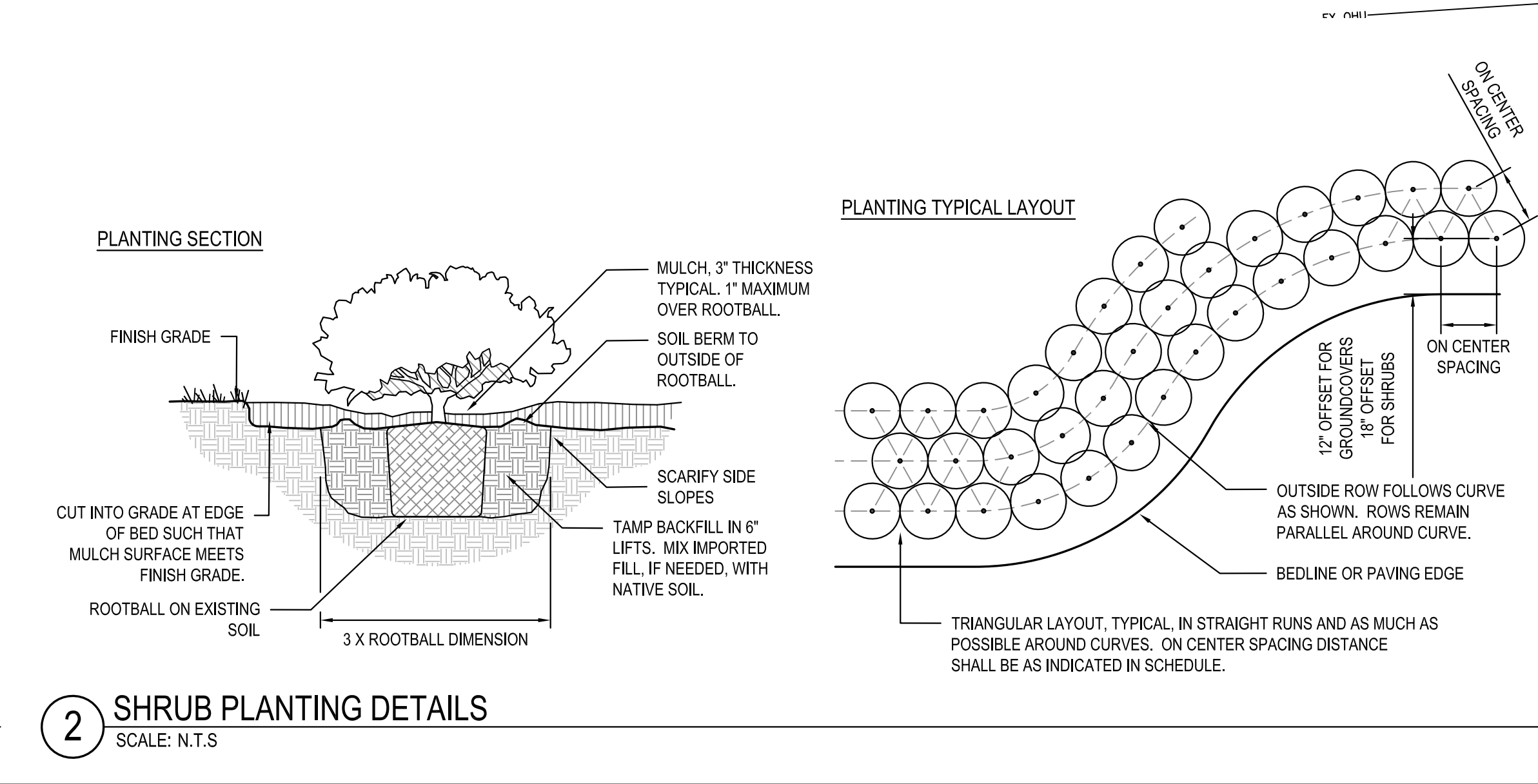
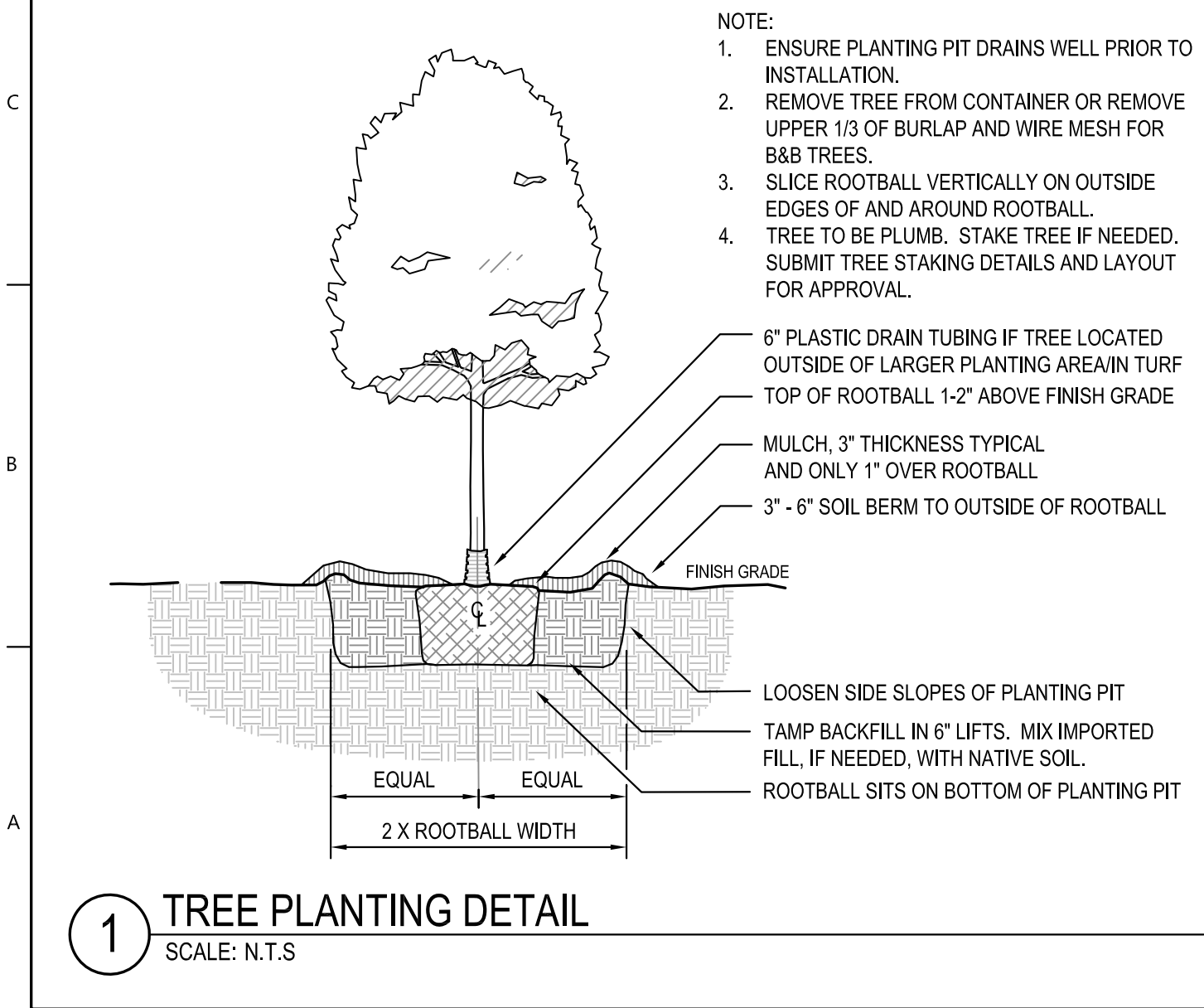
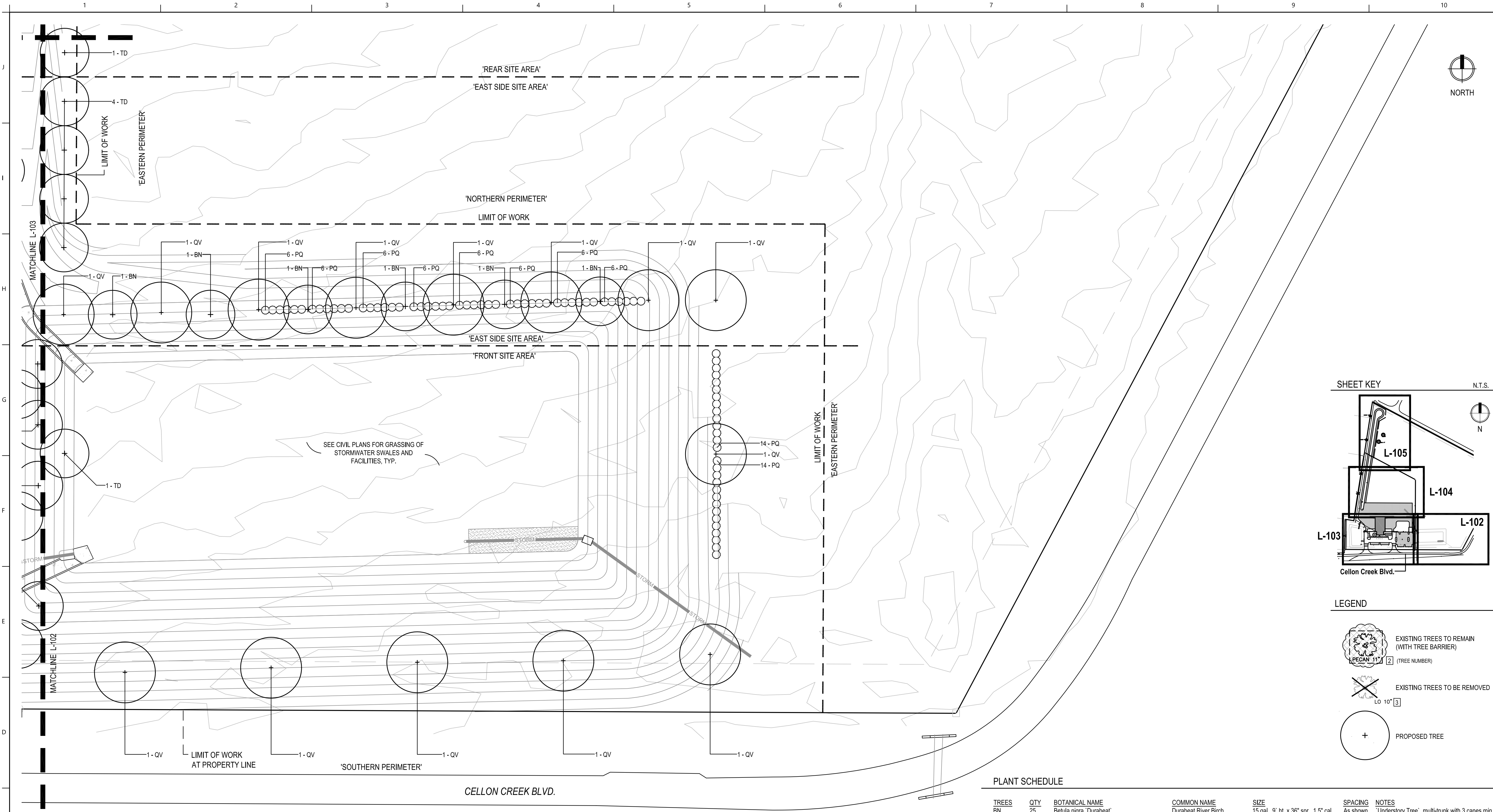
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LANDSCAPE NOTES, DETAILS, AND CALCULATIONS

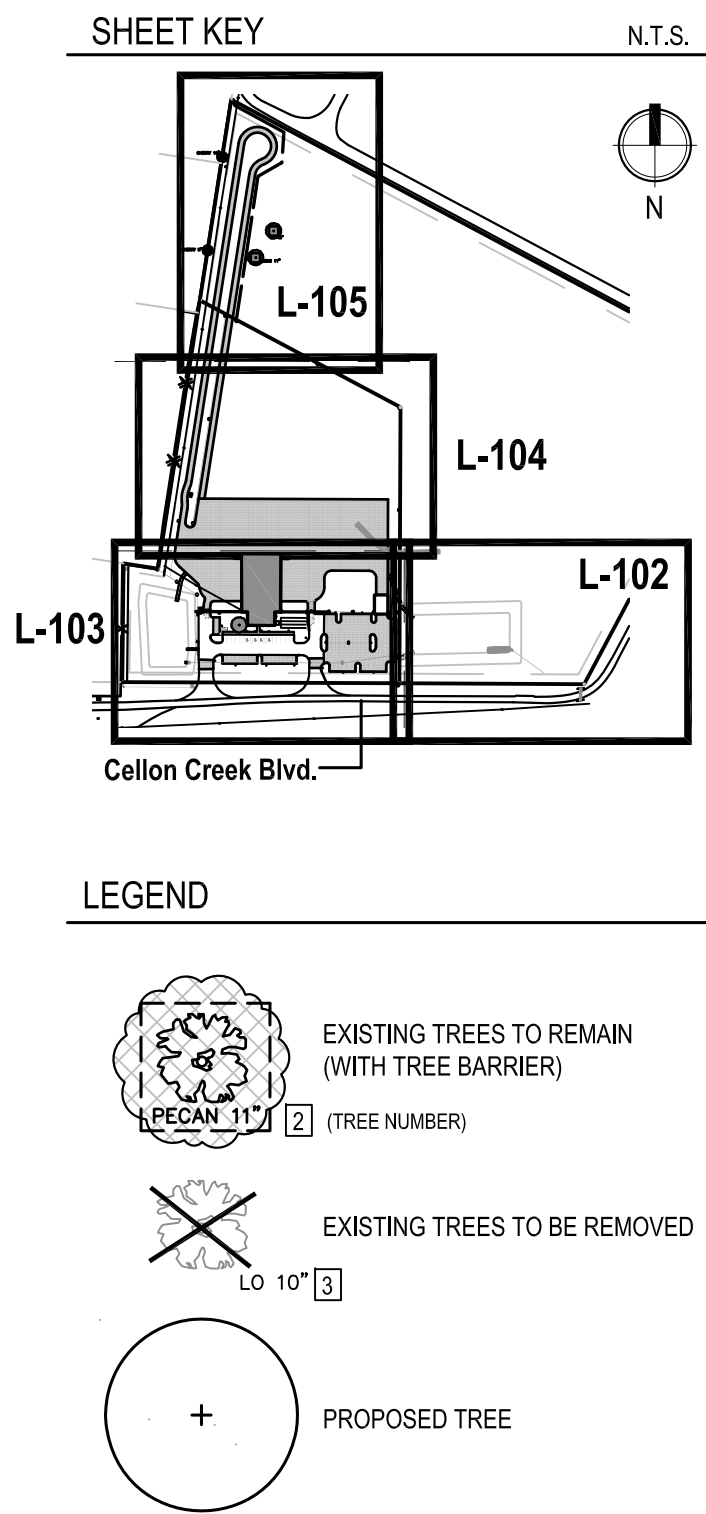
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L-101

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 SHEETS.DWG



PLANT SCHEDULE					
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BN	25	Betula nigra 'Duraheat'	Duraheat River Birch	15 gal., 9' ht. x 36" spr., 1.5" cal.	As shown
LIN	66	Lagerstroemia indica x faurei 'Natchez'	Natchez Crape Myrtle	15 gal., 8' ht. x 24" sprd., 1.5" cal.	As shown
QV	34	Quercus virginiana	Southern Live Oak	15 gal., 9' ht. x 36" spr., 1.5" cal.	As shown
TD	20	Taxodium distichum	Bald Cypress	15 gal., 9' ht. x 36" spr., 1.5" cal.	As shown
TDL	15	Taxodium distichum	Bald Cypress	30 gal., 10' ht. x 48" sprd., 2" cal.	As shown
UA	22	Ulmus alata	Winged Elm	15 gal., 9' ht. x 36" spr., 1.5" cal.	As shown
UAL	15	Ulmus alata	Winged Elm	30 gal., 11' ht. x 48" sprd., 2" cal.	As shown
VOL	34	Viburnum obovatum	Walter's Viburnum	30 gal., 7' ht. x 36" sprd., 2" cal.	As shown
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BB	49	Buxus microphylla	Boxwood	3 gal., 24" ht. x 9" sprd.	24" o.c.
ID	94	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	3 gal., 24" ht. x 18" sprd.	30" o.c.
IS	85	Ilex vomitoria 'Schillings Dwarf'	Dwarf Schillings Holly	3 gal., 18" ht. x 18" sprd.	30" o.c.
LP	135	Loropetalum chinense rubrum 'Plum Delight'	Purple Leaf Fringe Flower	3 gal., 24" ht. x 18" sprd.	30" o.c.
PQ	259	Paspalum quadrifarium	Crowngrass	1 gal., 18" ht., full	36" o.c.
VM	122	Viburnum obovatum 'Mrs Shillers Delight'	Mrs Shillers Delight Viburnum	3 gal., 24" ht. x 18" sprd.	24" o.c.
VO	31	Viburnum odoratissimum	Sweet Viburnum	3 gal., 24" ht. x 18" sprd.	48" o.c.
SOD/SEED		BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SEED		Paspalum notatum 'Argentine'	Bahia Grass	seed	25-30 lbs acre, spread & establish Apr. - Sept.
SOD		Paspalum notatum 'Argentine'	Bahia Grass	sod	Sand grown and weed free



VEMO AUTO
 AUCTION

Alachua, FL

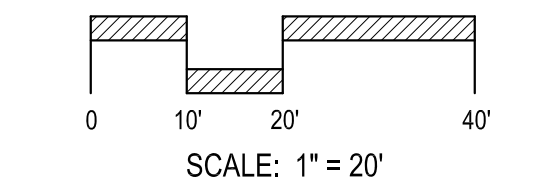
for
 Dealers Auto Auction,
 Inc.

SEAL:

PROJECT NO: 17-047
 CLIENT'S NO:
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 11 OCT 2017
 REVISIONS:
 08 DEC 2017
 14 FEB 2018

SCALE:



SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

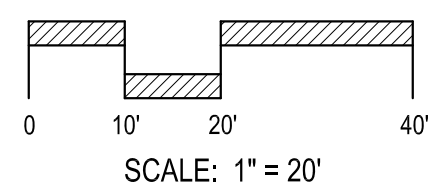
L-102

VEMO AUTO AUCTION

for
**Dealers Auto Auction,
Inc.**

PROJECT NO: 17-047
CLIENT'S NO.:
ISSUED FOR: **SITE PLAN REVIEW**

SCALE:



LANDSCAPE PLAN

L-103



VEMO AUTO AUCTION

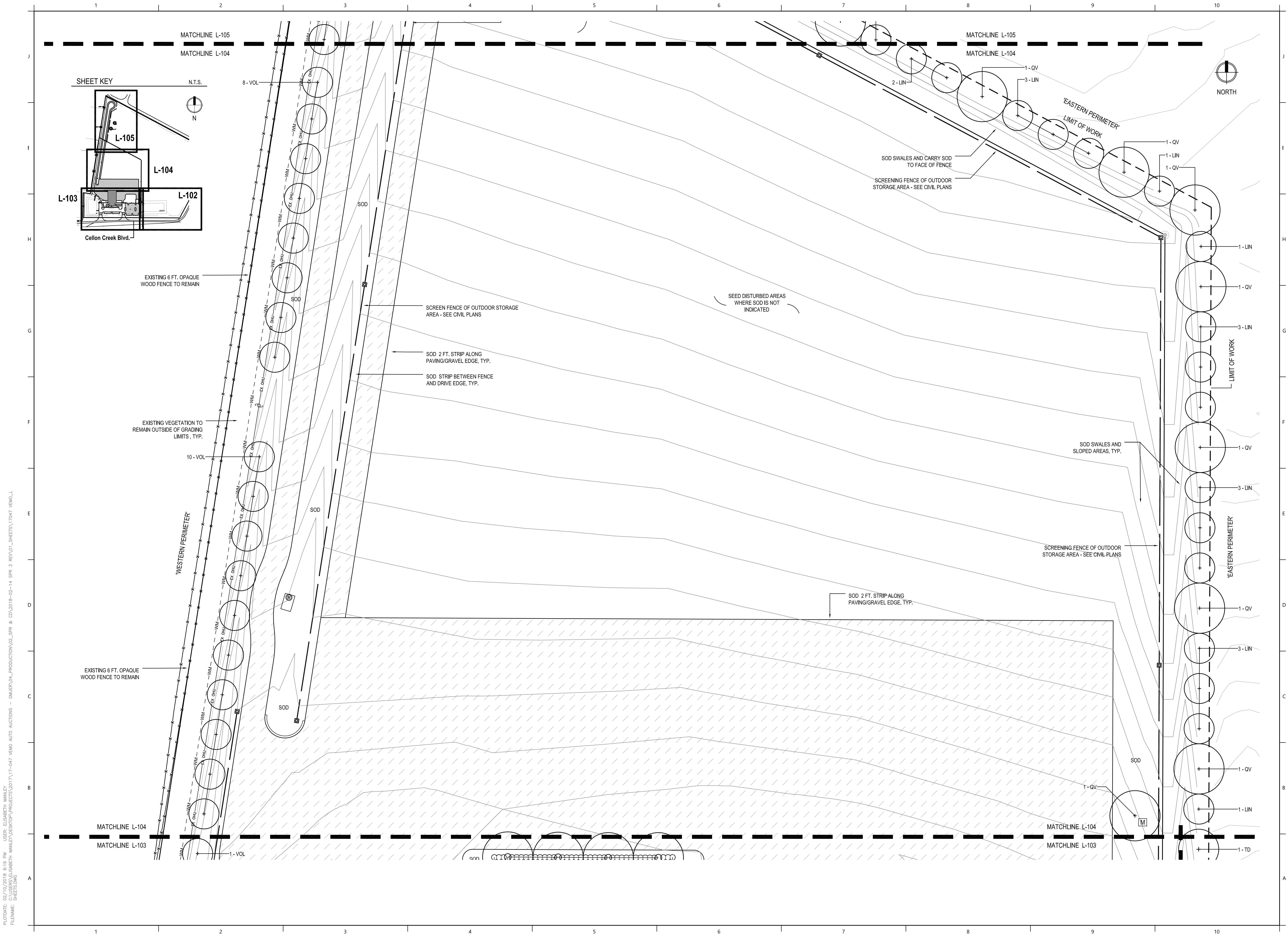
for
**Dealers Auto Auction,
Inc.**

PROJECT NO: 17-047
CLIENT'S NO.:
ISSUED FOR: **SITE PLAN REVIEW**

04 DEC 2017
14 FEB 2018

LANDSCAPE PLAN

L-104



VEMO AUTO AUCTION

for
**Dealers Auto Auction,
Inc.**

PROJECT NO: 17-047
CLIENT'S NO.:
ISSUED FOR: **SITE PLAN REVIEW**

04 DEC 2017

14 FEB 2018

0 10' 20' 40'

SCALE: 1" = 20'

LANDSCAPE PLAN

L-105



PLOTDATE: 02/10/2019 6:23 PM USER: ELISABETH MANLEY MANLEY\USKTOP\PROJECTS\2017\17-047 VEMO AUTO AUCTIONS - GUMER\04_PRODUCTION\02_SPP & 03\2019-02-14 SPP_3 REV 01_SHEETS\17047 VEMO_L
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TECHNICAL SPECIFICATIONS - PLANTING, SECTION 329000

PART 1 - GENERAL

- 1.1 SUMMARY
 - A. PROVIDE ALL LABOR, EQUIPMENT AND INCIDENTALS REQUIRED TO RENDER ALL SERVICES REQUIRED TO SUCCESSFULLY INSTALL ALL TURF AND LANDSCAPE PROPOSED WITHIN THE PROJECT AREA AS DEFINED ON PLANS.
 - B. WORK WILL INCLUDE BUT IS NOT LIMITED TO PREPARATION, INSTALLATION, AND MAINTENANCE FOR PROPOSED TURF AND LANDSCAPE MATERIAL.
- 1.2 SUBMITTALS
 - A. PROVIDE TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO ANY PLANTING ACTIVITIES. SUBMITTALS SHALL INCLUDE:
 1. A COPY OF CURRENT CERTIFICATE AS A CERTIFIED LANDSCAPE CONTRACTOR BY THE FLORIDA NURSERY, GROWERS, AND LANDSCAPE ASSOCIATION (FNGLA).
 2. A COPY OF CURRENT PEST CONTROL LICENSE (ROW, ORNAMENTAL AND/OR AQUATIC, IF APPROPRIATE)
 3. MANUFACTURER'S LABELS OR INFORMATION FOR ANY COMPONENTS INCORPORATED INTO THIS PROJECT, INCLUDING BUT NOT LIMITED TO FERTILIZERS, PESTICIDES, AND STAKING SYSTEMS.
 4. IF REGENERATED PALMS ARE PROPOSED WITHIN THE PROJECT, REPRESENTATIVE COLOR PHOTOGRAPHS OF "REGENERATED PALMS" SHALL BE PROVIDED BY THE CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY. PHOTOS SHALL CLEARLY DEPICT THE FOLLOWING: CLEAR TRUNK HEIGHT; THE TRUNK DIAMETER MEASURED AT THE BASE; THE ROOT BALL MEASUREMENTS; REGENERATED ROOTS ON ALL SIDES OF THE ROOT BALL; AND THREE FULLY EXPANDED NEW FRONDS.
 5. IF IMPORTED FILL IS REQUIRED TO AUGMENT EXISTING CONDITIONS FOR PLANTING, PROVIDE IMPORTED FILL AS DESCRIBED WITHIN PRODUCTS SECTION. PROVIDE A SOIL ANALYSIS THROUGH THE UNIVERSITY OF FLORIDA EXTENSION SOIL TESTING LABORATORY FOR EACH FILL SOURCE AND INCLUDING INCLUDE A WRITTEN REPORT CONTAINING SOIL-AMENDMENT AND FERTILIZER RECOMMENDATIONS FOR EACH SOURCE.
 6. SCHEDULE OF VALUES: PRIOR TO THE COMMENCEMENT OF THE WORK, SUBMIT INSTALLED UNIT PRICES FOR ALL PLANT MATERIALS (MULCH SHALL BE INCLUDED IN THE INSTALLED UNIT PRICING) AND SODDING. THE SCHEDULE OF VALUES SHOULD EQUAL THE TOTAL CONTRACT PRICE FOR LANDSCAPE INSTALLATION.
 7. TYPEWRITTEN INSTRUCTIONS PROVIDING A MAINTENANCE SCHEDULE AND ALL MAINTENANCE OPERATIONS NECESSARY TO MAINTAIN THE PLANTINGS DURING AND FOLLOWING INSTALLATION, AS SPECIFIED BELOW.
 8. WRITTEN WARRANTIES AS SPECIFIED BELOW.
 9. RECORD DRAWINGS: FURNISH ONE SET OF RECORD DRAWINGS THAT CLEARLY SHOW ALL CHANGES MADE TO THE ORIGINAL CONTRACT DRAWINGS DURING THE COURSE OF THE WORK. DRAWINGS SHALL BE PROVIDED IN PDF FILE FORMAT AND TO BE FULLY LEGIBLE AND TO SCALE.

1.3 QUALITY CONTROL

- B. ALL WORK SHALL BE PERFORMED BY A FNGLA CERTIFIED LANDSCAPE CONTRACTOR (FCLC) WHO HAS COMPLETED LANDSCAPE WORK SIMILAR IN SCOPE, MATERIAL, DESIGN, AND EXTENT TO THAT AS INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL TREE AND SHRUB ESTABLISHMENT. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN FCLC CERTIFICATION UNDER FNGLA.
 - C. PRUNING, IF REQUIRED, SHALL BE PERFORMED BY A CERTIFIED ARBORIST, AS CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA).
- ALL PLANT MATERIAL TO COMPLY WITH "FLORIDA #1" GRADE QUALITY STANDARD AS DEFINED AND SPECIFIED WITHIN THE LATEST EDITION OF THE "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRIES. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALED, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- D. UNSATISFACTORY OR DEFECTIVE MATERIAL MAY BE REJECTED AT ANY TIME, AND REJECTED MATERIAL SHALL BE REMOVED IMMEDIATELY FROM THE PROJECT SITE.
 - E. CONTRACTOR SHALL MAINTAIN AND EXPERIENCED, FULL-TIME SUPERVISOR ON THE PROJECT SITE DURING ALL PLANTING ACTIVITIES.
 - F. SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS PROOF OF NON-AVAILABILITY OR EVIDENCE OF EQUAL STATUS IS DEMONSTRATED PRIOR TO ORDERING AND/OR INSTALLATION. CONTRACTOR TO SUBMIT A SUBSTITUTION REQUEST TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO ORDERING, DELIVERY, OR INSTALLATION OF MATERIAL. THE SUBSTITUTION REQUEST SHALL IDENTIFY THE ISSUE WITH THE SPECIFIED MATERIAL AND PROPOSE ALTERNATIVE, EQUAL MATERIAL(S). INFORMATION TO BE PROVIDED REGARDING ALTERNATIVE MATERIALS SHALL INCLUDE SCIENTIFIC NAME, COMMON NAME, SIZE, AND SOURCE.
 - G. PACKAGE STANDARD PRODUCTS WITH MANUFACTURER'S CERTIFIED ANALYSIS OR ANALYSIS BY RECOGNIZED LABORATORY.

1.4 CONTRACTOR REQUIREMENTS

- A. PROVIDE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY FOR COMPLETION OF WORK AND MAINTENANCE.
- B. OBTAIN ALL NECESSARY PERMITS, LICENSES, AND NOTIFICATIONS AND PAY FEES NECESSARY FOR COMPLETION OF THE WORK.
- C. COMPLY WITH ALL APPLICABLE CODES.
- D. COORDINATE WITH OTHER TRADES WORKING ON THE PROJECT DURING PLANTING ACTIVITIES.
- E. COORDINATION SHALL OCCUR WITH OTHER CONTRACTORS OR PROJECTS OCCURRING OFF SITE IF NECESSARY.
- F. IDENTIFY AND VERIFY THE LOCATION OF ALL UTILITIES WITHIN PROPOSED PLANTING AREAS. CONTRACTOR TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. AS REQUIRED BY CHAPTER 556 OF FLORIDA STATUTES PRIOR TO ANY EXCAVATION OR PLANTING ACTIVITIES.
- G. PROVIDE SAFE STORAGE FOR ALL EQUIPMENT AND MATERIALS. STORAGE OF SUCH ITEMS IS AT THE CONTRACTOR'S RISK.
- H. REPAIR, AT NO COST TO THE OWNER, ANY DAMAGE OCCURRING DUE TO CONTRACTOR NEGLIGENCE TO EXISTING UTILITIES, STRUCTURES, FURNISHINGS, HARDSCAPE, LANDSCAPE, OR OTHER ELEMENTS TO REMAIN. ANY DAMAGED WORK SHALL BE REPAIRED AS PER PLANS, OTHER SPECIFICATIONS SECTIONS, OR AS INSTRUCTED BY THE OWNER'S REPRESENTATIVE.
- I. MAINTENANCE DURING INSTALLATION AND UNTIL FINAL ACCEPTANCE.

1.5 WARRANTY

- A. EXISTING LANDSCAPE AND VEGETATION
 1. ALL EXISTING LANDSCAPE AND TURF TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES.
- B. NEW PLANTS
 1. WARRANTY SHRUBS AND GROUNDCOVER FOR A PERIOD OF TWELVE (12) MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR THAT WHICH IS A RESULT OF NEGLIGENCE BY OWNER, ABUSE, DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTOR'S CONTROL.
 2. REMOVE AND REPLACE ANY LANDSCAPE MATERIAL FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD.
- B. NEW SOD:
 1. WARRANTY ALL GRASS FOR A PERIOD OF SIX (6) MONTHS AFTER SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR THE UNUSUAL PHENOMENA OR INCIDENTS, WHICH ARE BEYOND THE CONTRACTOR'S CONTROL.
 2. REMOVE AND REPLACE ALL TURF FOUND TO BE DEAD OR IN AN UNHEALTHY CONDITION DURING WARRANTY PERIOD AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- C. REPAIR GRADES, LAWN AREAS, PAVING, AND ANY OTHER DAMAGE RESULTING FROM REPLACEMENT PLANTING OPERATIONS, AT NO ADDITIONAL COST TO OWNER.
- D. IF ANY PLANTS ARE REPLACED DURING THE WARRANTY PERIOD, THEN THE REPLACEMENT MATERIAL SHALL ALSO BE WARRANTED FOR THE SAME PERIOD AS LISTED FOR NEW MATERIAL, ABOVE, FROM THE DATE OF REPLACEMENT. ONLY ONE REPLACEMENT WILL BE REQUIRED EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH SPECIFIED REQUIREMENTS.
- E. A FINAL INSPECTION WILL BE MADE AT THE END OF THE WARRANTY PERIOD TO DETERMINE ACCEPTANCE OR REJECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER, IN WRITING, THIRTY (30) DAYS PRIOR TO THE END OF THE WARRANTY PERIOD, AT WHICH TIME THE OWNER HAS THE OPTION TO PERFORM AN END OF WARRANTY INSPECTION. FAILURE TO NOTIFY THE OWNER OF THE END DATE OF THE WARRANTY PERIOD SHALL CAUSE THE WARRANTY PERIOD TO EXTEND UNTIL SUCH TIME AS THE CONTRACTOR GIVES THE OWNER THE REQUIRED 30 DAYS NOTICE.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED AT SITE.
- B. SOD: TIME DELIVERY SO THAT SOD WILL BE PLACED WITHIN 24 HOURS AFTER STRIPPING. PROTECT SOD AGAINST DRYING AND BREAKING OF ROLLED STRIPS.
- C. PLANTS: DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING DELIVERY. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET PLANTS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME. HANDLE PLANT MATERIALS BY ROOTBALL.

PART 1 - GENERAL, CONT

1.7 PROJECT CONDITIONS

- A. COORDINATE AND COOPERATE WITH OTHER TRADES TO ENABLE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
- B. IF WEATHER CONDITIONS DETRIMENTAL TO PLANTING ARE ENCOUNTERED OR ANTICIPATED, NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PLANTING. PLANTING SHALL NOT OCCUR DURING PERIODS OF OR WITHIN 48 HOURS OF PREDICTED TEMPERATURES LESS THAN 32 F.
- C. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR ANTICIPATED, INCLUDING BUT NOT LIMITED TO LIMESTONE, ROAD BASE, RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OBSTRUCTIONS, OR TOXIC MATERIALS, NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- D. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.
- E. DETERMINE LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL, 811. PERFORM WORK IN A MANNER THAT AVOIDS POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED.

PART 2 - PRODUCTS

2.1 FILL

- A. IF REQUIRED TO AUGMENT EXISTING SOILS FOR LANDSCAPE AND TURF INSTALLATION, PROVIDE NEW, DEEP FILL MATERIAL AS PER USDA STANDARD TEXTURES AND THAT IS TAKEN FROM WELL-DRAINING LOCAL SOURCES WITH SIMILAR SOIL TYPES AS FOUND AT THE PROJECT SITE.
- B. FILL TO BE SUITABLE FOR PLANT GROWTH, FRIABLE, AND FREE OF CLAY LUMPS, BRUSH, WEEDS, SEEDS, ROOTS, STUMPS, STONES, ORGANIC MUCK, HARD PAN CLAY, LITTER AND CONSTRUCTION DEBRIS INCLUDING LIMEROCK OR PAVING BASE MATERIAL, ASPHALT, AND CONCRETE, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH
- C. FILL TO BE OF PH 5-6.5.

2.2 MULCH

- A. MULCH SHALL BE PINE STRAW, FREE OF BRANCHES, CONES, AND DEBRIS.

2.3 COMMERCIAL FERTILIZER

- A. SHRUBS AND GROUNDCOVERS: UTILIZE A ROOT STARTER OR EQUIVALENT SLOW RELEASE FERTILIZER TO ENCOURAGE ROOT GROWTH. APPLY AT MANUFACTURER'S RECOMMENDED RATE. ROOT STARTER SHALL BE A COMPLETE, SLOW RELEASE FERTILIZER WITH ORGANIC NITROGEN AND CONTAIN THE FOLLOWING PERCENTAGES OF AVAILABLE PLANT NUTRIENTS:
 1. BETWEEN 5-6% TOTAL NITROGEN (N) CONSISTING OF 3.5-4.5% WATER INSOLUBLE/SLOW RELEASE NITROGEN AND 1.5% WATER SOLUBLE NITROGEN
 2. BETWEEN 1-2% PHOSPHATE (P205)
 3. BETWEEN 0.5-3% POTASH/POTASSIUM (K)
- A. PALMS: FERTILIZE WITH AN 8N - 2P205 - 12K20 + 4MG WITH MICRONUTRIENTS. 100% OF N, K, AND MG SHALL BE IN SLOW RELEASE FORM AND MICRONUTRIENTS SHALL BE IN SULFATE OR CHELATE (FE ONLY) FORM. 5.60 UNITS OF SLOW RELEASE NITROGEN SHALL BE POLYMER COATED. 5.60 - 8.40 UNITS OF SLOW RELEASE POTASH SHALL BE POLYMER COATED. SLOW RELEASE MG SHALL BE PRILLED (GRANULAR) KIESERITE. FERTILIZER SHALL CONTAIN APPROXIMATELY 1.5 - 2% MN AND FE (0.1 - 0.2% FOR FE IF CHELATED), PLUS TRACE AMOUNTS OF B (0.15%), ZN (0.15%), AND CU (0.05%).
- B. TURF: PROVIDE FERTILIZER WITH NOT LESS THAN SIXTEEN (16) PERCENT TOTAL NITROGEN, FOUR (4) PERCENT AVAILABLE PHOSPHORIC ACID AND EIGHT (8) PERCENT SOLUBLE POTASH. APPLY AT MANUFACTURER'S RECOMMENDED RATE.

2.4 PLANT MATERIALS

- A. PROVIDE SHRUBS AND GROUNDCOVERS OF SIZE, GENUS, SPECIES, AND VARIETY AS SHOWN IN THE PLANT SCHEDULE FOR LANDSCAPE WORK THAT CONFORM TO FLORIDA NO. 1 QUALITY STANDARDS.
- B. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALED, INJURIES, ABRASIONS, OR DISFIGUREMENT.
- C. LANDSCAPE MATERIAL SHALL BE CONTAINER GROWN MATERIAL UNLESS OTHERWISE SPECIFIED OR UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.

2.5 SOD

- A. PROVIDE SAND-GROWN ONLY, STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES, AND MACHINE CUT TO PAD THICKNESS OF 3/4 INCH (PLUS OR MINUS 1/4 INCH), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED. SOD SHALL BE VIABLE AND NOT DORMANT.
- B. PROVIDE SOD OF UNIFORM PAD SIZES WITH A MAXIMUM 5% DEVIATION IN EITHER LENGTH OR WIDTH. BROKEN PADS OR PADS WITH UNEVEN ENDS WILL NOT BE ACCEPTABLE. SOD PADS INCAPABLE OF SUPPORTING THEIR OWN WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON UPPER 10 PERCENT OF PAD WILL BE REJECTED.
- C. STABILIZING NETTING OR OTHER SYNTHETIC MATERIALS WITHIN SOD SHALL BE PROHIBITED.
- D. SOD TO BE AS LISTED WITHIN THE PLANT SCHEDULE.
- E. REFER TO CIVIL PLANS FOR SOD TYPE AND INSTALLATION METHODS WITHIN STORMWATER FACILITIES.

2.6 WEED PRE-EMERGENT HERBICIDE

- A. APPLY "RON STAR G" PRE-EMERGENT HERBICIDE, OR APPROVED EQUAL IN PLANTING AREAS. REVIEW AND GAIN APPROVAL FROM OWNER PRIOR TO APPLICATION.

PART 3 - EXECUTION

3.1 PREPARATION

- A. CONDUCT A PRE-CONSTRUCTION CONFERENCE ON SITE WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. DISCUSS PROPOSED ACTIVITIES, REVIEW PROPOSED PLANTING AREAS, AND CONFIRM PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF PROPOSED CONFERENCE.
- B. ENSURE ALL ASPHALT, LIMEROCK, AND OTHER CONSTRUCTION DEBRIS ARE REMOVED FROM AREAS OF PROPOSED PLANTING OR SODDING TO A MINIMUM DEPTH OF THREE FEET PRIOR TO INSTALLATION.
- C. CLEAN EXISTING SOIL OF ROOTS, PLANTS, SODS, STONES, CLAY, LUMPS AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- D. PLANTING DEPTH OF SOIL SHALL BE A MINIMUM OF THREE (3) FEET. IF FILL MUST BE ADDED, IT SHALL CONFORM TO THE REQUIREMENTS LISTED ABOVE.
- E. GAIN APPROVAL FROM OWNER FOR REMOVAL OF EXISTING GRASS, VEGETATION, AND TURF BY METHODS OTHER THAN HAND REMOVAL. IF APPROVED, ADHERE TO THE FOLLOWING REGARDING PREPARATION OF AREAS WITH UNCHANGED GRADE OR AREAS THAT HAVE NOT BEEN ALTERED BY CONSTRUCTION ACTIVITIES: REMOVE EXISTING GRASS, VEGETATION, AND TURF BY SPRAYING WITH "ROUND-UP" OR OTHER APPROPRIATE HERBICIDE AND PERFORM ADDITIONAL SPRAY TREATMENTS AS NEEDED TO ENSURE A COMPLETE KILL. REMOVE AND DISPOSE OF RESULTING DEAD VEGETATION AND TURF. DO NOT TURN RESULTING DEAD VEGETATION OR TURF OVER INTO SOIL. REPEAT IF NECESSARY TO REMOVE EXISTING VEGETATION.
- F. FOR TURF AREAS INDICATED FOR RENOVATION, MECHANICALLY CUT OUT AREAS OF FAILING TURF AND CREATE A CLEAN EDGE FOR NEW SOD INSTALLATION.
- G. FINE GRADE PROPOSED PLANTING AND SOD AREAS TO SMOOTH, EVEN SURFACES WITH LOOSE, UNIFORMLY FINE TEXTURE AND FREE OF LUMPS, CLODS, STONES, ROOTS, AND OTHER EXTRANEOUS MATTER. ROLL, RAKE, AND DRAG AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES.
- H. ALLOW FOR SOD THICKNESS IN AREAS TO BE SODDED SUCH THAT INSTALLED SOD MEETS FINISHED GRADES.

3.2 TREE BARRIERS AND EXISTING TREE PROTECTION

- A. REFER TO NOTES ON DEMOLITION PLANS OR LANDSCAPE PLANS REGARDING TREE PROTECTION AND TREE PROTECTION BARRIERS.
- B. MINIMIZE IMPACTS ON EXISTING TREE ROOTS AS MUCH AS POSSIBLE. AVOID TREE ROOT PLATE AREAS AS DEFINED BY PERMITTING AGENCIES.
- C. ALL ROOTS OF TREES TO REMAIN THAT ARE IMMEDIATELY ADJACENT TO EXTENSIVE EXCAVATION AND ARE 1" DIAMETER OR OVER SHALL BE HAND CUT. EXPOSE ROOTS BY HAND DIGGING, HAND CUT OR SAW CLEANLY, AND IMMEDIATELY COVER WITH SOIL. DO NOT ALLOW CUT ROOTS TO DRY OUT.
- D. SUPPLEMENTAL IRRIGATION IS REQUIRED FOR TREES THAT HAVE UNDERGONE ROOT PRUNING. PROVIDE SUPPLEMENTAL IRRIGATION IMMEDIATELY FOLLOWING PRUNING AND CONTINUE THROUGH CONSTRUCTION.

PART 3 - EXECUTION, CONT

3.3 PLANTING SHRUBS AND GROUNDCOVERS

- A. PLANT SHRUBS AND GROUNDCOVER AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF LAWNS UNLESS OTHERWISE AUTHORIZED BY LANDSCAPE ARCHITECT. IF PLANTING OF TREES AND SHRUBS OCCURS AFTER INSTALLATION OF LAWNS, PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGE CAUSED BY LANDSCAPE INSTALLATION.
- B. LAY OUT INDIVIDUAL SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. TRIANGLE SPACING SHALL BE USED FOR SHRUBS AND GROUNDCOVERS UNLESS OTHERWISE SPECIFIED IN PLANS OR BY LANDSCAPE ARCHITECT. OUTLINE AREAS AND SECURE LANDSCAPE ARCHITECT'S OR OWNER REPRESENTATIVE'S ACCEPTANCE BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUIRED.
- C. EXCAVATE PITS, BEDS, AND TRENCHES SUCH THAT PITS ARE AS DEEP AS THE PLANT'S ROOTBALL AND 1.5 TIMES THE DIAMETER OF THE ROOTBALL. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. SCARIFY SIDES OF PIT.
- D. FILL EXCAVATIONS FOR SHRUBS WITH WATER AND ALLOW WATER TO PERCOLATE OUT PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING IF PITS DO NOT DRAIN PRIOR TO PLANTING.
- E. REMOVE PLANT MATERIAL FROM CONTAINER. LIFT TREES BY THE ROOTBALL AND NOT BY THE TRUNK. SET PLANT MATERIAL STOCK IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT 1-2" ABOVE ADJACENT FINISH LANDSCAPE GRADES.
- F. REMOVE ANY SYNTHETIC OR STRAPPING MATERIAL PRIOR TO SETTING PLANT MATERIAL INTO PLANTING PIT OR TRENCH.
- G. ENSURE PLANT MATERIAL IS PLUMB.
- H. PLACE BACKFILL AROUND BASE AND SIDES OF BALL AND WORK IN EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. ENSURE ROOTBALL REMAINS 1-2" ABOVE ADJACENT FINISH GRADE. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
- I. DISH TOP OF BACKFILL FOR TREES AND PALMS TO ALLOW FOR MULCHING.
- J. ALL PLANT MATERIAL SHALL BE FERTILIZED AT THE TIME OF PLANTING. MIX OR APPLY FERTILIZER JUST INSIDE OF PLANT FOLIAGE/DRIPLINE. DO NOT APPLY FERTILIZER DIRECTLY ON STEMS OR EXPOSED ROOTS OF MATERIAL. MIX SPECIFIED FERTILIZERS WITH EXISTING SOIL AT RATES SPECIFIED BY THE MANUFACTURER. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN THREE (3) DAYS.
- K. APPLY PRE-EMERGENT HERBICIDE, IF APPROVED BY OWNER, AND AS PER MANUFACTURER'S SPECIFICATIONS.
- L. MULCH PITS, TRENCHES, AND PLANTED AREAS. PROVIDE A THREE (3) INCH THICKNESS OF MULCH AND WORK ONTO TOP OF BACKFILL. THE FINISH LEVEL OF MULCH SHOULD MEET ADJACENT FINISH GRADES. MULCH AREAS BETWEEN GROUNDCOVER PLANTS.
- M. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER CROWNS OF PLANTS WITH WET SOILS.
- N. GUY AND STAKE TREES IMMEDIATELY AFTER PLANTING AS NEEDED.

3.4 SODDING NEW LAWNS

- A. ENSURE GRADE IS SMOOTH AND EVEN WITH A LOOSE, UNIFORM TEXTURE. ROLL, RAKE AND DRAG PROPOSED LAWN AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES AND PROVIDE AN EVEN SURFACE FOR SOD INSTALLATION.
- B. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING.
- C. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.
- D. APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES SPECIFIED AND THOROUGHLY MIX INTO UPPER TWO INCHES OF SOIL IN AREAS OF PROPOSED SOD. DELAY APPLICATION OF FERTILIZER IF LAWN PLANTING WILL NOT FOLLOW WITHIN A FEW DAYS.
- E. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. TAP SOD FIRMLY IN PLACE ONCE LAID.
- F. ANCHOR SOD ON SLOPES GREATER THAN 3:1 WITH WOOD PEGS TO PREVENT SLIPPAGE, IF NEEDED.
- G. AVOID DAMAGE TO SUBGRADE OR SOD DUE TO INSTALLATION ACTIVITIES.
- H. WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

3.5 CLEANUP

- A. MAINTAIN WORK AREAS IN AN ORDERLY CONDITION. KEEP PAVEMENTS AND ADJACENT SITE AREAS CLEAN. REMOVE ALL POTS, LITTER, TOOLS, EQUIPMENT, AND EXTRANEOUS SOIL, SOD, OR MATERIALS AT THE END OF EACH WORK DAY. STORE MATERIALS AND EQUIPMENT WHERE DIRECTED. DISPOSE OF MATERIALS AS DIRECTED.

3.6 NEW PLANT PROTECTION

- A. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DURING CONSTRUCTION. MAINTAIN PROTECTION DURING INSTALLATION AND THROUGHOUT THE MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.
- B. TREES WHICH ARE TO REMAIN IN THE CONSTRUCTION AREA SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- C. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN THE DRIP LINE OF EXISTING OR NEWLY PLANTED TREES. REMOVE INTERFERING BRANCHES WITHOUT INJURY TO TRUNKS.

3.7 MAINTENANCE

- A. MAINTENANCE ACTIVITIES SHALL INCLUDE THE FOLLOWING ACTIVITIES DURING CONSTRUCTION AND UNTIL FINAL ACCEPTANCE:
 1. WEEDING: MAINTAIN PLANTINGS AND TURF AS WEED FREE.
 2. MULCHING: MAINTAIN MULCH AT TREES, PALMS, AND WITHIN PLANTING BEDS AT A 3" DEPTH.
 3. PEST CONTROL: SPRAY AS REQUIRED TO KEEP PLANTINGS AND TURF FREE OF INSECTS AND DISEASE.
 4. MOWING: MOW TURF AREAS AS NEEDED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 5. REPLACEMENT: REPLACE PLANTS OR SOD AREAS THAT ARE IN POOR CONDITION.
 6. LITTER REMOVAL: REMOVE LITTER AND DEBRIS FROM LANDSCAPE AND TURF AREAS.
 7. RESTORE PLANTING SAUCERS OF TREES AND SHRUBS.
 8. TIGHTEN AND REPAIR STAKE AND GUY WIRE SUPPORTS, IF PRESENT, AND RESET TREES AND SHRUBS TO PROPER GRADES OF VERTICAL POSITION AS REQUIRED.
 9. REMOVE ALL TREE STAKING, IF PRESENT, WITHIN ONE YEAR AFTER PLANTING.

3.8 REPLACEMENT OF EXISTING LANDSCAPE DAMAGED DURING PROJECT

- A. ANY EXISTING VEGETATION, INCLUDING TREES AND SHRUBS, DAMAGED OR DESTROYED SHALL BE REPLACED OR MITIGATED BY THE CONTRACTOR WITH LIKE SPECIES OR ANOTHER SPECIES APPROVED BY THE OWNER'S REPRESENTATIVE. ANY AREA OF VEGETATION THAT IS DAMAGED DURING CONSTRUCTION WILL BE RESTORED TO ITS ORIGINAL STATE WITHIN 72 HOURS OF THE COMPLETION OF THE ASSOCIATED CONSTRUCTION WORK.
- B. IF REMOVAL OF AN EXISTING TREE REQUIRES MITIGATION, THE CONTRACTOR SHALL BE HELD LIABLE FOR THE COMPLETE COST, INCLUDING BUT NOT LIMITED TO TREE REPLACEMENT COSTS AND PAYMENTS REQUIRED TO PERMITTING AGENCIES.
- C. TREE REPLACEMENT SPECIES AND PROCEDURES SHALL BE DISCUSSED WITH AND APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF ACTIVITIES.

3.9 INSPECTION AND ACCEPTANCE

- A. WHEN ALL LANDSCAPE WORK IS SUBSTANTIALLY COMPLETE, THE LANDSCAPE ARCHITECT WILL, UPON REQUEST, MAKE A SUBSTANTIAL COMPLETION INSPECTION TO DETERMINE ACCEPTABILITY AND COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE LANDSCAPE ARCHITECT WILL PRODUCE A WRITTEN PUNCH LIST FOR THE CONTRACTOR AND OWNER'S REPRESENTATIVE TO IDENTIFY ITEMS THAT SHALL BE ADDRESSED PRIOR TO FINAL ACCEPTANCE.
- B. ONCE ITEMS OF THE PUNCH LIST ARE ADDRESSED, THE LANDSCAPE ARCHITECT WILL CONDUCT A FINAL COMPLETION INSPECTION. IF NECESSARY, THE LANDSCAPE ARCHITECT WILL PRODUCE A FINAL PUNCH LIST FOR THE CONTRACTOR AND OWNER'S REPRESENTATIVE TO IDENTIFY ITEMS TO BE ADDRESSED PRIOR TO FINAL ACCEPTANCE.
- C. FINAL ACCEPTANCE WILL NOT BE ISSUED UNTIL ALL PUNCH LIST ITEMS HAVE BEEN COMPLETED AND ACCEPTED BY THE OWNER AND ALL SUBMITTALS HAVE BEEN MADE.
- D. WORK MAY BE INSPECTED FOR ACCEPTANCE IN PORTIONS AS PHASES OF INSTALLATION ARE COMPLETED AND AS AGREEABLE TO THE LANDSCAPE ARCHITECT, PROVIDED EACH PORTION OF WORK OFFERED FOR INSPECTION IS SUBSTANTIALLY COMPLETE.

END OF SECTION

PROJECT NAME:

VEMO AUTO AUCTION

Alachua, FL

for
 Dealers Auto Auction, Inc.

SCALE:

PROJECT NO: 17-047
 CLIENT'S NO.:
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 11 OCT 2017
 REVISIONS:
 04 DEC 2017
 14 FEB 2018

SCALE:

SHEET TITLE:

LANDSCAPE TECHNICAL SPECIFICATIONS

SHEET NUMBER:



PLOTDATE: 02/10/2018 6:47 PM USER: ELISABETH MANLEY
 FILENAME: S:\PROJECTS\17-047 VEMO AUTO AUCTIONS - GUMER\04_PRODUCTION\02_SPP & CD\2018-02-14 SPR 3 REV\01_SHEETS\17047 VEMO.L
 SHEETS: 01



IRRIGATION NOTES

- INSTALL ALL PIPING SHOWN BETWEEN DIFFERENT PIPE SIZES AS THE LARGER SIZED PIPE.
- INSTALL ALL PIPING TO INDIVIDUAL HEADS AS 3/4".
- INSTALL PIPING BETWEEN THE LAST MARKED PIPE AND PIPING TO INDIVIDUAL HEADS (WHERE NO OTHER MARKINGS SHOW) AS 3/4".
- ANY IRRIGATION ITEMS NORMALLY INSTALLED IN LANDSCAPE AREAS THAT ARE SHOWN OUTSIDE OF LANDSCAPE AREAS OR OUTSIDE OF THE PROPERTY LINES ARE SHOWN AS SUCH FOR GRAPHIC CLARITY ONLY. INSTALL THESE ITEMS INSIDE OF PROPERTY LINES AND IN LANDSCAPE AREAS.
- THIS SYSTEM REQUIRES 20 GPM AT 50 PSI AT THE POINT OF CONNECTION. VERIFY GALLONAGE AND PRESSURES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WITH THE INSTALLATION.
- PROVIDE PROOF TO THE LANDSCAPE ARCHITECT THAT ALL AVAILABLE MAINTENANCE MANUALS FOR EACH OF THE PRODUCTS INCLUDED IN THIS INSTALLATION HAVE BEEN PROVIDED TO THE OWNER OR OWNER'S REPRESENTATIVE.
- ADJUST THE IRRIGATION SYSTEM COMPONENTS AND EXISTING SYSTEM TO PROVIDE UNIFORM COVERAGE. ASSURE THAT THE SYSTEM PROVIDES 100% COVERAGE OF ALL LANDSCAPE MATERIALS INCLUDING SHRUBS, GROUND COVER, TREES AND TURF.
- ADJUST THE VERTICAL ORIENTATION OF SPRINKLERS ON SLOPES TO PROVIDE UNIFORM COVERAGE OF THE SLOPED AREA.
- IRRIGATION HEADS SHALL BE LOCATED MINIMUM ONE (1) FOOT FROM ANY WALL, COLUMN, OR BUILDING EDGE/FACE.
- IRRIGATION HEADS SHALL BE DIRECTED AWAY FROM BUILDING AT ALL TIMES, SO THAT SPRAY DOES NOT HIT BUILDING FACE, COLUMN, WALL, ETC.
- ANY EXISTING TREE ROOTS, WHEN ENCOUNTERED DURING INSTALLATION OF UTILITIES, SHALL BE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS AND COVERED WITH SOIL AS SOON AS POSSIBLE TO REDUCE DEHYDRATION. THE CONTRACTOR/DEVELOPER SHALL MINIMIZE THE DAMAGE TO EXISTING TREE ROOT SYSTEMS.
- PROVIDE HAND WATERING FOR ESTABLISHMENT PERIOD FOR ALL PLANTINGS NOT LOCATED IN IRRIGATED AREAS AND THAT DO NOT HAVE SUPPLEMENTAL IRRIGATION INSTALLED. PLANTINGS TO INCLUDE ALL PROPOSED TURF, SHRUBS AND GROUNDCOVERS, AND TREES.
- CONSULT WITH THE OWNER AS TO LOCATIONS OF THIS SYSTEM'S INSTALLATION AS RELATED TO THE FUTURE PHASE OF THIS PROJECT TO MINIMIZE IMPACT ON THIS SYSTEM DURING THE FUTURE PHASES OF CONSTRUCTION.
- INSTALL THE SYSTEM IN ACCORDANCE WITH THE LOCAL IRRIGATION CODES REQUIREMENTS.
- INSTALL MARLEX STREET ELLS FOR ALL HEADS ON RISERS AND ALL SPRINKLERS IN TURF.
- INSTALL ALL OTHER SPRINKLERS WITH FUNNY PIPE AND SBE-050 FITTING. (USE SBE-075 IF THREADED FITTING ON PIPE IS 3/4").
- CONNECT TO THE PUMP DISCHARGE AS THE POINT OF CONNECTION.
- ALL IRRIGATION HEADS IN SHRUBS/GROUNDCOVER AREAS (TALLER THAN 12" AT MATURITY) SHALL BE INSTALLED ON RISERS, (BUT NOT HEDGE SPRINKLERS WHICH SHALL BE MOUNTED AT GRADE 24" AWAY FROM THE EDGE OF THE HEDGE).
- GROUND THE TWO-WIRE ZONE WIRING SYSTEM AT THE CONTROLLER, AT ALL VALVE (OR VALVE GROUP) LOCATIONS AND AT ALL TERMINATIONS OF THE WIRING SYSTEM.
- GROUND THE TWO-WIRE SYSTEM IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

IRRIGATION SCHEDULE

- | | |
|---|---|
| ① | RAIN BIRD 1804-SAM WITH 5-Q NOZZLE (TREES) |
| ② | RAIN BIRD 1804-SAM WITH 8-Q NOZZLE (TREES) |
| ③ | RAIN BIRD 1804-SAM WITH RAIN BIRD R-LCS15 ROTARY NOZZLE |
| ④ | RAIN BIRD 1804-SAM WITH RAIN BIRD R-RCS15 ROTARY NOZZLE |
| ⑤ | RAIN BIRD 1804-SAM WITH RAIN BIRD R-SS30 ROTARY NOZZLE |
| ⑥ | RAIN BIRD 1812-SAM WITH RAIN BIRD R-SS30 ROTARY NOZZLE |
| ⑦ | RAIN BIRD 1812-SAM WITH RAIN BIRD R-VAN14 NOZZLE |
| ⑧ | RAIN BIRD 1812-SAM WITH RAIN BIRD R-VAN14 NOZZLE |

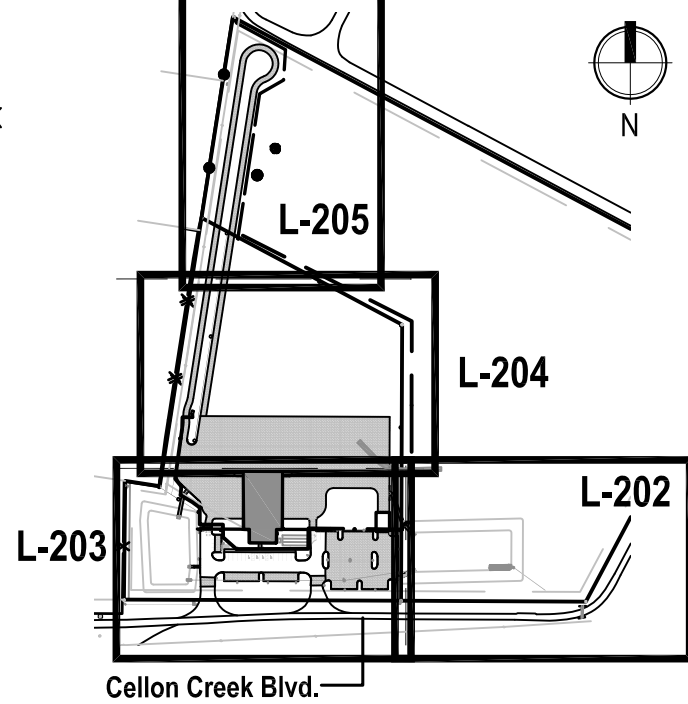
- (POC) POINT OF CONNECTION TO WELL DISCHARGE (20 GPM @ 65 PSI REQUIRED) ASSURE THAT PUMP OPERATES AUTOMATICALLY WITH IRRIGATION SYSTEM
 HUNTER IC-600-PL CONTROLLER AND DUAL-48M MOUNTED ON ELECTRICAL RACK
 HUNTER WSS-SEN SOLAR SYNC SENSOR
 2" CL 200 PVC MAIN LINE ROUTING
 ZONE PIPE ROUTING
 SCHEDULE 40 PVC SLEEVE LOCATION
 HUNTER ICV-101G-FS-AS-ADJ VALVE WITH DUAL-1 DECODER AND GROUNDING

STA.	SIZE
C-3	1"

TYPE	GPM
SHRUB	19.6

 VALVE PROGRAMMING, SIZE, APPLICATION AND GALLONAGE

SHEET KEY



PROJECT NAME:

VEMO AUTO AUCTION

Alachua, FL

for
Dealers Auto Auction, Inc.

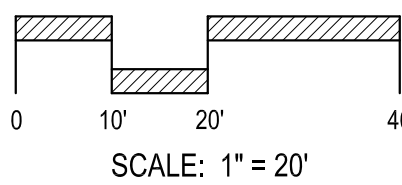
SEAL:

PROJECT NO: 17-047
 CLIENT'S NO:
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 11 OCT 2017
 REVISIONS:

08 DEC 2017
 14 FEB 2018

SCALE:



SHEET TITLE:

IRRIGATION PLAN, NOTES, AND SCHEDULE

SHEET NUMBER:

L-202

VEMO AUTO AUCTION

for
**Dealers Auto Auction,
Inc.**

PROJECT NO: 17-047
CLIENT'S NO.:
ISSUED FOR: **SITE PLAN REVIEW**

08 DEC 2017
14 FEB 2018

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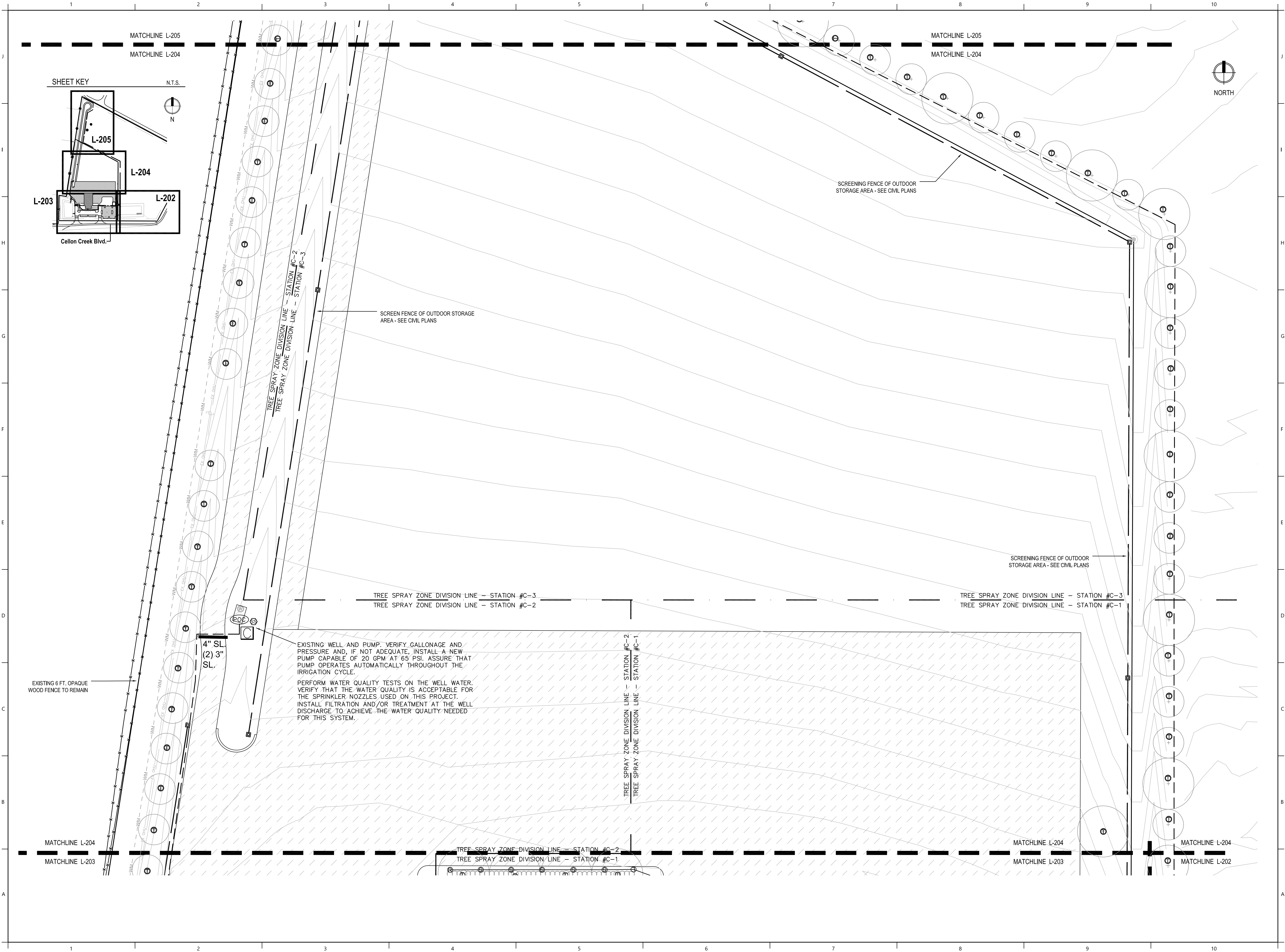
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IRRIGATION PLAN

L-203



PLOTDATE: 02/10/2018 6:59 PM USER: ELISABETH MANLEY
 FILENAME: S:\PROJECTS\2017\17-047 VEMO AUTO AUCTIONS - GMIER\04_PRODUCTION\02_SPP & CD\2018-02-14 SPP_3 REV\01_SHEETS\17047 VEMO.L
 SHEETNO: 3



PROJECT NAME:

VEMO AUTO
 AUCTION

Alachua, FL

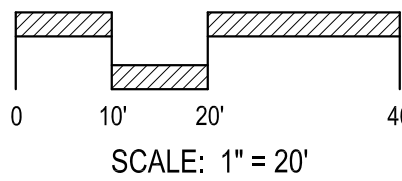
for
 Dealers Auto Auction,
 Inc.

SEAL:

PROJECT NO: 17-047
 CLIENT'S NO:
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 11 OCT 2017
 REVISIONS:
 08 DEC 2017
 14 FEB 2018

SCALE:



SHEET TITLE:

IRRIGATION PLAN

SHEET NUMBER:

L-204

VEMO AUTO AUCTION

for
**Dealers Auto Auction,
Inc.**

PROJECT NO: 17-047
CLIENT'S NO.:
ISSUED FOR: **SITE PLAN REVIEW**

08 DEC 2017
14 FEB 2018

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SCALE: 1" = 20'

IRRIGATION PLAN

L-205



PLOTDATE: 02/10/2018 6:55 PM USER: ELISABETH MANLEY MANLEY\DESKTOP\PROJECTS\2017\17-047 VEMO AUTO AUCTIONS - GUMPER\04_PRODUCTION\02_SPR & C01\2018-02-14 SPR_3 REV 01_SHEETS\17047 VEMO_1
 FILENAME: SHEETS.DWG

TECHNICAL SPECIFICATIONS - IRRIGATION, SECTION 328400

PART 1 - GENERAL

1.1 DESCRIPTION

- A. FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, AND TRANSPORTATION, UNLESS OTHERWISE SPECIFIED, NECESSARY TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM FOR LANDSCAPE PLANT MATERIALS AND TURF AND MULCH AREAS.

1.2 APPLICABLE STANDARDS

- A. AMERICAN SOCIETY OF AGRICULTURAL ENGINEERS S376.1, "DESIGN, INSTALLATION AND PERFORMANCE OF UNDERGROUND, THERMOPLASTIC IRRIGATION PIPELINES."
- B. ASTM D2774, "UNDERGROUND INSTALLATION OF THERMOPLASTIC PRESSURE PIPING."
- C. ASTM D1785, POLY (VINYL CHLORIDE) (PVC) PLASTIC PIPE, SCHEDULES 40, 80, AND 120.
- D. ASTM D2241 POLY (VINYL CHLORIDE) (PVC) PLASTIC PIPE (SDR-PR).

1.3 SUBSTITUTIONS

- A. WHEREVER BRAND NAMES ARE USED IN THESE SPECIFICATIONS, USE ONLY THE BRAND SPECIFIED. MAKE NO SUBSTITUTIONS AS A PART OF THIS BID PACKAGE.

PART 2 - MATERIALS

2.1 PIPE

- A. FURNISH ALL UNDERGROUND PIPING AS PVC EXCEPT FOR THE FLEXIBLE POLYETHYLENE (POLY PIPE) PIPING THAT IS TO BE USED BETWEEN THE LATERALS AND SPRINKLER HEADS. ALL PVC PIPE SHALL BE CL 200 (SDR 21) PVC.
- B. SIZE EACH SLEEVE AT LEAST TWICE (2X) THE SIZE OF THE PIPE BEING ROUTED THROUGH IT. INSTALL EACH CONTROL WIRE SLEEVE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES BEING ROUTED THROUGH IT UNDER THE AREA SPECIFIED. CONSULT WITH THE OWNER OR OWNER'S REPRESENTATIVE FOR THE LOCATION, DEPTH, NUMBER AND SIZE OF ANY AVAILABLE EXISTING SLEEVES.
- C. INSTALL ALL ABOVE GROUND PIPE AS D.I.P. OR GALVANIZED PIPE.
- D. FURNISH FLEXIBLE POLYETHYLENE PIPE (POLY PIPE) AS VIRGIN POLYETHYLENE PIPE WITH A MINIMUM OF 5/8" INSIDE DIAMETER IN INDIVIDUAL LENGTHS OF AT LEAST 22" PER PIECE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. NO "FLEX PVC" IS ALLOWED.

2.2 PIPE FITTINGS

- A. FOR MAIN LINE PVC PIPE FITTINGS, USE SCHEDULE 80 PVC FITTINGS WITH THREADED OUTLETS FOR CONNECTIONS TO THE REMOTE CONTROL CONTROL VALVES.
- B. FOR PVC ZONE PIPE, USE SCHEDULE 40, SOLVENT WELD FITTINGS, MANUFACTURED FROM PVC 12454-B COMPOUND AND TESTED IN ACCORDANCE WITH ASTM D2466, EXCEPT FOR THREADED FITTINGS. FOR THREADED APPLICATIONS, USE SCHEDULE 80 FITTINGS MANUFACTURED FROM PVC 12454-B COMPOUND AND TESTED IN ACCORDANCE WITH ASTM D2467.
- C. CONNECT ALL "POLY PIPE" AND RISER ASSEMBLIES TO THE IRRIGATION PIPELINE WITH A SCHEDULE 80 TEE, AS DESCRIBED ABOVE.
- D. DO NOT USE MALE ADAPTERS FOR ANY APPLICATIONS. INSTEAD, USE ONE HALF OF A SCHEDULE 80 NIPPLE GLUED INTO A SCHEDULE 40 COUPLER.
- E. CONNECT ALL PVC PIPING TO GALVANIZED PIPING USING A TOE NIPPLE

2.3 SOLVENT CEMENT AND PRIMER

- A. USE A MEDIUM OR HEAVY BODY GRAY SOLVENT CEMENT MANUFACTURED IN ACCORDANCE WITH ASTM D2564 AND PRIMER MANUFACTURED IN ACCORDANCE WITH ASTM F656.

2.4 SPRINKLERS

- A. INSTALL RAIN BIRD 1804-SAM SERIES SPRINKLERS WITH APPROPRIATE NOZZLES AND SCREENS FOR ALL HEDGE SHRUB SPRAY HEAD APPLICATIONS.
- B. INSTALL RAIN BIRD 1812-SAM SERIES SPRINKLERS WITH APPROPRIATE NOZZLES AND SCREENS FOR ALL OTHER SHRUB SPRAY HEAD APPLICATIONS.
- C. INSTALL RAIN BIRD 1804-SAM SERIES SPRINKLERS WITH APPROPRIATE NOZZLES FOR ALL TREE SPRAY APPLICATIONS.

2.5 ELECTRIC VALVES

- A. USE HUNTER ICV SERIES ELECTRIC VALVES WITH DUAL-1 DECODERS FOR ALL APPLICATIONS.

2.6 CONTROLLER

- A. USE A HUNTER I-CORE SERIES CONTROLLER WITH A HUNTER SOLAR-SYNC SENSOR AND A DUAL-48M MODULE FOR THIS SYSTEM.

2.7 WIRE

- A. USE U.F. WIRE APPROVED FOR DIRECT BURIAL UNDERGROUND FOR ALL 24 VAC APPLICATIONS.
- B. USE RED #14 AWG WIRE FOR ALL VALVE POWER WIRES.
- C. USE WHITE #14 AWG WIRE FOR VALVE COMMON WIRE.
- D. USE #14 OR LARGER TWISTED SHIELDED PAIR WIRE FOR ALL TWO-WIRE COMMUNICATIONS APPLICATIONS ON THIS SYSTEM.
- E. USE 5/8" OR LARGER COPPER GROUND RODS, COPPER GROUNDING PLATES, CADWELD "ONE SHOT" CONNECTORS AND #6 OR LARGER BARE COPPER WIRE FOR ALL GROUNDING APPLICATIONS FOR THIS SYSTEM.
- F. INSTALL GROUNDING AT THE CONTROLLER, ALL DECODER LOCATIONS, AND ALL TERMINATIONS OF THE TWO-WIRE SYSTEM.

2.8 VALVE BOXES

- A. USE AMETEK JUMBO VALVE BOXES FOR ALL APPLICATIONS.

2.9 POINT OF CONNECTION

- A. CONNECT TO THE EXISTING PUMP DISCHARGE AS THE POC FOR THIS SYSTEM. ASSURE THAT AT LEAST 20 GPM AT 65 PSI IS AVAILABLE FOR THE IRRIGATION SYSTEM WITH AUTOMATIC OPERATION OF THE PUMP FOR THIS SYSTEM. CONTROLS MAY BE EITHER PRESSURE ON AND FLOW OFF OR CONTROLLER PUMP START.

2.10 SPLICING MATERIALS

- A. USE DBY SPLICE KITS FOR ALL UNDERGROUND WIRE SPLICING APPLICATIONS.

2.11 MATERIAL QUANTITIES

- A. VERIFY ALL MATERIAL QUANTITIES BEFORE BIDDING.

2.12 TESTING MATERIALS

- A. PROVIDE ALL MATERIALS NECESSARY FOR THE TESTING OF THE SYSTEM, INCLUDING PUMPS, GENERATORS, HOSES, PIPING, FITTINGS, ETC.
- B. ASSURE THAT ALL ITEMS FOR TESTING ARE IN A SAFE AND ACCEPTABLE OPERATING CONDITION.

PART 3 - EXECUTION

3.1 GENERAL

- A. INSTALL PVC PIPE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. REVIEW CONSTRUCTION PLANS WITH THE OWNER OR OWNER'S REPRESENTATIVE BEFORE ANY WORK BEGINS. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT/OWNER PRIOR TO INSTALLATION IF THERE IS ANY DOUBT AS TO HEAD LINE OR ZONE PLACEMENT.
- B. INSPECT THE CONSTRUCTION SITE BEFORE ANY WORK BEGINS AND FLAG LOCATIONS OF MAINLINE PIPE, SLEEVES, HEADS AND VALVES FOR REVIEW BY THE LANDSCAPE ARCHITECT/OWNER. FLAGS SHALL BE CLEARLY MARKED OR COLORED TO DESIGNATE THE TYPE OF EQUIPMENT TO BE INSTALLED AT THAT POINT. INSTALLATION SHALL NOT COMMENCE UNTIL THE STAKING/ FLAGGING HAS BEEN APPROVED.
- C. COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR TO PROVIDE FOR CORRECT APPLICATION OF WATER TO THE PLANT MATERIAL.

3.2 PIPE TRENCH CONSTRUCTION

- A. PROVIDE FOR A MINIMUM DEPTH OF COVER OF 18" FOR ALL MAINLINE PIPE AND 12" OF COVER FOR ALL ZONE PIPE AS MEASURED FROM FINISHED GRADE.
- B. PROVIDE THE MINIMUM DEPTH OF COVER, AS SPECIFIED ABOVE, OVER THE TOP OF THE PIPE BEFORE THE TRENCH IS WHEEL-LOADED.

3.3 BACK FILL

- A. PROVIDE INITIAL BACK FILL MATERIAL THAT IS FINE-GRAINED MATERIAL FREE FROM COMPACTED EARTH GREATER THAN TWO INCHES IN DIAMETER, ROCKS, OR STONES.
- B. TAMP THE BACK FILL IN LAYERS NOT TO EXCEED SIX INCHES. LIFT AND COMPACT FIRMLY AROUND THE PIPE AND UP TO AT LEAST SIX INCHES ABOVE THE TOP OF THE PIPE. SUFFICIENTLY MOISTEN THE BACK FILL TO PERMIT THOROUGH COMPACTION UNDER AND ON EACH SIDE OF THE PIPE TO PROVIDE SUPPORT FREE FROM VOIDS. AVOID DEFORMING, DISPLACING, OR DAMAGING PIPE DURING THIS PHASE OF THE OPERATION. ASSURE THAT WHEN FINISHED, THE SOIL COMPACTION EQUALS THE ORIGINAL CONDITION.

3.4 FITTING AND PIPE CONNECTIONS

- A. SQUARE CUT, CLEAN AND PRIME ALL JOINTS BEFORE CEMENTING.
- B. FULLY ENGAGE ALL JOINTS WHILE CEMENTING.
- C. PVC FITTINGS: MAKE ALL SOLVENT WELD JOINTS IN ACCORDANCE WITH ASTM D2855. PRIME ALL FITTINGS WITH PURPLE PRIMER BEFORE MAKING SOLVENT WELD CONNECTIONS. ALLOW SOLVENT WELDED JOINTS AT LEAST ONE (1) HOUR TO SET UP BEFORE MOVING OR HANDLING. DO NOT PERMIT WATER IN THE PIPE FOR AT LEAST TWENTY-FOUR HOURS AFTER MAKING A SOLVENT WELD ON THAT PIPE UNLESS RECOMMENDED OTHERWISE BY THE SOLVENT CEMENT MANUFACTURER. SEAL ALL THREADED PVC FITTINGS WITH LIQUID TEFLON EXCEPT SPRINKLER HEADS, ELECTRIC VALVE CONNECTIONS AND SWING JOINTS. INSTALL ALL OF THESE EXCEPTIONS USING ONE INCH TEFLON TAPE.

3.5 FLUSHING PIPELINES

- A. FLUSH ALL PIPELINES BEFORE SPRINKLERS ARE INSTALLED.
- B. MAINTAIN A MINIMUM PIPE VELOCITY OF THREE FEET PER SECOND AND FLUSH FOR A MINIMUM TIME OF: T = 2L/3 WHERE T = TIME IN SECONDS & L = PIPE LENGTH IN FEET FROM INLET POINT TO MOST DISTANT POINT IN PIPELINE.

3.6 INSTALLING ELECTRIC VALVE CONTROL WIRING

- A. INSTALL WIRING IN THE SAME TRENCH AND ALONG THE SAME ROUTE AS, AND UNDERNEATH THE MAINLINE EXCEPT IN LOCATIONS WHERE THE WIRE WILL PASS UNDER PAVING. AT THOSE LOCATIONS INSTALL THE WIRE INSIDE OF A PVC SLEEVE. INSTALL CONTROL WIRING THROUGH WALLS, FLOORS, AND SLABS IN PVC SLEEVES.
- B. USE A CONTINUOUS WIRE BETWEEN THE DECODER AND VALVE. MAKE AN EXPANSION LOOP OF A MINIMUM 12 INCHES DIAMETER AT EACH WIRE CONNECTION.
- C. ATTACH PERMANENT MARKINGS AT EACH END OF EACH WIRE NEAR THE VALVE TO IDENTIFY IT BY VALVE NUMBER.

3.7 AUTOMATIC CONTROLLER INSTALLATION

- A. LOCATION - VERIFY LOCATION WITH OWNER OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
- B. VERIFY THAT SUFFICIENT SLEEVING EXISTS TO ALLOW ROUTING OF THE VALVE WIRING FROM THE CONTROLLER TO EACH VALVE.

3.8 VALVE INSTALLATION

- A. INSTALL ALL AUTOMATIC ZONE VALVES AND BALL VALVES IN VALVE BOXES. NUMBER EACH ZONE VALVE BOX ON THE UNDERSIDE AND TOPSIDE OF EACH VALVE BOX COVER WITH BLACK WATERPROOF MARKER FOR REFERENCE.
- B. INSTALL ANY MAIN LINE ISOLATION VALVES IN VALVE BOXES.

3.9 INSTALLATION OF SPRAY HEADS

- A. INSTALLATION SCHEDULE - INSTALL SPRAY HEADS AFTER THE SPRINKLER BODY ASSEMBLIES HAVE BEEN CLEANLY FLUSHED.
- B. ORIENTATION - INSTALL POP-UP UNITS IN A PLUMB POSITION AND FIELD ADJUST SPRINKLER HEADS TO OBTAIN COMPLETE COVERAGE OF IRRIGATED AREA WITH MINIMUM OVER SPRAY ONTO PAVED SURFACES. HEADS ARE TO BE LOCATED ON A MAXIMUM SPACING OF 55% OF THE SPRINKLER COVERAGE DISTANCE AND CLOSER WHERE INDICATED. ADJUST NOZZLE DISTANCE AS NEEDED TO COVER PLANT MATERIALS AND MINIMIZE OVER SPRAY ON STRUCTURES AND PAVEMENT. ALIGN POP-UP SPRAY HEADS IN A VERTICAL ORIENTATION AS SHOWN IN THE DETAILS. ADJUST AS NECESSARY TO PROVIDE THE BEST COVERAGE IN SLOPED AREAS.

3.10 TESTING

- A. PRESSURE TEST THE SYSTEM MAIN LINE BEFORE APPRECIABLY BACKFILLING.
- B. PRESSURE TEST THE SYSTEM MAIN LINE. IN THE PRESENCE OF THE OWNER OR OWNER'S REPRESENTATIVE. FOR A PERIOD OF NO LESS THAN FOUR HOURS, CONTINUOUSLY, AT A PRESSURE OF NO LESS THAN 100 PSI WITH NO LEAKS. ASSURE THAT ANY TESTS OF THE SYSTEM MAIN LINE MEET THE CITY OF ALACHUA PLUMBING CODES. IF LEAKAGE OCCURS, REMEDY THE LEAKAGE PROBLEM AND RETEST. REPEAT THIS PROCESS AS MANY TIMES AS NECESSARY UNTIL A SUCCESSFUL TEST IS PERFORMED.

3.11 INSPECTIONS

- A. THE FOLLOWING INSPECTIONS ARE REQUIRED. NOTIFY OWNER OR OWNER'S REPRESENTATIVE IN ADVANCE THAT EACH ITEM IS READY FOR INSPECTION.
 - INSPECTION OF FLAGGED UNDERGROUND MAINLINE PIPING, SLEEVES, SPRINKLER AND VALVE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION - NOTIFY 48 HOURS IN ADVANCE.
 - SPRINKLER COVERAGE TEST - NOTIFY 48 HOURS IN ADVANCE.
 - FINAL INSPECTION - NOTIFY 48 HOURS IN ADVANCE.

PART 3 - EXECUTION, CONT

3.12 TESTING

- A. COVERAGE TESTS - CONDUCT SPRINKLER COVERAGE TESTS UNDER NORMAL OPERATING PRESSURE CONDITIONS BEFORE ANY GROUND COVER OR TURF IS PLANTED. CORRECT AND FIELD ADJUST SPRINKLER ORIENTATION TO PROVIDE UNIFORM PRECIPITATION OVER THE IRRIGATED AREA AND MINIMIZE OVER SPRAY ONTO PAVED SURFACES AND BUILDINGS.

3.13 WARRANTY

- A. THE CONTRACTOR SHALL ISSUE TO THE OWNER OR OWNER'S REPRESENTATIVE A CERTIFICATE OF WARRANTY OF THE IRRIGATION SYSTEM FOR A PERIOD OF NOT LESS THAN ONE YEAR ON ALL SPRINKLERS, VALVES, THE CONTROLLER, AND HIS LABOR.

3.14 DRAWING OF RECORD

- A. THE CONTRACTOR SHALL SUPPLY TO THE OWNER A DRAFTED, SCALED, REPRODUCIBLE PLAN SHOWING ALL CHANGES MADE TO THE EXISTING IRRIGATION SYSTEM AND ALL NEWLY INSTALLED COMPONENTS INCLUDING ALL SPRINKLERS, INCLUDING BODY TYPES AND NOZZLES, PIPE, INCLUDING SIZES AND THE ENDS OF SLEEVING LOCATIONS AS MEASURED FROM AT LEAST TWO FIXED OBJECTS, CONTROLLER, AND WIRE ROUTING. THIS PLAN MAY BE AN ADAPTATION OF THE IRRIGATION DESIGN WITH ANY CHANGES DRAFTED ON THIS PLAN. THE DRAWING SHALL ALSO PROVIDE A MINIMUM OF TWO (2) DIMENSIONS TAKEN FROM FIXED OBJECTS TO EACH AUTOMATIC VALVE, MANUAL CONTROL VALVE AND QUICK COUPLING VALVE.

3.15 ADDITIONAL SUBMITTALS

- A. SUPPLY TO THE OWNER ALL INSTRUCTION SHEETS AND PARTS LISTS COVERING ALL OPERATING AND ELECTRICAL-RELATED EQUIPMENT, BOUND IN ONE FOLDER. FURNISH THE OWNER WITH ANY KEYS FOR LOCKABLE ITEMS ON THIS SYSTEM.

3.16 RAIN GAUGE

- A. ASSURE THAT EACH CONTROLLER IS INTERFACED WITH A RAIN SWITCH WHICH WILL SHUT THE SYSTEM OFF IN CASE OF RAIN OR FREEZING TEMPERATURES.

3.17 MISCELLANEOUS

- A. ANY IRRIGATION ITEMS NORMALLY INSTALLED IN LANDSCAPE AREAS THAT ARE SHOWN OUTSIDE OF LANDSCAPE AREAS OR OUTSIDE OF THE PROPERTY LINES ARE SHOWN AS SUCH FOR GRAPHIC CLARITY ONLY. INSTALL THESE ITEMS INSIDE OF PROPERTY LINES AND IN LANDSCAPE AREAS. CONTACT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF IN ANY DOUBT OF HEAD, LINE OR ZONE PLACEMENT.
- B. ASSURE THAT THE SYSTEM PROVIDES 100% COVERAGE OF ALL LANDSCAPED AREAS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE COMMENCING WITH THE INSTALLATION.
- C. ALL APPLICABLE CODES SHALL TAKE PRECEDENCE OVER THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE CODES.
- D. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE MINOR FIELD CHANGES.
- E. FIELD ADJUST NOZZLE SELECTION LOCATIONS AND PLUMB OF SPRINKLERS TO PROVIDE PROPER COVERAGE.
- F. ADJUST ALL VALVE FLOW CONTROL KNOBS AND PRESSURE REGULATORS TO PROVIDE PROPER COVERAGE AND TO REDUCE FOGGING OF SPRINKLERS.

--- END OF SECTION ---

LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK - CALL SUNSHINE STATE ONE CALL



KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast, it's free, it's
 the low, two business
 days
 before digging

Manley Design, LLC
 3462 NW 13th Avenue
 Gainesville, Florida 32605
 (352) 363-7412
 Certificate of Authorization No. LC26000575

PROJECT NAME:

VEMO AUTO AUCTION

Alachua, FL

for
 Dealers Auto Auction,
 Inc.

SEAL:

PROJECT NO: 17-047
 CLIENT'S NO.:
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 11 OCT 2017
 REVISIONS:
 14 FEB 2018

SCALE:

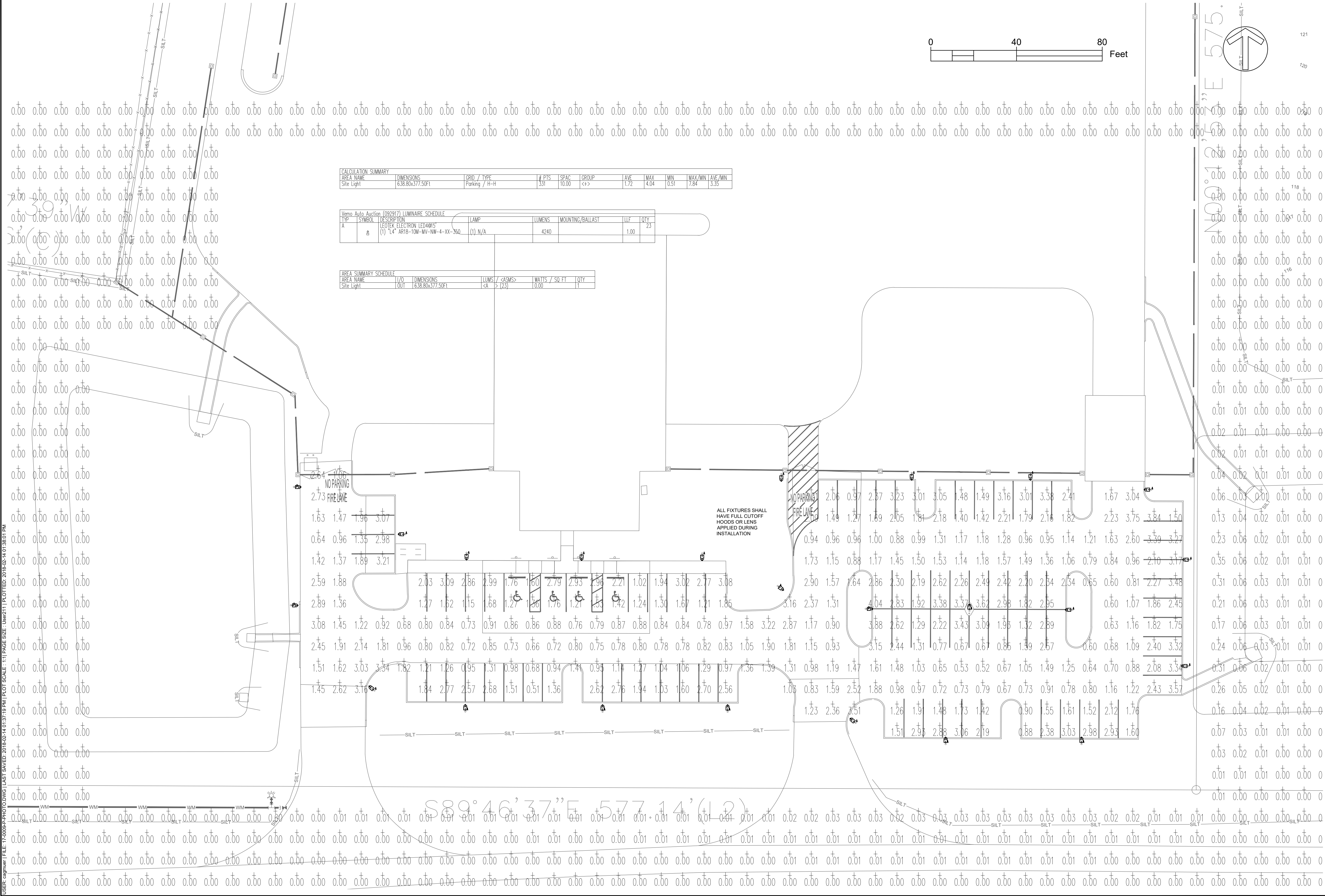
SHEET TITLE:

IRRIGATION TECHNICAL SPECIFICATIONS

SHEET NUMBER:

L-206

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CALCULATION SUMMARY									
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	IMAX	MIN	MAX/MIN AVE/MIN
Site Light	638.80x377.50ft	Parking / H-H	331	10.00	<+>	1.72	4.04	0.51	7.84 3.35

Vemo Auto Auction (092917) LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	ULF QTY
A	⬢	LEOTEX ELECTRON LED4@15'	(1) N/A	4240		1.00 23
		(1) "L4" AR18-10M-MV-NW-4-XX-360				

AREA SUMMARY SCHEDULE				
AREA NAME	I/O	DIMENSIONS	LUMENS / <ASMS>	WATTS / SQ FT
Site Light	001	638.80x377.50ft	<A> (23)	0.00

PRELIMINARY
NOT FOR CONSTRUCTION

PRICING :
CONSTRUCTION :

UNDER REVIEW
2017-09-11 REVISED CONCEPT WITH GRADING AND STORM DESIGN
2017-09-18 REVISED FROM 9/14 MEETING NOTES
2017-10-09 SRWMD INITIAL SUBMITTAL
2017-12-13 CITY OF ALACHUA RESUBMITTAL
2018-02-14 CITY OF ALACHUA RESUBMITTAL

ENGINEER OF RECORD :
CHRISTOPHER A. GMUER
FL PE # 71599
2018-02-14

STATE OF FLORIDA
PROFESSIONAL ENGINEER

FL CA # 31533 gmuerr.com (352) 281-4628
2803 NW 13th St, Box 314 Gainesville, FL 32609

CLIENT :
DESIGN :
QUALITY CONTROL :
ALACHUA APP #
SRWMD APP #
Gmg PROJECT #

CA GMUER PE
CA GMUER PE
TBD
TBD
17-0009

VEMO AUTO AUCTIONS

PHOTOMETRIC PLAN

P-100

BOUNDARY & TOPOGRAPHIC SURVEY

LYING IN FRACTIONAL SECTION 19, TOWNSHIP 8 SOUTH, RANGE
19 EAST, INSIDE THE FERNANDEZ GRANT, CITY OF ALACUA,
ALACHUA COUNTY, FLORIDA

LEGAL DESCRIPTION:

PARCEL 1 (PER O.R. 4513, PAGE 1687)

A TRACT OF LAND SITUATED IN FRACTIONAL SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST, AND THE FERNANDEZ GRANT, ALACHUA COUNTY, FLORIDA, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 19 EAST, BEING ON THE WEST LINE OF THE AFOREMENTIONED FRACTIONAL SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST FOR THE POINT OF REFERENCE AND RUN SOUTH 89 DEGREES 46 MINUTES 15 SECONDS EAST, ALONG AN EASTERLY PROJECTION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, AND ALONG THE NORTH LINE OF PARCEL "E," AS DESCRIBED IN OFFICIAL RECORDS BOOK 1659, PAGE 2265 ET SEQ., A DISTANCE OF 1659.70 FEET TO A CONCRETE MONUMENT AT THE INTERSECTION OF SAID NORTH LINE OF PARCEL "E" WITH THE EAST RIGHT OF WAY LINE OF A 100 FOOT WIDE FLORIDA POWER CORPORATION EASEMENT AND THE TRUE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89 DEGREES 46 MINUTES 15 SECONDS EAST, ALONG SAID NORTH LINE OF PARCEL "E," A DISTANCE OF 577.17 FEET TO A STEEL ROD AND CAP; THENCE RUN NORTH 00 DEGREES 13 MINUTES 45 SECONDS EAST, A DISTANCE OF 575.17 FEET TO A STEEL ROD AND CAP; THENCE RUN NORTH 61 DEGREES 57 MINUTES 19 SECONDS WEST, A DISTANCE OF 473.21 FEET TO A STEEL ROD AND CAP; THENCE RUN SOUTH 08 DEGREES 51 MINUTES 09 SECONDS WEST, A DISTANCE OF 565.59 FEET TO A CONCRETE MONUMENT; THENCE RUN NORTH 81 DEGREES 17 MINUTES 39 SECONDS WEST, A DISTANCE OF 73.00 FEET TO A STEEL ROD AND CAP ON THE AFOREMENTIONED EAST RIGHT OF WAY LINE OF THE FLORIDA POWER CORPORATION EASEMENT; THENCE RUN SOUTH 00 DEGREES 36 MINUTES 26 SECONDS WEST, ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 247.55 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2 (PER O.R. 4513, PAGE 1649)

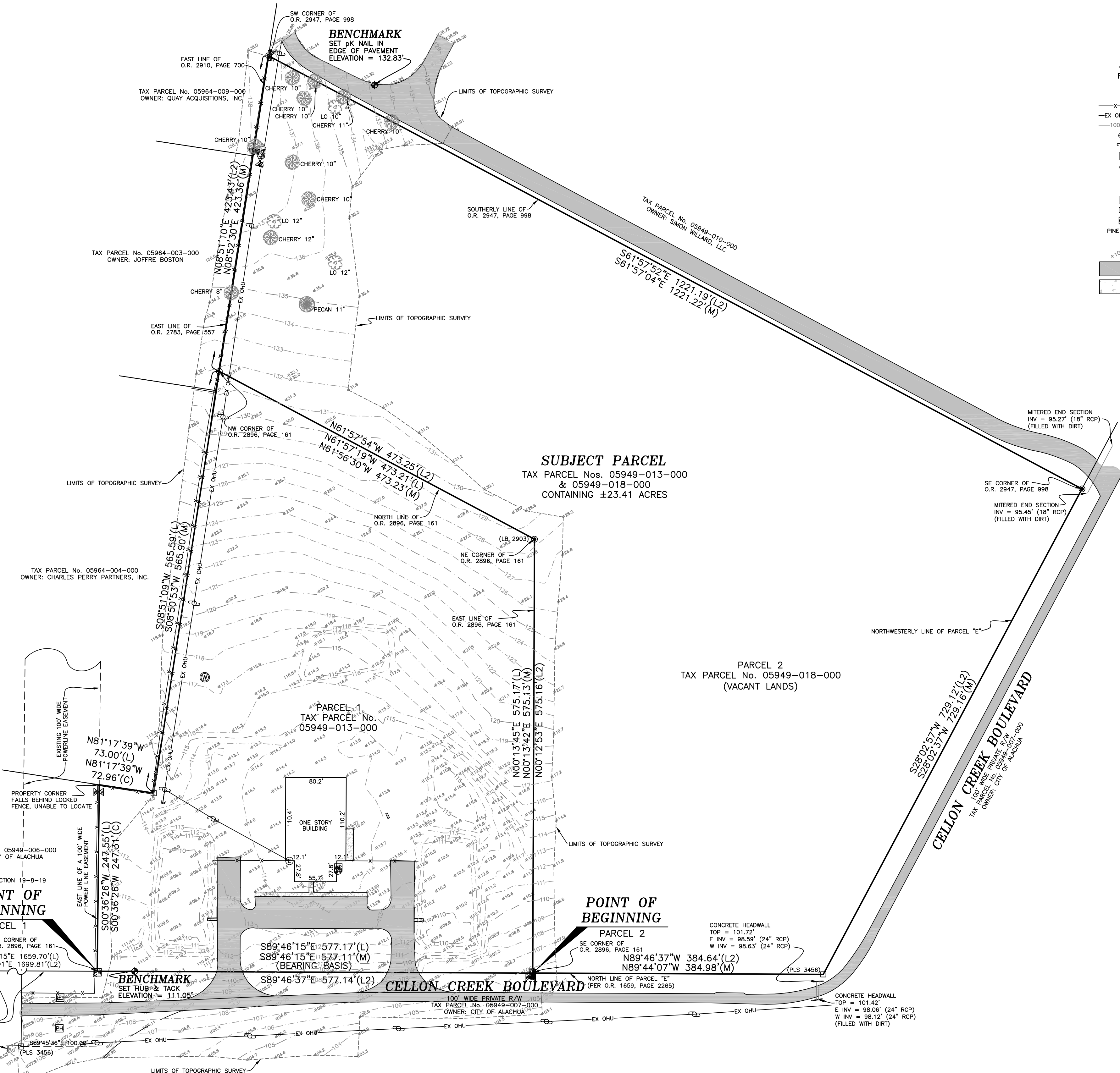
A PARCEL OF LAND SITUATED IN FRACTIONAL SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST, WITHIN THE FERNANDEZ GRANT, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 19 EAST FOR A POINT OF REFERENCE; THENCE SOUTH 89°46'01" EAST ALONG AN EASTERLY EXTENSION OF THE NORTH LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND ALONG THE NORTH LINE OF PARCELS "D AND E", AS PER OFFICIAL RECORDS BOOK 1659, PAGE 2265 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, A DISTANCE OF 1699.81 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2896, PAGE 161 OF SAID PUBLIC RECORDS; THENCE SOUTH 89°46'37" EAST, CONTINUING ALONG SAID NORTH LINE OF PARCEL "E", A DISTANCE OF 577.14 FEET TO THE SOUTHEAST CORNER OF SAID LANDS AND THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTH LINE, NORTH 00°12'53" EAST ALONG THE EAST LINE OF SAID LANDS, A DISTANCE OF 575.16 FEET, TO THE NORTHEAST CORNER OF SAID LANDS; THENCE NORTH 61°57'54" WEST ALONG THE NORTHERLY LINE OF SAID LANDS, A DISTANCE OF 473.25 FEET TO THE NORTHWEST CORNER OF SAID LANDS AND THE EASTERLY LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2783, PAGE 557 OF SAID PUBLIC RECORDS; THENCE NORTH 08°51'10" EAST ALONG SAID EASTERLY LINE AND ALONG THE EASTERLY LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2910, PAGE 700 OF SAID PUBLIC RECORDS, A DISTANCE OF 423.43 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2947, PAGE 998 OF SAID PUBLIC RECORDS; THENCE SOUTH 61°57'52" EAST ALONG THE SOUTHERLY LINE OF SAID LANDS, A DISTANCE OF 1221.19 FEET TO THE SOUTHEAST CORNER OF SAID LANDS AND THE NORTHWESTERLY LINE OF THE AFOREMENTIONED PARCEL "E", AS DESCRIBED IN OFFICIAL RECORDS BOOK 1659, PAGE 2265 OF SAID PUBLIC RECORDS (SAID PARCEL "E" BEING THE 100 FOOT WIDE RIGHT OF WAY CEN. DRIVE); THENCE SOUTH 28°02'57" WEST ALONG SAID NORTHWESTERLY LINE, A DISTANCE OF 729.12 FEET TO THE INTERSECTION OF THE NORTHWESTERLY LINE OF SAID PARCEL "E" AND THE NORTH LINE OF SAID PARCEL "E"; THENCE NORTH 89°46'37" WEST ALONG SAID NORTH LINE OF PARCEL "E", A DISTANCE OF 384.64 FEET TO THE POINT OF BEGINNING.

FLOOD NOTE:

THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12001C01400 FOR ALACHUA COUNTY, FLORIDA INCORPORATED AREAS, EFFECTIVE DATE JUNE 16, 2006, FOR CITY OF ALACHUA, COMMUNITY NUMBER 120664 PANEL NUMBER 0140 SUFFIX D.

LEGEND:

- = FOUND 1/2" IRON PIPE (NO ID)
- = FOUND 5/8" REBAR (NO ID)
- ⊗ = FOUND 5/8" REBAR & CAP (EDA)
- = FOUND 4"x4" CONCRETE MONUMENT (NO IDENTIFICATION)
- ⬢ = BENCHMARK
- (C) = CALCULATED
- (L) = PER PARCEL 1 LEGAL DESCRIPTION
- (L2) = PER PARCEL 2 LEGAL DESCRIPTION
- (M) = MEASURED
- O.R. = OFFICIAL RECORDS BOOK
- R/W = RIGHT OF WAY
- INV = INVERT
- RCP = REINFORCED CONCRETE PIPE
- X— = FENCE LINE
- EX OHU- = EXISTING OVERHEAD UTILITY LINE
- 100- = CONTOUR LINE
- (— = GUY ANCHOR
- ⌵ = WOOD POWER POLE
- ⊠ = AIR CONDITIONER
- ⊞ = ELECTRIC METER
- ⊞ = CLEANOUT
- ⊞ = ELECTRIC BOX
- ⊞ = TELEPHONE PEDESTAL
- ⊞ = WATER METER
- ⊞ = WATER VALVE
- ⊞ = TREE TYPE & DIAMETER
- LO = LIVE OAK
- = SPOT ELEVATION
- = ASPHALT PAVEMENT
- = CONCRETE SURFACE



SURVEYOR NOTES:

- THE BEARINGS SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS PROJECTED FROM A RECORD BEARING OF NORTH 79°06'35" WEST, ALONG THE SOUTHERLY LINE OF THE SUBJECT PARCEL.
- ELEVATIONS SHOWN HEREON ARE BASED ON GPS MEASUREMENTS ON THE GEODETIC REFERENCE SYSTEM 1980 (GEOID 12A) FROM THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN). ALL ELEVATIONS SHOWN HEREON ARE NORTH AMERICAN VERTICAL DATUM OF 1988. ALL SITE BENCHMARKS SHOULD BE CHECKED AND VERIFIED BEFORE USE.
- NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
- THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENROACH.
- RECORDED EASEMENT AND/OR DEEDS NOT FURNISHED TO THE SURVEYOR ARE NOT SHOWN.
- TREES (8" INCHES IN DIAMETER AND LARGER FOR HARD WOODS AND 12" IN DIAMETER AND LARGER FOR PINES) ON THE SUBJECT PARCEL ARE SHOWN HEREON (TREES LYING WITHIN THE WETLAND AREAS HAVE NOT BEEN LOCATED). MEASUREMENTS WERE TAKEN AT CHEST HEIGHT.

LEIGH ANN FLOWERS

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL BASED SEAL OF THE SURVEYOR. ANY REPRODUCTION OF THIS MAP BY ANYONE OTHER THAN THE SURVEYOR IS PROHIBITED. I HEREBY CERTIFY THAT THE SURVEY DATA SHOWN HEREON, IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PERFORMED UNDER THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS. PURSUANT TO SECTION 472.02, FLORIDA STATUTES, AND CHAPTER 34-17, FLORIDA ADMINISTRATIVE CODE.

FLOWERS SURVEYING AND MAPPING, INC.

207 SE CONNOR GLEN
HIGH SPRINGS, FLORIDA 32643
PHONE: (386) 454-8147
EMAIL: FLOWERSURVEYING@GMAIL.COM

JOB NUMBER: 17-084

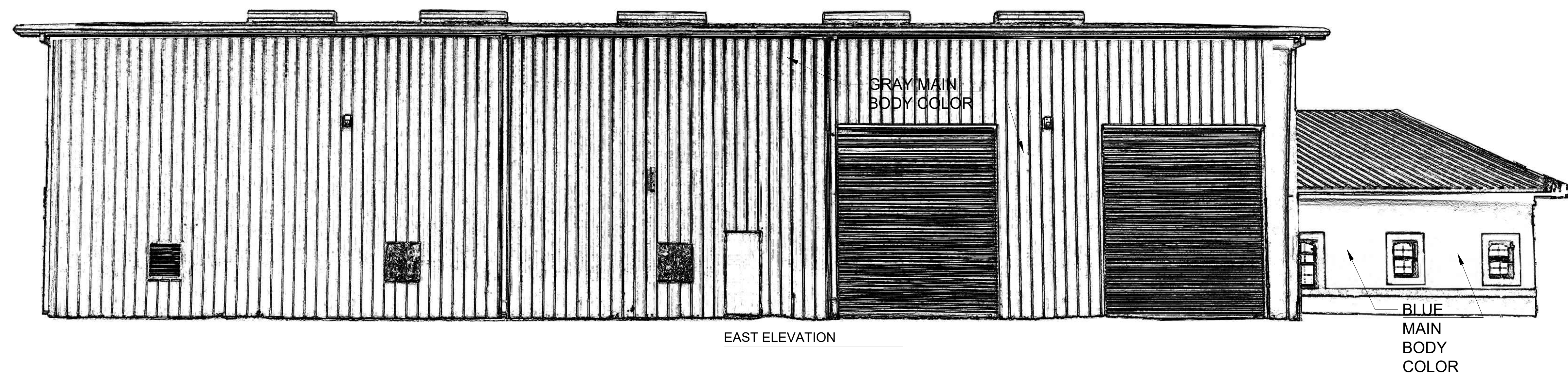
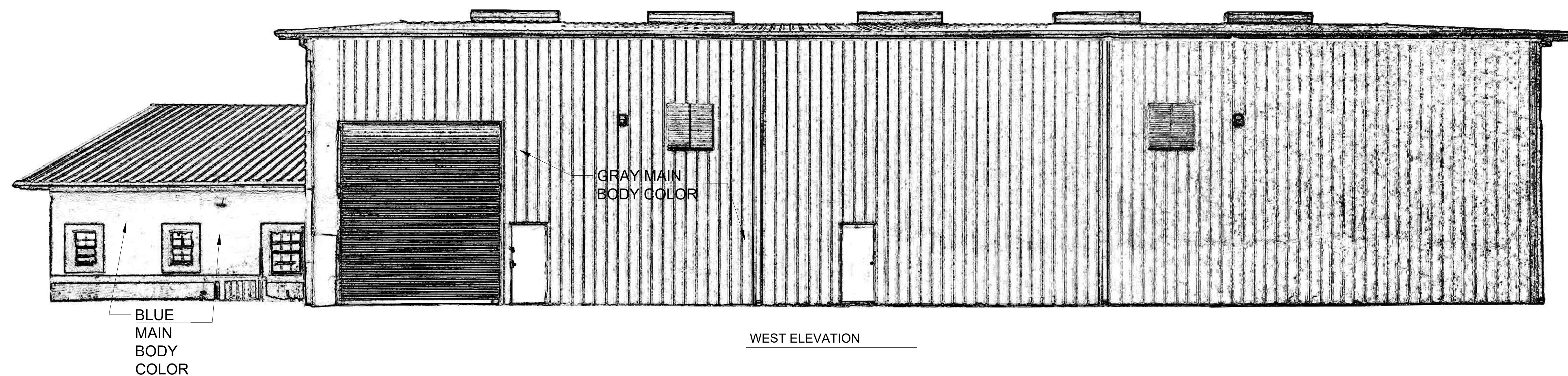
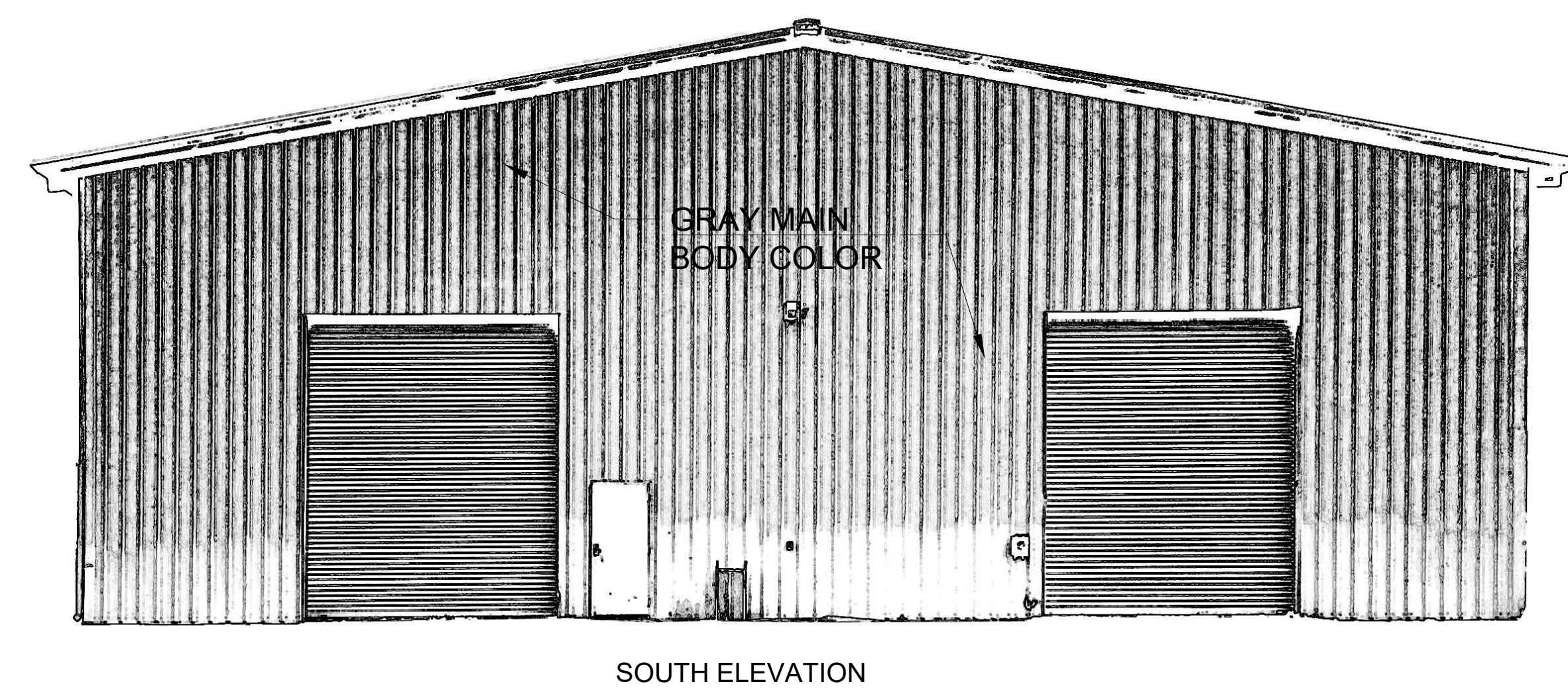
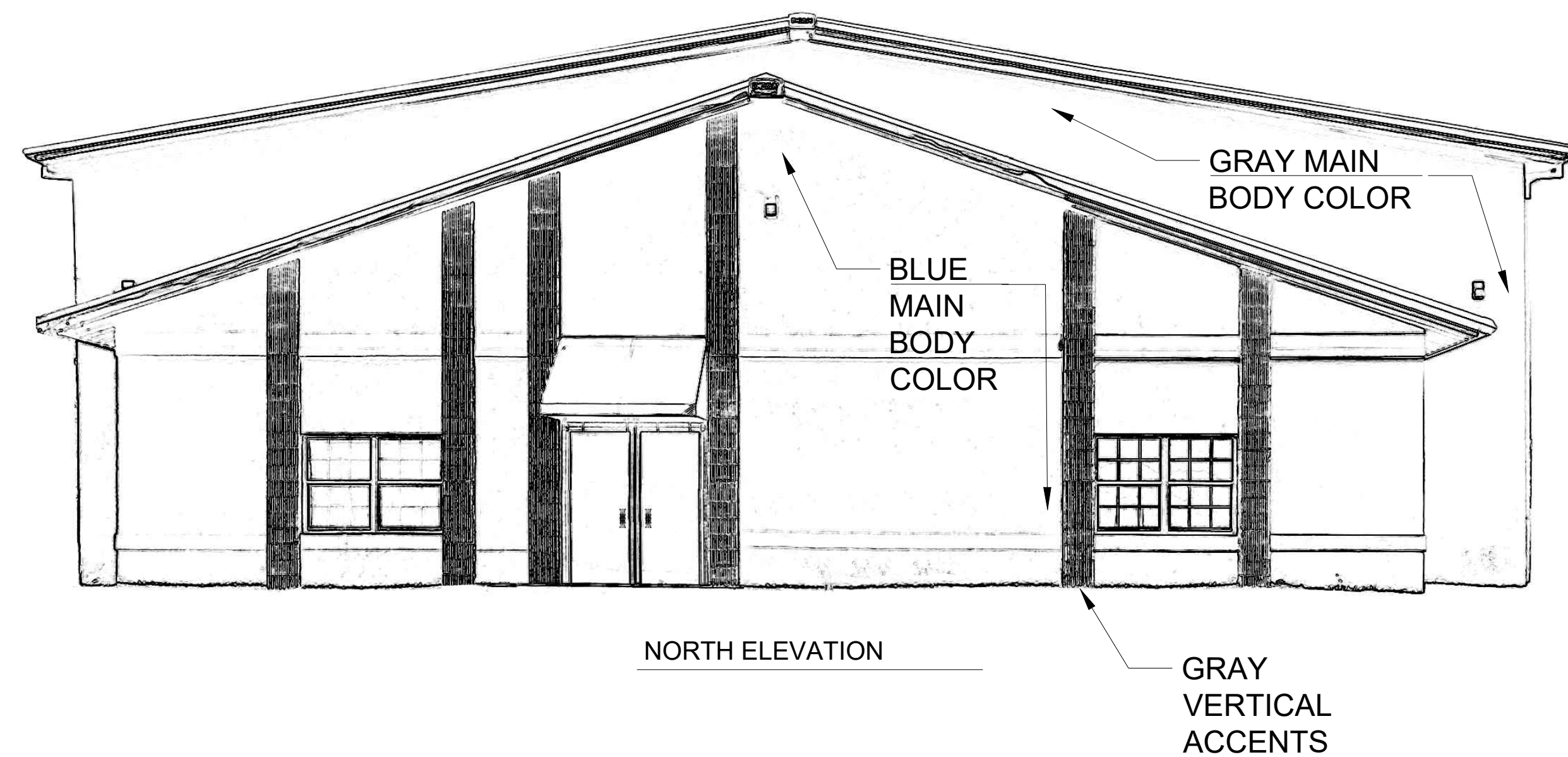
FIELD BOOK - SEE FOLDER

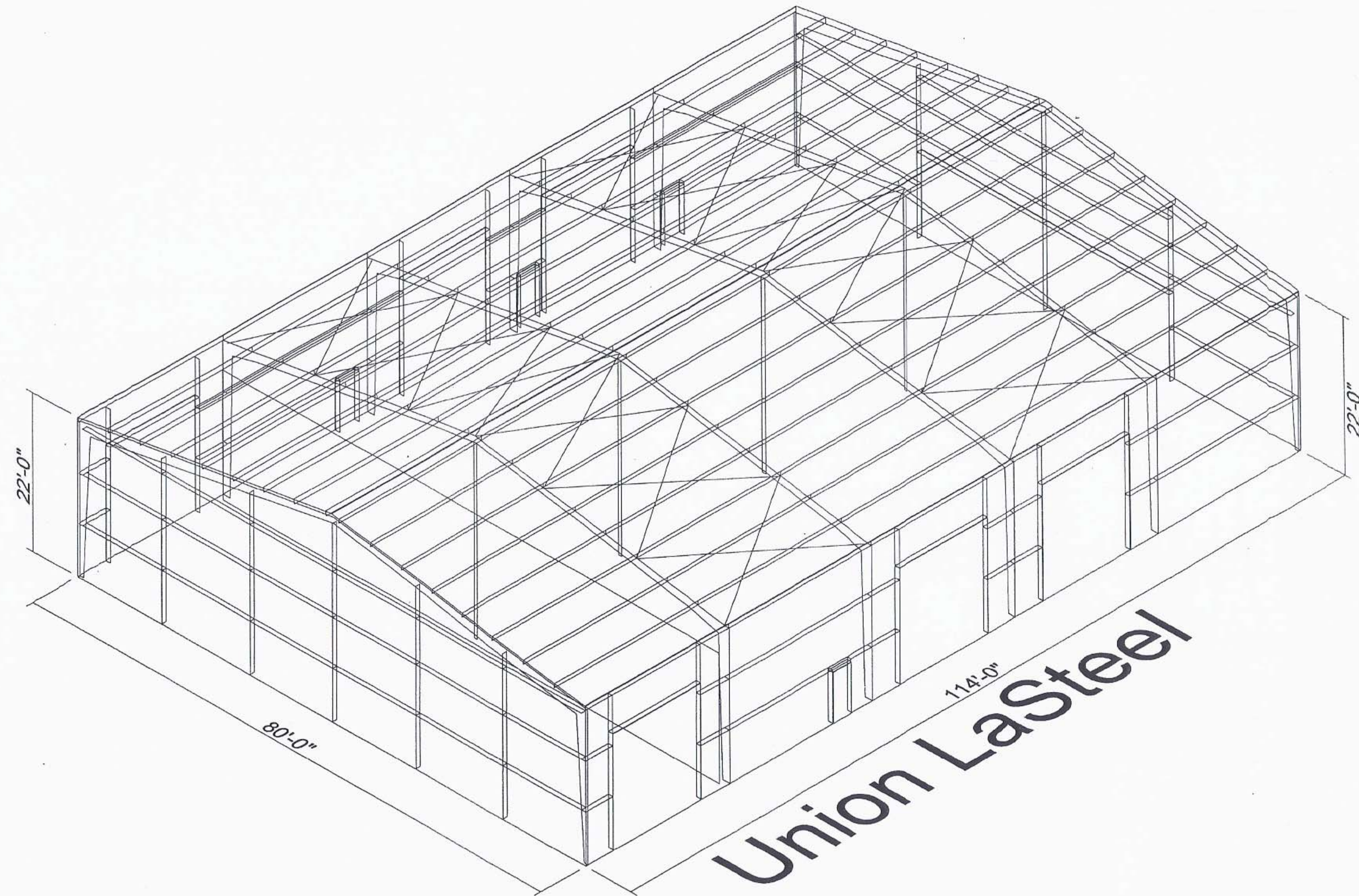
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CHECKED: LAF

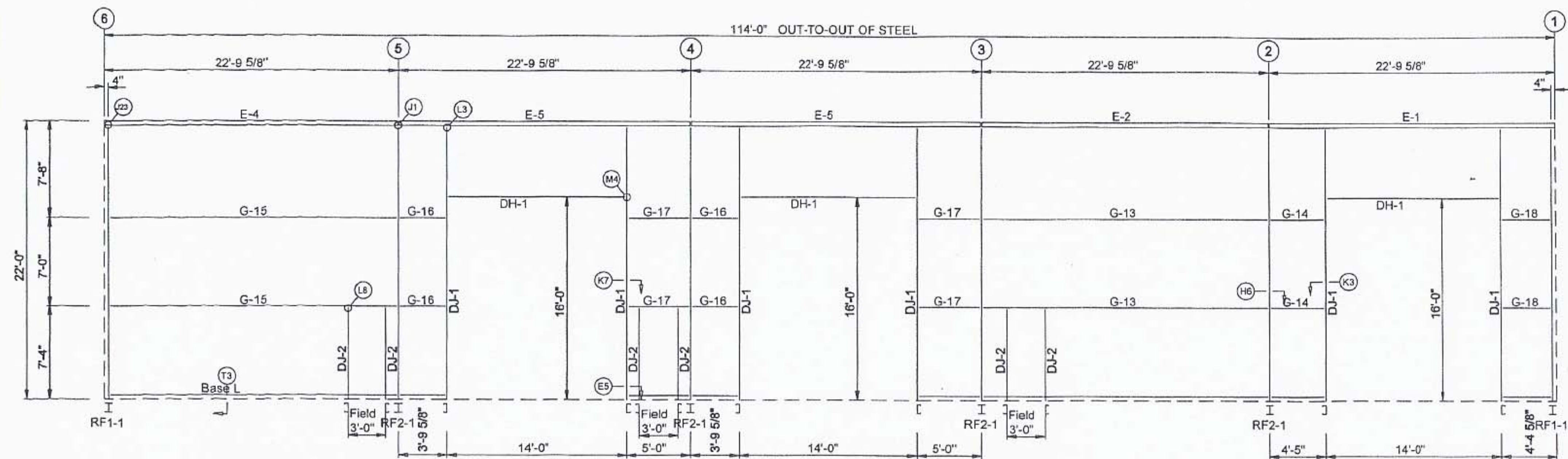
SURVEY DATE: 7/13/17

SHEET
1 OF 1





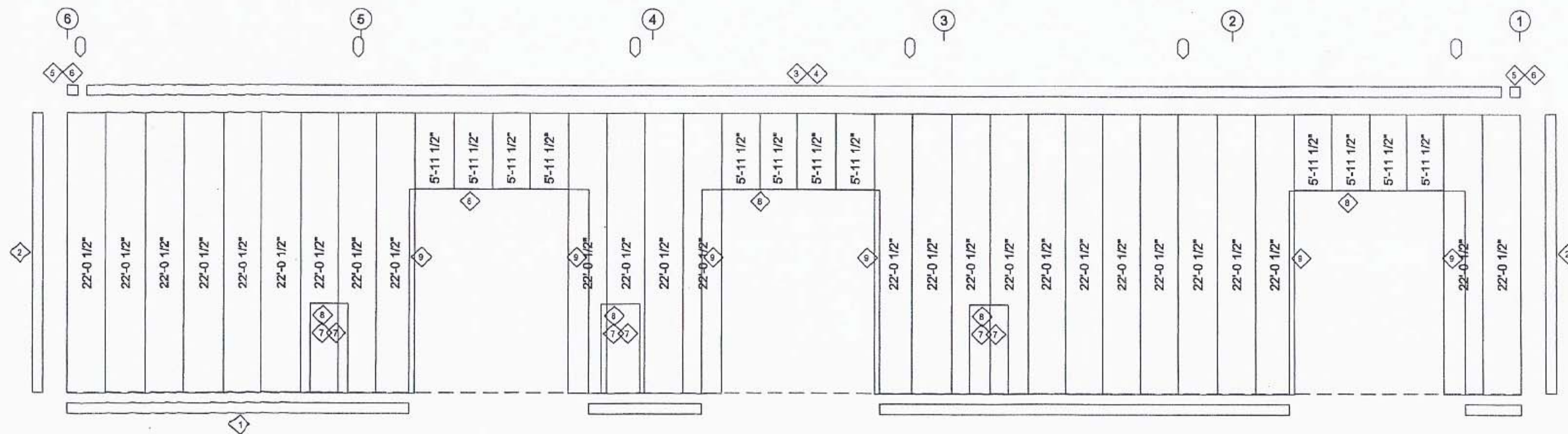
DOWNSPOUT LOCATIONS



SIDEWALL FRAMING: FRAME LINE A

TRIM TABLE FRAME LINE A			
ID	PART	LENGTH	DETAIL
1	BT-101	10'-3"	TRIM_68
2	CT-102	10'-3"	TRIM_323
3	ET-702	10'-3"	TRIM_316
4	GU-121	10'-3"	
5	EC-122	6"	
6	SCB	6"	
7	JT-101	10'-3"	TRIM_401
8	HT-101	10'-3"	TRIM_232
9	JT-101	10'-3"	TRIM_239

MEMBER TABLE FRAME LINE A		
MARK	PART	LENGTH
DJ-1	8X35C12	21'-5 1/4"
DJ-2	8X35C16	7'-4"
DH-1	8X35C16	14'-0"
E-1	E085342L	22'-9 1/16"
E-2	E085342L	22'-9 1/16"
E-4	E085342L	22'-9 1/16"
E-5	E085342L	22'-9 1/16"
G-13	8X25Z12	22'-2 13/16"
G-14	8X25Z16	3'-9 3/8"
G-15	8X25Z12	21'-10 13/16"
G-16	8X25Z16	3'-2"
G-17	8X25Z16	4'-4 3/8"
G-18	8X25Z16	3'-5"



SIDEWALL SHEETING & TRIM: FRAME LINE A

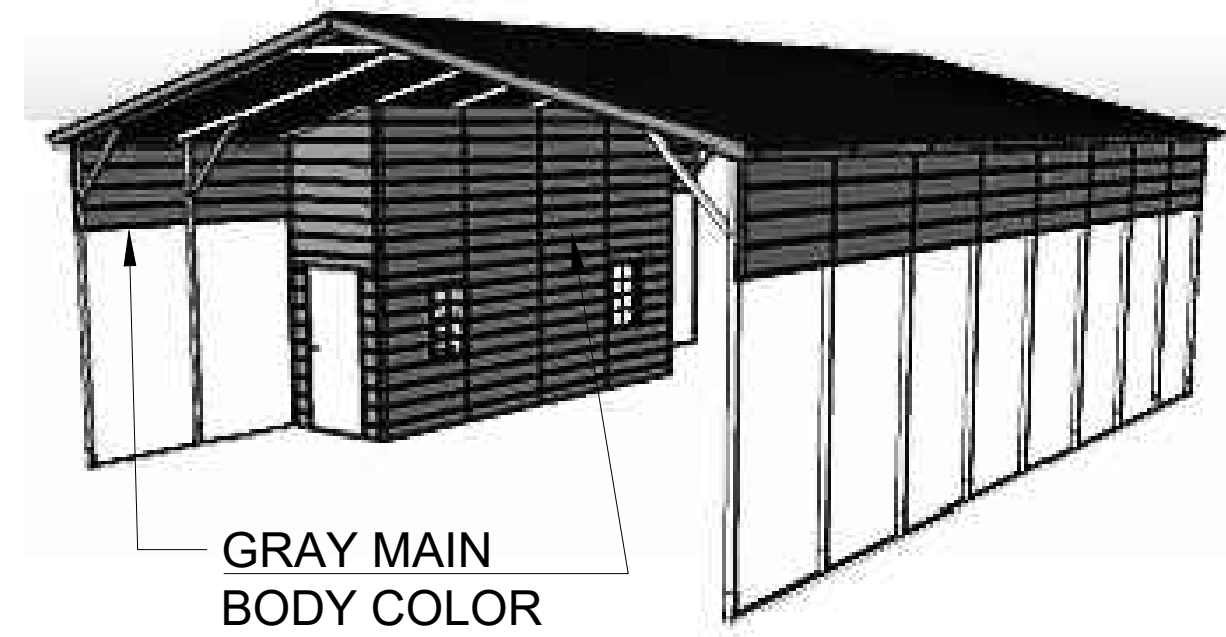
PANELS: 26 Ga. SX - Need Sill Poly Color

Union LaSteel				
PROJECT	SIDEWALL FRAMING			
ID	BruceNeal80x114	DESIGN:	DRAFT:	CHECK:
PROJECT		DATE: 6/14/17	SHEET	OF
ADDRESS				

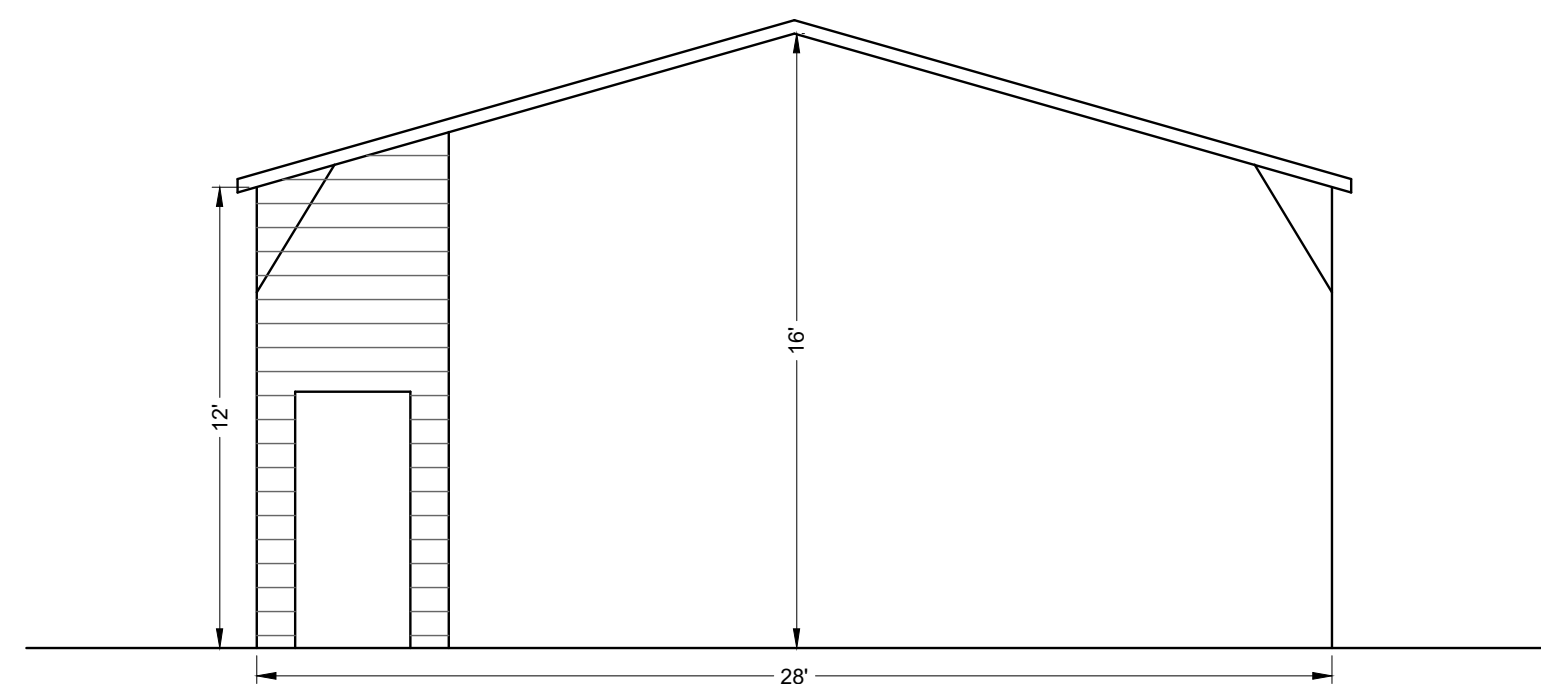
PANELS: 26 Ga. SX - Need Sill Poly Color

MEMBER TABLE		
FRAME LINE K		
MARK	PART	LENGTH
DJ-1	8X35C12	21'-5 1/4"
DJ-2	8X35C16	7'-4"
DH-1	8X35C16	14'-0"
E-1	E085342L	22'-9 1/16"
E-2	E085342L	22'-9 1/16"
E-3	E085342L	22'-9 1/16"
E-4	E085342L	22'-9 1/16"
G-11	8X25Z16	3'-5 3/8"
G-12	8X25Z16	3'-9"
G-13	8X25Z12	22'-2 13/16"
G-14	8X25Z16	3'-9 3/8"
G-15	8X25Z12	21'-10 13/16"

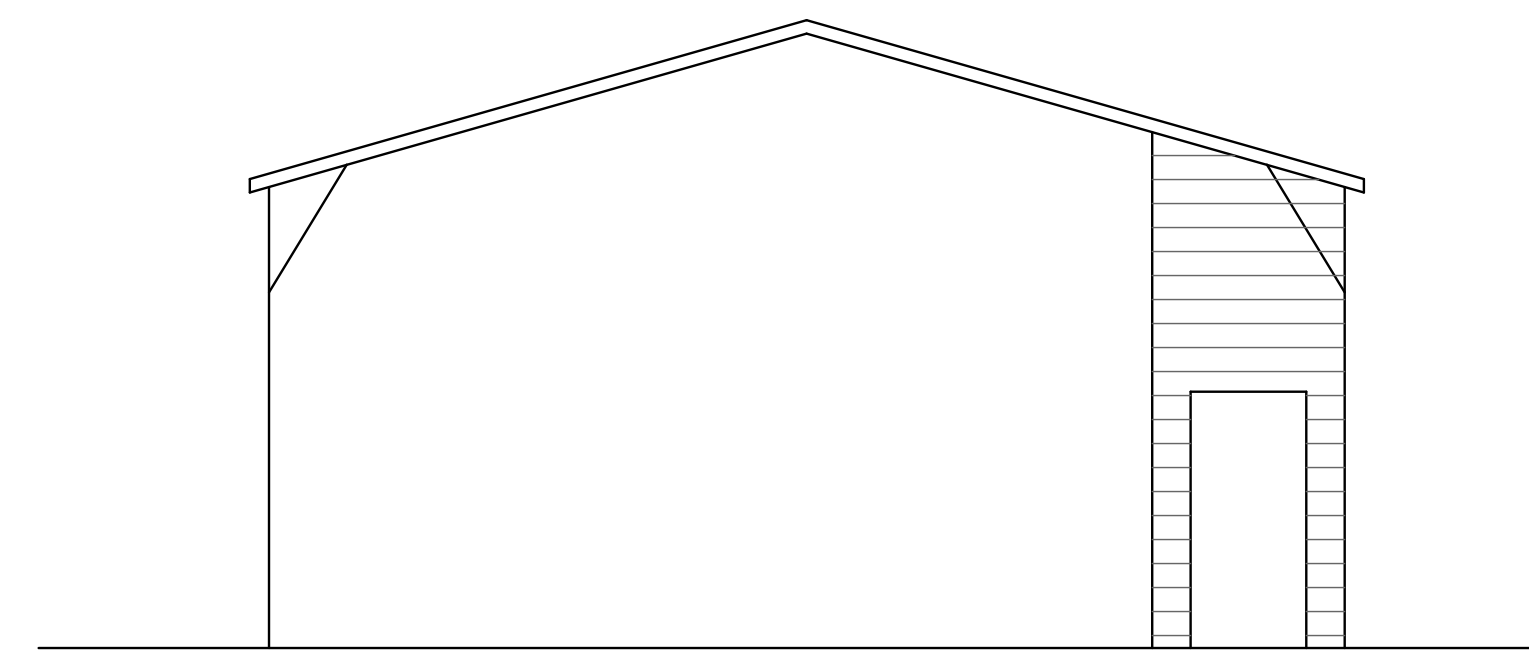
WAREHOUSE
DOOR
REVISIONS
A2.2



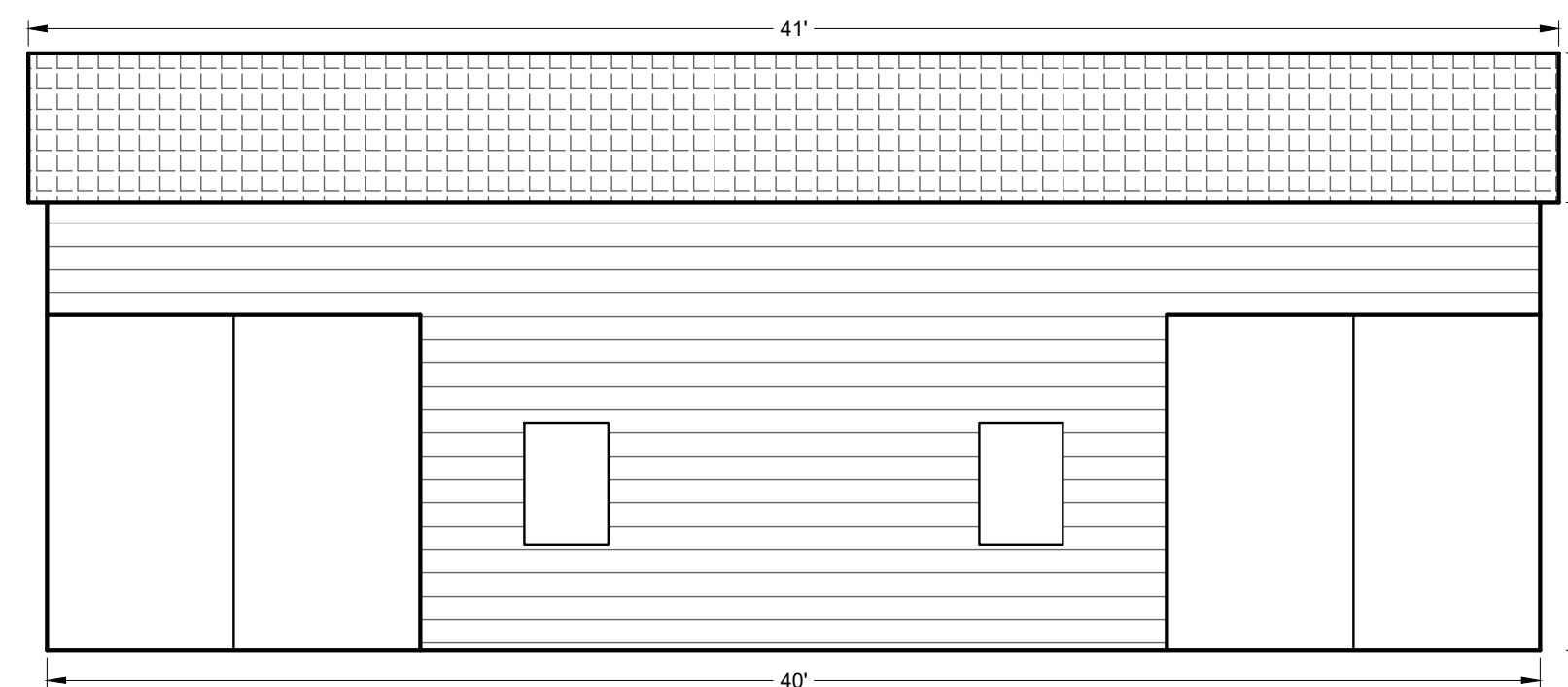
ISOMETRIC ELEVATION



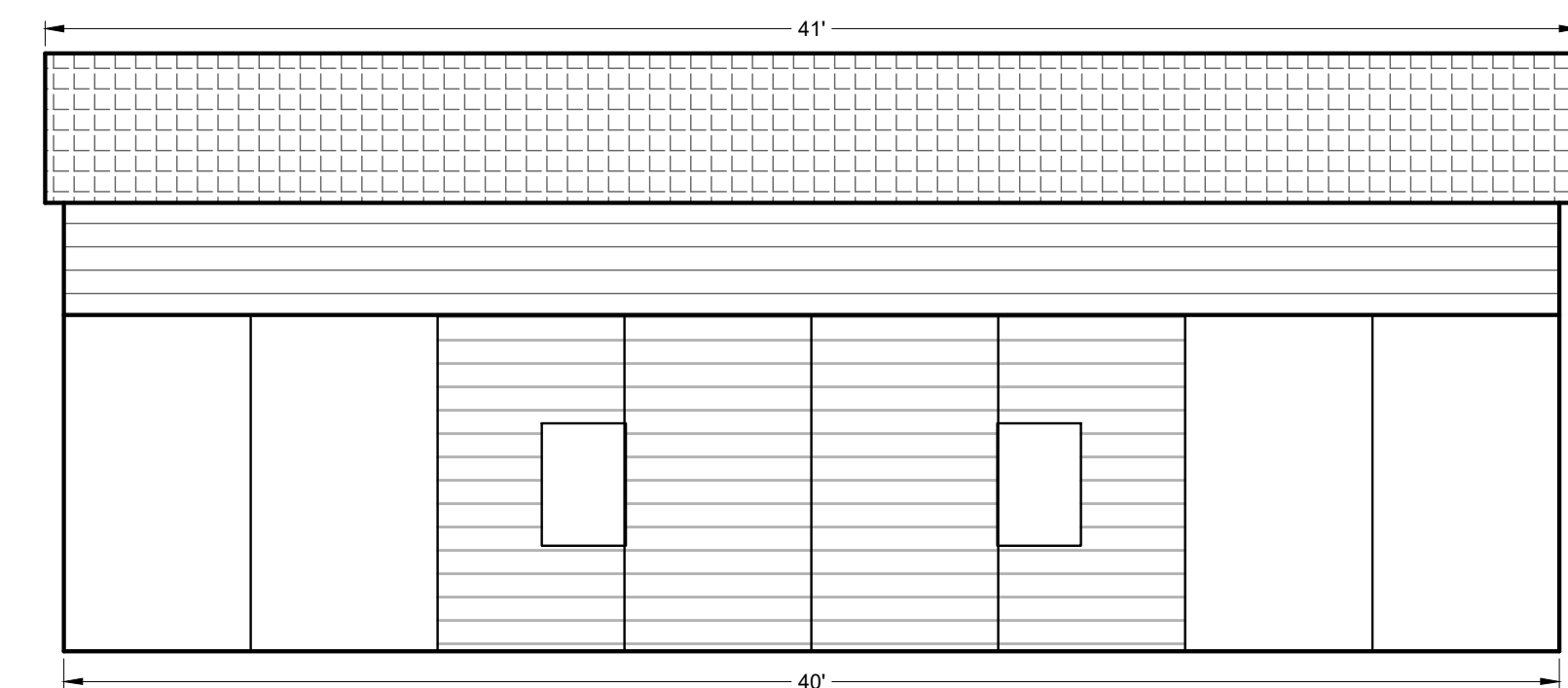
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION