

SAN FELASCO TECH CITY

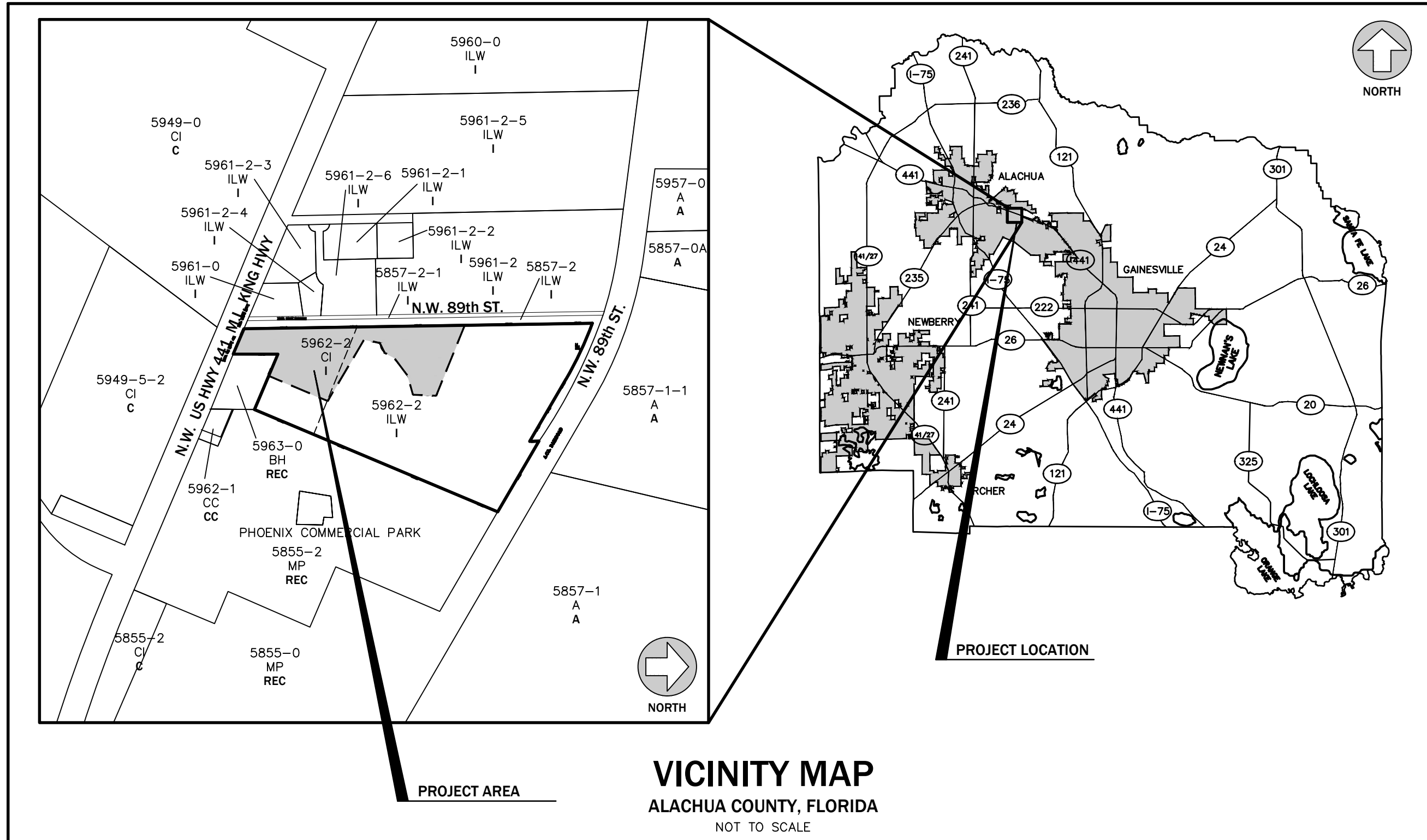
CITY OF ALACHUA, FLORIDA

| DEVELOPMENT INFORMATION | | |
|-------------------------|--|--|
| 1. | PROJECT OWNER: | TOM R. & ASSOCIATES, LLC 11 SE 2ND AVENUE GAINESVILLE, FLORIDA 32601 |
| 2. | NAME OF PROJECT: | SAN FELASCO TECH CITY |
| 3. | PROJECT DESCRIPTION: | CONSTRUCTION OF TWO 30,100 S.F. BUILDINGS FOR COMMERCIAL AND OFFICE USE AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS |
| 4. | PROJECT ADDRESS: | 12000 BLOCK OF NW US HWY 441 |
| 5. | TAX PARCEL NUMBER: | 05962-002-000 (PORTION OF) |
| 6. | SECTION/TOWNSHIP/RANGE: | SECTION 20, TOWNSHIP 08 SOUTH, RANGE 19 EAST |
| 7. | ZONING: | COMMERCIAL INTENSIVE, LIGHT AND INDUSTRIAL WAREHOUSE |
| 8. | FUTURE LAND USE DESIGNATION: | COMMERCIAL, INDUSTRIAL |
| 9. | A PORTION OF THIS SITE IS LOCATED IN FLOOD PLAIN | |
| 10. | IRRIGATION SYSTEM IS PROVIDED FOR LANDSCAPED AREAS | |
| 11. | THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION. | |

| PROJECT AREA IMPERVIOUS AREA CALCULATIONS | | | | |
|---|-----------------------------|---|---------------|----------------|
| # | DESCRIPTION | SQUARE FOOTAGE (S.F.) | ACREAGE (AC.) | PERCENTAGE (%) |
| 1. | TOTAL PROJECT AREA: | 576,083 | 13.23 | 100 |
| 2. | PROPOSED BUILDING COVERAGE: | 60,200 | 1.38 | 10.4 |
| 3. | PAVEMENT AND SIDEWALK AREA: | 119,166 | 2.74 | 20.7 |
| 4. | TOTAL IMPERVIOUS AREA: | 179,366 | 4.12 | 31.1 |
| 5. | OPEN AREA: | 396,717 | 9.11 | 68.9 |
| 6. | FLOOR TO AREA RATIO: | 59,500 BUILDING AREA SF: 576,083 PROJECT AREA SF=0.10 | | |

| TOTAL SITE IMPERVIOUS AREA CALCULATIONS | | | | |
|---|-----------------------------|----------------|-----------|------------|
| # | DESCRIPTION | SQUARE FOOTAGE | ACREAGE | PERCENTAGE |
| 1. | TOTAL SITE AREA: | 2,411,418 S.F. | 55.36 Ac. | 100% |
| 2. | PROPOSED BUILDING COVERAGE: | 60,200 S.F. | 1.38 Ac. | 2.50% |
| 3. | PAVEMENT AND SIDEWALK AREA: | 119,166 S.F. | 2.74 Ac. | 4.95% |
| 4. | TOTAL IMPERVIOUS AREA: | 179,366 S.F. | 4.12 Ac. | 7.44% |
| 5. | OPEN AREA: | 2,232,052 S.F. | 51.24 Ac. | 92.56% |

| PARKING CALCULATIONS | | | | |
|----------------------|--------------------|---|-------------------------------|---------------------------------|
| # | DESCRIPTION | CRITERIA | REQUIRED (MIN.) | PROVIDED |
| 1. | VEHICULAR PARKING | | | |
| | BUILDING A | 1 PARKING SPACE PER 330 SF OFFICE X 30,000 S.F. | 91 | SEE TOTAL BELOW |
| | BUILDING B | 1 PARKING SPACE PER 305 SF RETAIL X 3,000 S.F. | 10 | SEE TOTAL BELOW |
| | | 1 PARKING SPACE PER 330 SF OFFICE X 15,000 S.F. | 45 | SEE TOTAL BELOW |
| | | 1 PARKING SPACE PER 1,000 SF ASSEMBLY X 12,000 S.F. | 12 | SEE TOTAL BELOW |
| | | TOTAL | 158 | 160 INCLUDING 6 HANDICAP SPACES |
| 2. | BICYCLE PARKING | 10% OF REQUIRED NUMBER OF VEHICLE PARKING | 158 SPACES X 0.10 = 16 SPACES | 16 SPACES & RACKS |
| 3. | MOTORCYCLE PARKING | N/A | N/A | N/A |



LEGEND:

ZONING:
ILW - LIGHT AND INDUSTRIAL WAREHOUSE
CI - COMMERCIAL INTENSIVE
BH - BUSINESS HIGHWAY
CC - COMMUNITY COMMERCIAL DISTRICT
MP - INDUSTRIAL SERVICES AND MANUFACTURING

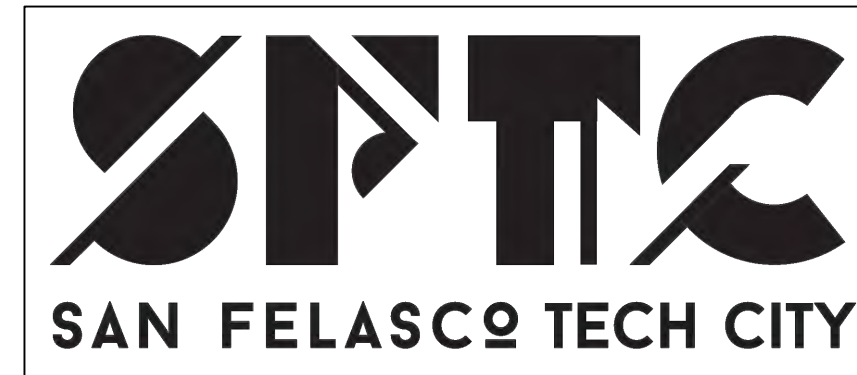
FUTURE LAND USE:
C - COMMERCIAL
CC - COMMUNITY COMMERCIAL
I - INDUSTRIAL
REC - RURAL EMPLOYMENT CENTER

| TRIP GENERATION | | | | | | | | |
|--|------|-------------|--------|-------------------|------|---------------|--------|--|
| PROPOSED | | | | | | | | |
| ITE LAND USE 710 GENERAL OFFICE BUILDING | | | | | | | | |
| 45,000 S.F. | | | | TRIP DISTRIBUTION | | PROJECT TRIPS | | |
| PERIOD | RATE | PER 1000 SF | TRIPS | ENTER | EXIT | IN | OUT | |
| AM PK HR | 1.16 | 45.00 | 52.20 | 86% | 14% | 44.89 | 7.31 | |
| PM PK HR | 1.15 | 45.00 | 51.75 | 16% | 84% | 8.28 | 43.47 | |
| AVG DAILY | 9.74 | 45.00 | 438.30 | 50% | 50% | 219.15 | 219.15 | |

| | | | | | | | | |
|----------------------------------|-------|-------------|--------|-------------------|------|---------------|-------|--|
| ITE LAND USE 820 SHOPPING CENTER | | | | | | | | |
| 3,000 S.F. | | | | TRIP DISTRIBUTION | | PROJECT TRIPS | | |
| PERIOD | RATE | PER 1000 SF | TRIPS | ENTER | EXIT | IN | OUT | |
| AM PK HR | 0.94 | 3.00 | 2.82 | 62% | 38% | 1.75 | 1.07 | |
| PM PK HR | 3.81 | 3.00 | 11.43 | 48% | 52% | 5.49 | 5.94 | |
| AVG DAILY | 37.75 | 3.00 | 113.25 | 50% | 50% | 56.63 | 56.63 | |

| | | | | | | | | |
|---|------|-------------|-------|-------------------|------|---------------|-------|--|
| ITE LAND USE 110 GENERAL LIGHT INDUSTRIAL | | | | | | | | |
| 12,000 S.F. | | | | TRIP DISTRIBUTION | | PROJECT TRIPS | | |
| PERIOD | RATE | PER 1000 SF | TRIPS | ENTER | EXIT | IN | OUT | |
| AM PK HR | 0.70 | 12.00 | 8.40 | 88% | 12% | 7.39 | 1.01 | |
| PM PK HR | 0.63 | 12.00 | 7.56 | 13% | 87% | 0.98 | 6.58 | |
| AVG DAILY | 4.96 | 12.00 | 59.52 | 50% | 50% | 29.76 | 29.76 | |

| SUMMARY | | | |
|--------------------------|----------|----------|-----------|
| | AM PK HR | PM PK HR | AVG DAILY |
| OFFICE | 52.20 | 51.75 | 438.30 |
| RETAIL | 2.82 | 11.43 | 113.25 |
| GENERAL LIGHT INDUSTRIAL | 8.40 | 7.56 | 59.52 |
| OVERALL NET | 63.42 | 70.74 | 611.07 |



LEGAL DESCRIPTION

LEGAL DESCRIPTION: (PER OFFICIAL RECORDS BOOK 3842, PAGE 1386)

A PARCEL OF LAND LOCATED IN SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND IRON PIN MARKING THE SOUTHEAST CORNER OF SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA; THENCE WEST A DISTANCE OF 1313.40 FEET TO A POINT; THENCE NORTH A DISTANCE OF 218.99 FEET TO A FOUND 3/4" IRON PIN MARKING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF U. S. HIGHWAY NO. 441 (200 FOOT RIGHT-OF-WAY); THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, NORTH 72 DEG. 51 MIN. 49 SEC. WEST A DISTANCE OF 171.11 FEET TO A FOUND 5/8 INCH IRON PIN (FLORIDA D.O.T.) MARKING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST, HAVING A DELTA OF 06 DEG. 52 MIN. 05 SEC., A RADIUS OF 11424.66 FEET AND A CHORD BEARING NORTH 69 DEG. 24 MIN. 13 SEC. WEST, 1368.62 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 1369.44 FEET TO A FOUND 6" X 6" CONCRETE MONUMENT (FLORIDA D.O.T.); THENCE NORTH 65 DEG. 59 MIN. 42 SEC. WEST A DISTANCE OF 1385.74 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, NORTH 22 DEG. 09 MIN. 10 SEC. EAST A DISTANCE OF 159.44 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE NORTH 66 DEG. 13 MIN. 12 SEC. WEST A DISTANCE OF 229.98 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE NORTH 01 DEG. 33 MIN. 25 SEC. EAST A DISTANCE OF 169.02 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT (PLS #940) MARKING THE POINT OF BEGINNING; THENCE NORTH 23 DEG. 50 MIN. 23 SEC. EAST A DISTANCE OF 2014.63 FEET TO A SET 5/8 INCH REBAR AND CAP (#3524) MARKING A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SEABOARD COAST LINE RAILROAD (200 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE OF SEABOARD COAST LINE RAILROAD, NORTH 58 DEG. 44 MIN. 53 SEC. WEST A DISTANCE OF 824.24 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 00 DEG. 37 MIN. 49 SEC. EAST A DISTANCE OF 70.65 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE NORTH 58 DEG. 44 MIN. 53 SEC. WEST A DISTANCE OF 547.93 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524) MARKING THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST, HAVING A DELTA OF 10 DEG. 00 MIN. 21 SEC., A RADIUS OF 2712.57 FEET AND A CHORD BEARING NORTH 63 DEG. 45 MIN. 03 SEC. WEST, 473.11 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 473.71 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524); THENCE SOUTH 00 DEG. 08 MIN. 45 SEC. WEST A DISTANCE OF 2657.79 FEET TO A FOUND 5/8 INCH REBAR AND CAP (#3524) MARKING A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF U. S. HIGHWAY NO. 441; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, SOUTH 66 DEG. 00 MIN. 09 SEC. EAST A DISTANCE OF 209.40 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, NORTH 01 DEG. 07 MIN. 22 SEC. EAST A DISTANCE OF 340.98 FEET TO A FOUND 4" X 4" CONCRETE MONUMENT; THENCE SOUTH 65 DEG. 57 MIN. 03 SEC. EAST A DISTANCE OF 460.08 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH A PERPETUAL, NON-EXCLUSIVE AND UNRESTRICTED EASEMENT OVER, UNDER AND ACROSS THE FOLLOWING TWO PARCELS OF REAL PROPERTY.

EASEMENT PARCEL #1

COMMENCE AT THE HALF MILE CORNER OR THE NORTH LINE OF SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST, AND RUN SOUTH 499.11 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE RUN, SOUTH 81 DEG. 45' 10" EAST ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 2797.03 FEET TO THE P.C. OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS AT 2764.93 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 498.99 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF GENERAL ELECTRIC CO. PROPERTY; THENCE CONTINUE SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY AN ARC DISTANCE OF 31.68 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 71 DEG. 06' 52" EAST 31.68 FEET; THENCE RUN SOUTH 00 DEG. 08' 45" WEST PARALLEL WITH AND 30 FEET FROM THE WEST LINE OF SAID GENERAL ELECTRIC CO. PROPERTY, 2718.29 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE AT U.S. HIGHWAY NO. 441 (STATE ROAD NO. 25); THENCE RUN NORTH 66 DEG. 00' 06" WEST ALONG SAID RIGHT-OF-WAY LINE 32.8 FEET TO THE SOUTHWEST CORNER OF SAID PROPERTY, BEING A CONCRETE MONUMENT; THENCE RUN NORTH 00 DEG. 08' 45" EAST ALONG THE WEST LINE AT SAID PROPERTY 2715.11 FEET TO THE P.O.B., BEING AND LYING IN SECTION 30, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA.

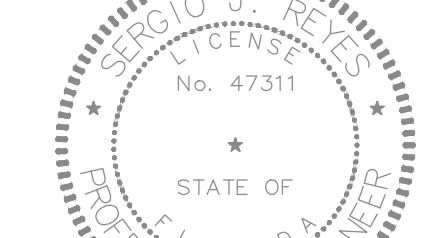
EASEMENT PARCEL #1

COMMENCE AT THE HALF MILE CORNER ON THE NORTH LINE OR SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST AND RUN SOUTH 499.11 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE SEABOARD COASTLINE RAILROAD; THENCE RUN SOUTH 81 DEG. 45' 18" EAST ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 2797.03 FEET TO THE P.C. OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 2764.93 FEET; THENCE RUN SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 498.99 FEET TO A CONCRETE MONUMENT AT THE NORTHWEST CORNER OF GENERAL ELECTRIC CO. PROPERTY; THENCE CONTINUE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 31.68 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 71 DEG. 06' 52" EAST 31.68 FEET TO THE P.O.B.; THENCE CONTINUE SOUTHEASTERLY ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE AN ARC DISTANCE OF 582.25 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 64 DEG. 45' 10" EAST 581.11 FEET TO THE P.T. OF SAID CURVE; THENCE CONTINUE ALONG SAID RLIGHT-OF-WAY LINE SOUTH 58 DEG. 43' 12" EAST 510.61 FEET; THENCE RUN SOUTH 00 DEG. 08' 45" EAST 70.66 FEET; THENCE RUN NORTH 66 DEG. 00' 06" WEST PARALLEL WITH AND 60 FEET FROM THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID RAILROAD, 547.97 FEET TO THE P.C. OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS AT 2704.93 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 484.91 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 63 DEG. 51' 21" WEST 484.26 FEET; THENCE RUN SOUTH 08 DEG. 08' 45" WEST PARALLEL WITH AND 90 FEET EAST OF THE WEST LINE OF SAID G. E. PROPERTY 2659.10 FEET TO THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 25); THENCE RUN NORTH 66 DEG. 00' 06" WEST ALONG SAID RIGHT-OF-WAY LINE 65.6 FEET; THENCE RUN NORTH 00 DEG. 08' 45" EAST 2718.2 FEET TO THE P.O.B. BEING AND LYING IN SECTION 20, TOWNSHIP 8 SOUTH, RANGE 19 EAST, ALACHUA COUNTY, FLORIDA.

| DRAWING INDEX | |
|---------------|--|
| SHEET NUMBER | SHEET TITLE |
| C0.00 | COVER SHEET |
| C0.10 | LEGEND, SYMBOLS AND NOTES |
| C0.20 | DEVELOPMENT PLAN |
| C0.30 | TREE CLEARING PLAN |
| C1.00 | DIMENSION PLAN |
| C2.00 | PAVING, GRADING AND DRAINAGE PLAN |
| C2.10 | PAVING, GRADING AND DRAINAGE DETAILS AND NOTES |
| C2.20 | BASIN 1 DETAIL |
| C2.30 | BASIN 2 DETAIL |
| C3.00 | STORMWATER POLLUTION PREVENTION PLAN |
| C4.00 | UTILITY PLAN |
| C4.10 | UTILITY DETAILS |
| V001-V012 | BOUNDARY AND TOPOGRAPHIC SURVEY |
| A100-A202 | ARCHITECTURAL PLANS |
| L101-L304 | LANDSCAPE |
| E | PHOTOMETRIC |

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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023

Project phase:

CITY SUBMITTAL

Project title:

SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA

Sheet title:

COVER SHEET

Designed: SJR

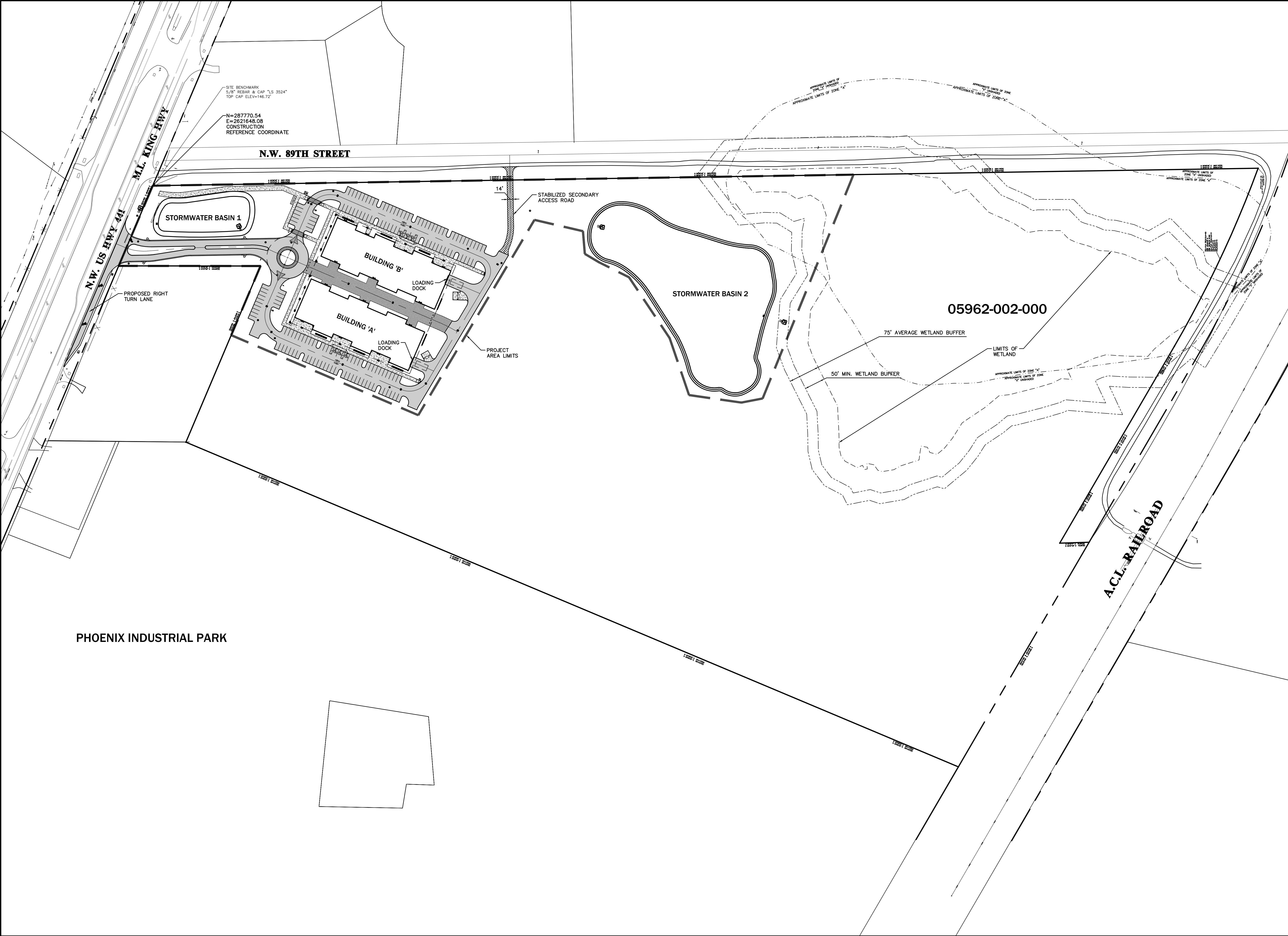
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Date: 06/25/18

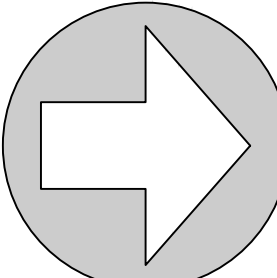
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www.edafl.com mail@edafl.com



NORTH

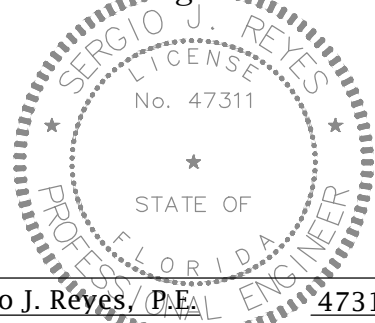
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GRAPHIC SCALE

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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

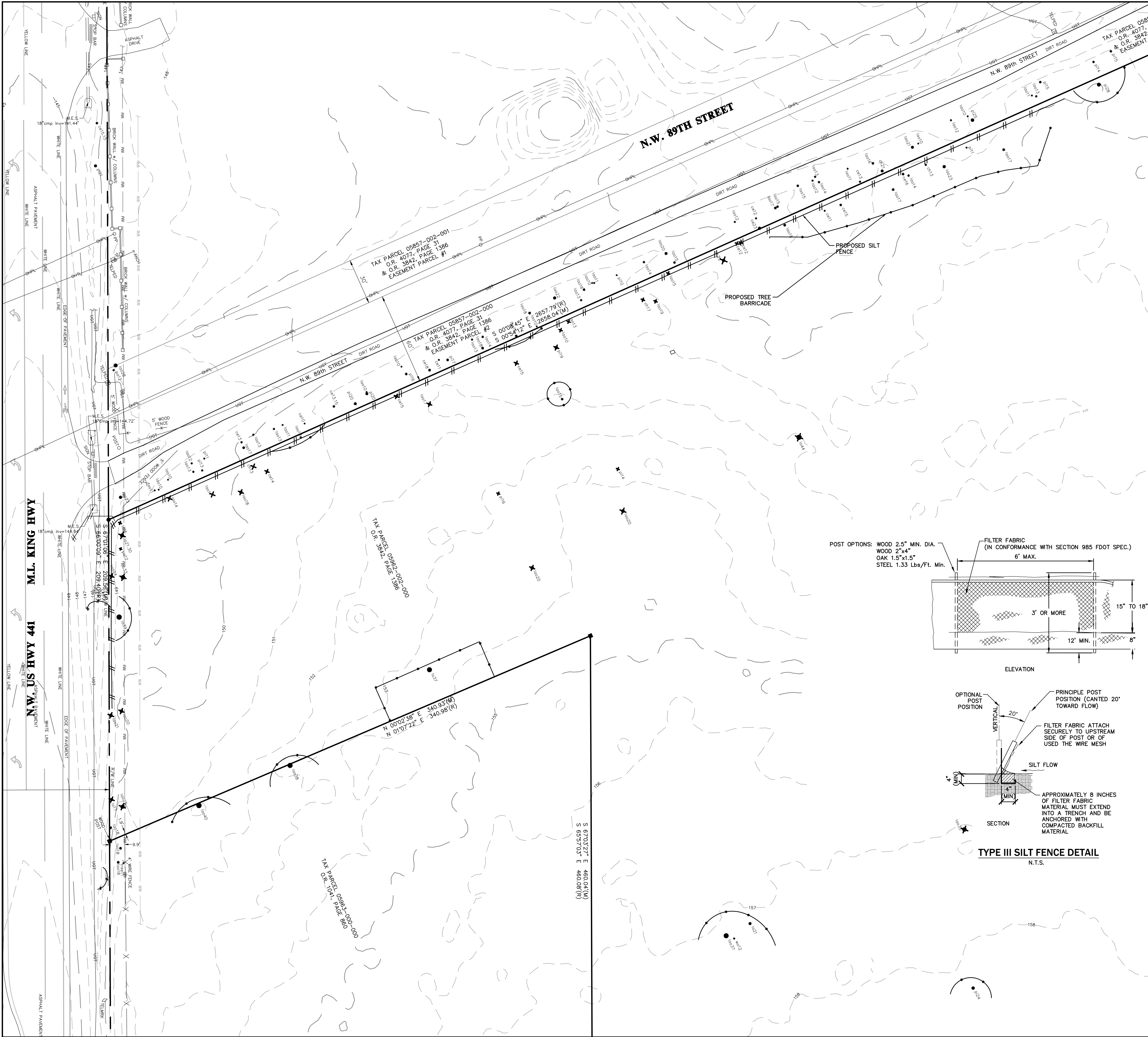
Project No: 18-023

Project phase: CITY SUBMITTAL

Project title: SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA

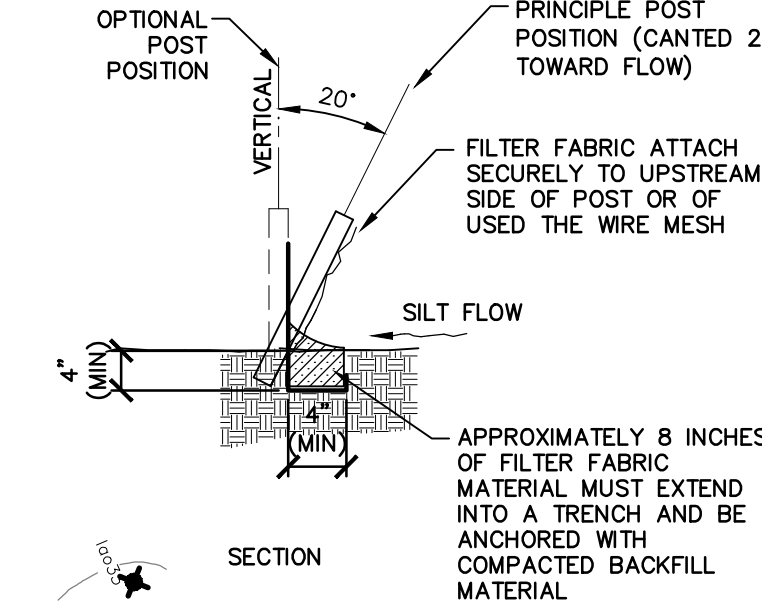
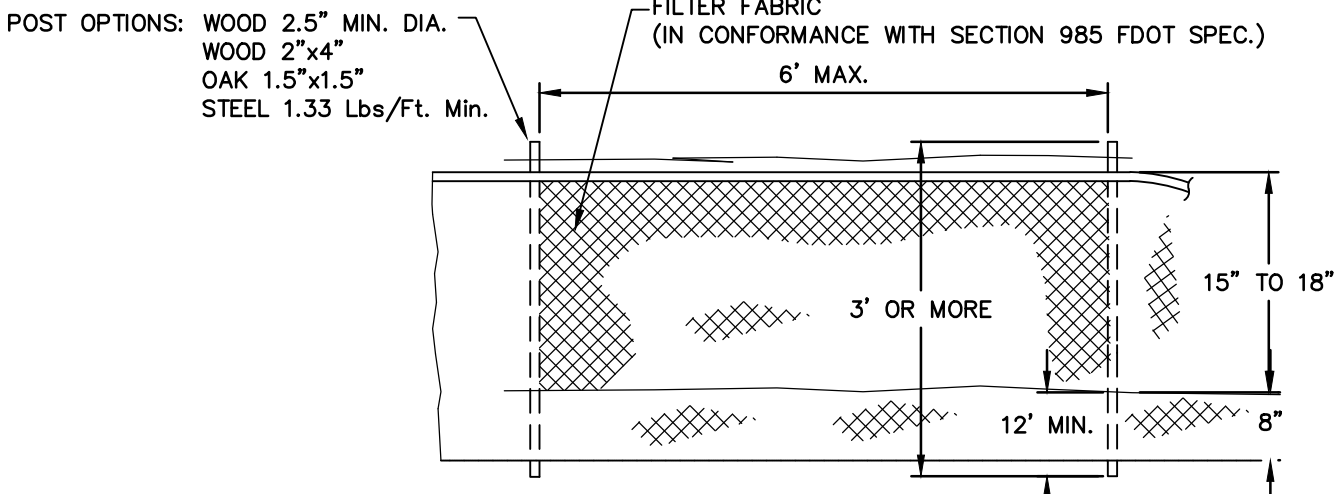
Sheet title: DEVELOPMENT PLAN

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| Checked: TAR | |
| Date: 06/25/18 | |

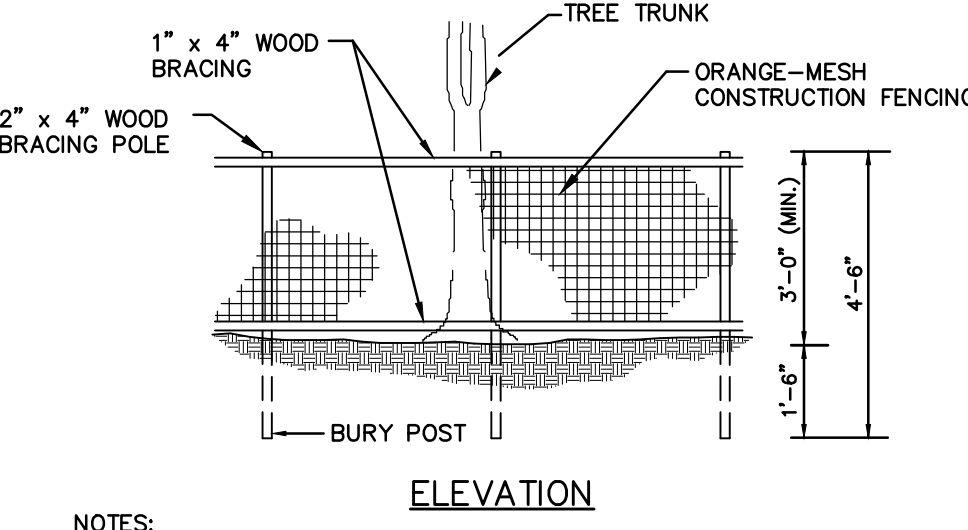


DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION / PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
- CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
- CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE A MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTORS EXPENSE.
- PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.
- LOCATE EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITY SERVICES UNLESS DIRECTED TO OTHERWISE.
- EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.
- IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.
- IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FDOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.
- ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
- SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.



TYPE III SILT FENCE DETAIL N.T.S.



NOTES:

- TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
- EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSERTED AT LEAST ONE AND A HALF (1-1/2) FEET DEEP. THE TWO ROWS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
- NO GRADING WITHIN FENCING. ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
- NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
- THE AREA ENCLOSED MUST BE AT OR OUTSIDE THE DRIPLINE FOR ALL HERITAGE AND CHAMPION TREES AND ALL REGULATED PINE AND PALM TREES, OR EQUAL TO 2/3 OF THE DRIPLINE OF THE TREE CANOPY FOR ALL OTHER REGULATED SPECIES, OR AT THE TREE ROOT PLATE WHERE ALLOWED BY CONSTRUCTION LIMITS.

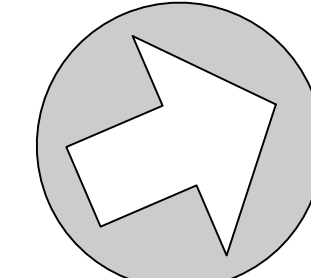
TREE BARRICADE FENCING DETAIL N.T.S.

TREE LEGEND

THE ONLY TREES LOCATED FOR THIS SURVEY WERE HARDWOODS 8" AND GREATER AND PINES 12" AND GREATER (DIAMETER MEASURED AT BREAST HEIGHT)

| LOCATION | SPACES | DIAMETER AT BREAST HEIGHT IN INCHES | SIZE/COMMON NAME |
|----------|--------|-------------------------------------|-------------------------------|
| • b010. | | | = 10" BAY |
| • ch11. | | | = 11" CHINABERRY |
| • ch11. | | | = 11" CEDAR |
| • ch12. | | | = 12" CHERRY |
| • ch10. | | | = 10" CHINESE TALLOW |
| • hi11. | | | = 11" HICKORY |
| • lo012. | | | = 12" LAUREL OAK |
| • lo15. | | | = 15" LIVE OAK |
| • mb12. | | | = 12" MULBERRY |
| • mg18. | | | = 18" MAGNOLIA |
| • po18. | | | = 18" PALM |
| • pi14. | | | = 14" PINE |
| • po18. | | | = 9" POST OAK |
| • sg11. | | | = 11" SUGARBERRY |
| • sg17. | | | = 17" SWEETGUM |
| • tk011. | | | = 11" TURKEY OAK |
| • tr018. | | | = 18" UNIDENTIFIED TREE |
| • wo14. | | | = 14" WATER OAK |
| • wo14. | | | = EXISTING TREE TO BE REMOVED |
| ✕ pi20 | | | = TREE BARRICADE |
| == | | | = SILT FENCE |

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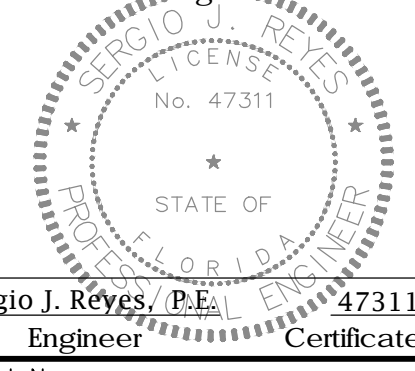
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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023

Project phase: CITY SUBMITTAL

Project title: SAN FELASCO TECH CITY

CITY OF ALACHUA,
FLORIDA

Sheet title:

TREE CLEARING PLAN

Designed: SJR

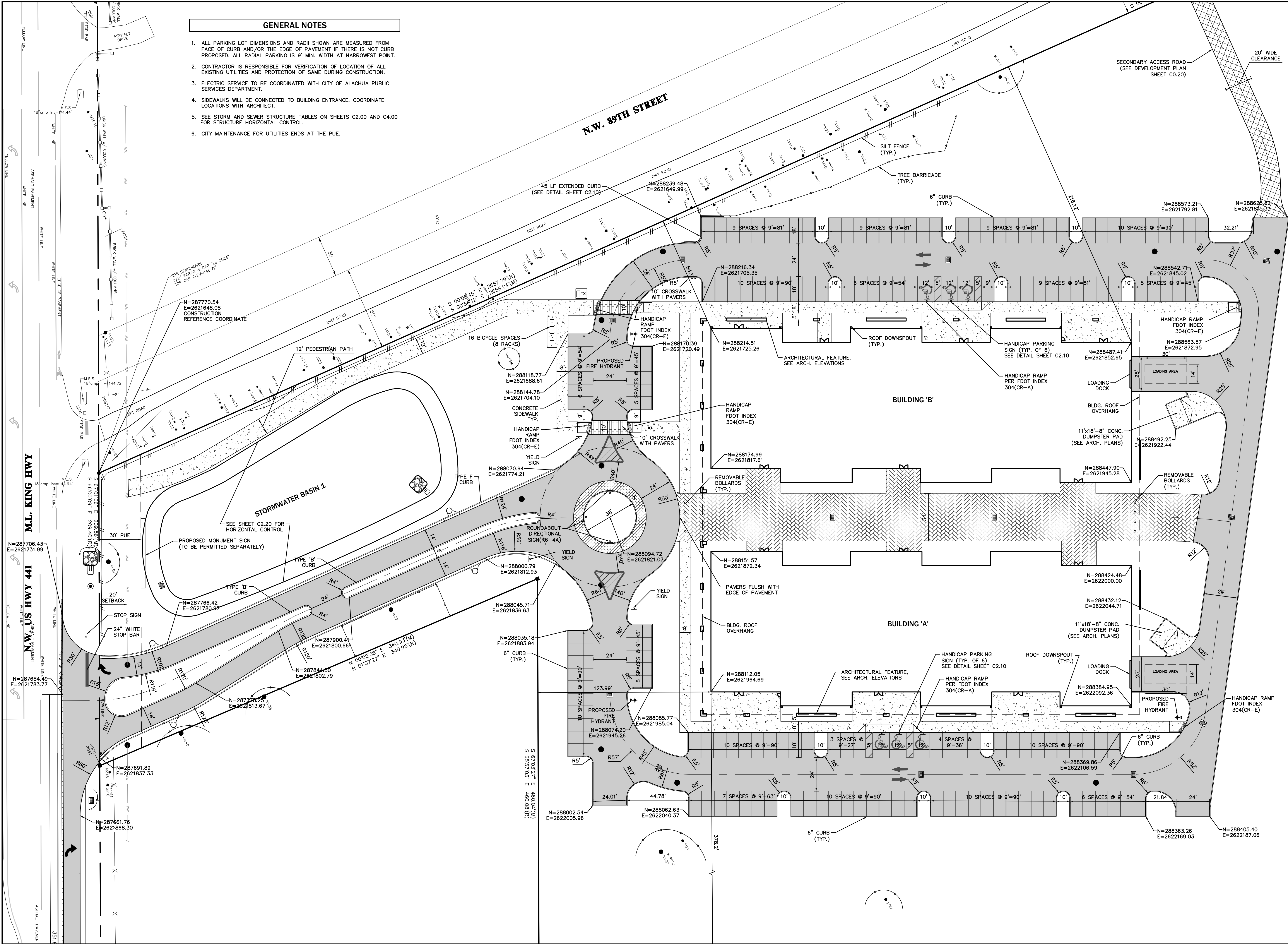
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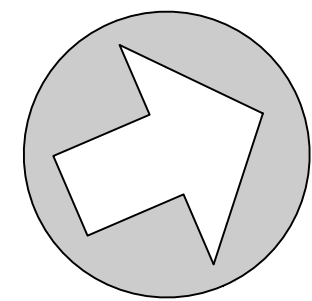
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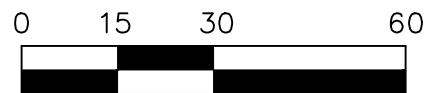


- GENERAL NOTES**
1. ALL PARKING LOT DIMENSIONS AND RADII SHOWN ARE MEASURED FROM FACE OF CURB AND/OR THE EDGE OF PAVEMENT IF THERE IS NOT CURB PROPOSED. ALL RADIAL PARKING IS 9' MIN. WIDTH AT NARROWEST POINT.
 2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL EXISTING UTILITIES AND PROTECTION OF SAME DURING CONSTRUCTION.
 3. ELECTRIC SERVICE TO BE COORDINATED WITH CITY OF ALACHUA PUBLIC SERVICES DEPARTMENT.
 4. SIDEWALKS WILL BE CONNECTED TO BUILDING ENTRANCE. COORDINATE LOCATIONS WITH ARCHITECT.
 5. SEE STORM AND SEWER STRUCTURE TABLES ON SHEETS C2.00 AND C4.00 FOR STRUCTURE HORIZONTAL CONTROL.
 6. CITY MAINTENANCE FOR UTILITIES ENDS AT THE P.U.E.



NORTH

SCALE: 1"= 30'



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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023

Project phase:

CITY SUBMITTAL

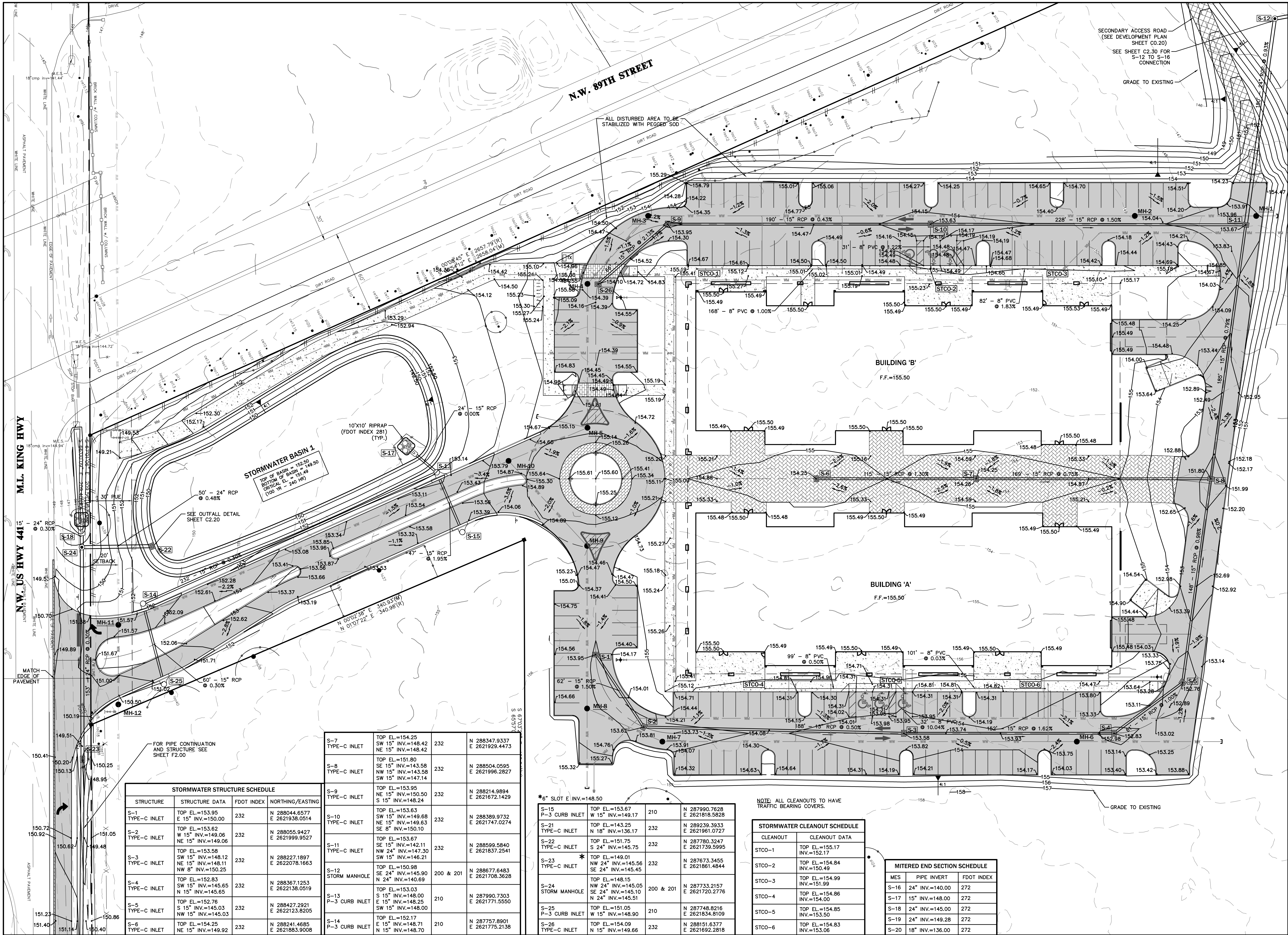
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**SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA**

Sheet title:

DIMENSION PLAN

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| STORMWATER STRUCTURE SCHEDULE | | | |
|-------------------------------|---|------------|---------------------------------|
| STRUCTURE | STRUCTURE DATA | FDOT INDEX | NORTHING/EASTING |
| S-1 TYPE-C INLET | TOP EL.=153.95 E 15" INV.=150.00 | 232 | N 288044.6577 E 2621938.0514 |
| S-2 TYPE-C INLET | TOP EL.=153.62 W 15" INV.=149.06 NE 15" INV.=149.06 | 232 | N 288055.9427 E 2621999.9527 |
| S-3 TYPE-C INLET | TOP EL.=153.58 SW 15" INV.=148.12 NE 15" INV.=148.11 NW 8" INV.=150.25 | 232 | N 288227.1897 E 2622078.1663 |
| S-4 TYPE-C INLET | TOP EL.=152.83 SW 15" INV.=145.65 N 15" INV.=145.65 | 232 | N 288367.1253 E 2622138.0519 |
| S-5 TYPE-C INLET | TOP EL.=152.76 S 15" INV.=145.03 NW 15" INV.=145.03 | 232 | N 288427.2921 E 2622123.8205 |
| S-6 TYPE-C INLET | TOP EL.=154.25 NE 15" INV.=149.92 | 232 | N 288241.4685 E 2621883.9008 |

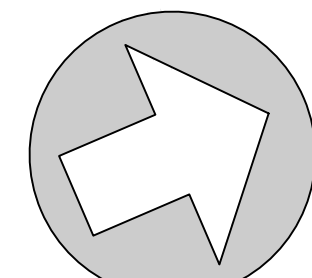
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| S-7 TYPE-C INLET | TOP EL.=154.25 SW 15" INV.=148.42 NE 15" INV.=148.42 | 232 | N 288347.9337 E 2621929.4473 |
| S-8 TYPE-C INLET | TOP EL.=151.80 SE 15" INV.=143.58 NW 15" INV.=143.58 SW 15" INV.=147.14 | 232 | N 288504.0595 E 2621996.2827 |
| S-9 TYPE-C INLET | TOP EL.=153.95 NE 15" INV.=150.50 S 15" INV.=148.24 | 232 | N 288214.9894 E 2621672.1429 |
| S-10 TYPE-C INLET | TOP EL.=153.63 SW 15" INV.=149.68 NE 15" INV.=149.63 SE 8" INV.=150.10 | 232 | N 288389.9732 E 2621747.0274 |
| S-11 TYPE-C INLET | TOP EL.=153.67 SE 15" INV.=142.11 NW 24" INV.=147.30 SW 15" INV.=146.21 | 232 | N 288599.5840 E 2621837.2541 |
| S-12 STORM MANHOLE | TOP EL.=150.98 SE 24" INV.=145.90 N 24" INV.=140.69 | 200 & 201 | N 288677.6483 E 2621708.3628 |
| S-13 P-3 CURB INLET | TOP EL.=153.03 S 15" INV.=148.05 E 15" INV.=148.25 SW 15" INV.=148.00 | 210 | N 287990.7303 E 2621771.5550 |
| S-14 P-3 CURB INLET | TOP EL.=152.17 E 15" INV.=148.71 N 15" INV.=148.70 | 210 | N 287757.8901 E 2621775.2138 |

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| S-15 P-3 CURB INLET | TOP EL.=153.67 W 15" INV.=149.17 | 210 | N 287990.7628 E 2621818.5828 |
| S-21 TYPE-C INLET | TOP EL.=143.25 N 18" INV.=136.17 | 232 | N 289239.3933 E 2621961.0727 |
| S-22 TYPE-C INLET | TOP EL.=151.75 S 24" INV.=145.75 | 232 | N 287780.3247 E 2621739.5995 |
| S-23 TYPE-C INLET | TOP EL.=149.01 NW 24" INV.=145.56 SE 24" INV.=145.45 | 232 | N 287673.3455 E 2621861.4844 |
| S-24 STORM MANHOLE | TOP EL.=148.15 S 15" INV.=145.05 SE 24" INV.=145.05 N 24" INV.=145.51 | 200 & 201 | N 287733.2157 E 2621720.2776 |
| S-25 P-3 CURB INLET | TOP EL.=151.05 W 15" INV.=148.90 | 210 | N 287748.8216 E 2621834.8109 |
| S-26 TYPE-C INLET | TOP EL.=154.09 N 15" INV.=149.66 | 232 | N 288151.6377 E 2621692.2818 |

NOTE: ALL CLEANOUTS TO HAVE TRAFFIC BEARING COVERS.

| STORMWATER CLEANOUT SCHEDULE | |
|------------------------------|-------------------------------|
| CLEANOUT | CLEANOUT DATA |
| STCO-1 | TOP EL.=155.17 INV.=152.17 |
| STCO-2 | TOP EL.=154.84 INV.=150.49 |
| STCO-3 | TOP EL.=154.99 INV.=151.99 |
| STCO-4 | TOP EL.=154.86 INV.=154.00 |
| STCO-5 | TOP EL.=154.85 INV.=153.50 |
| STCO-6 | TOP EL.=154.83 INV.=153.06 |

| MITERED END SECTION SCHEDULE | | |
|------------------------------|-----------------|------------|
| MES | PIPE INVERT | FDOT INDEX |
| S-16 | 24" INV.=140.00 | 272 |
| S-17 | 15" INV.=148.00 | 272 |
| S-18 | 24" INV.=145.00 | 272 |
| S-19 | 24" INV.=149.28 | 272 |
| S-20 | 18" INV.=136.00 | 272 |



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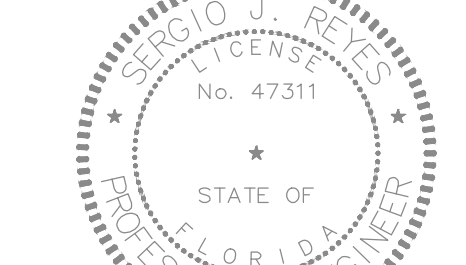
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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023

Project phase: CITY SUBMITTAL

Project title: SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA

Sheet title: PAVING, GRADING AND
DRAINAGE PLAN

Designed: SJR

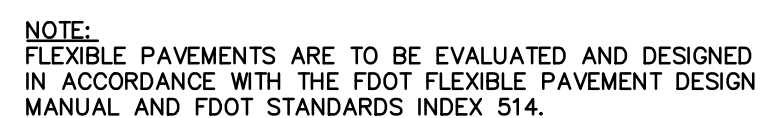
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TYPICAL ON-SITE ASPHALT PAVEMENT DETAIL



1. SIGN TO BE MADE OF 0.063" STEEL PAINTED WITH TRAFFIC PAINT
2. HANDICAP SIGN TO BE AS SHOWN ABOVE OR AS REQUIRED BY
LOCAL CODE PAINT SIGN BLUE AND WHITE

HANDICAP PARKING SIGN DETAIL



NTS



N.T.S

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

1. **GENERAL:** ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.O.D.T. STANDARD SPECIFICATIONS FOR ROADWAY AND DRAINAGE CONSTRUCTION, AND THE LATEST F.O.D.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6" MAXIMUM LOOSE LIFT CONTRACTOR TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
 - C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
 - D. D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 8" MAXIMUM COMPACTED LIFT. CONTRACTOR SHALL FURNISH ALL FILL MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-PG 67-22 ASPHALT BINDER. NO RAP (RECLAIMED ASPHALT PAVEMENT) MATERIAL IS ALLOWED TO BE USED IN ASPHALT MIX.
4. ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, AND CURBING SHALL BE CLASS I CONFORMING TO SECTION 346.
5. REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 430.
6. ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
7. ALL PAVEMENT MARKING, SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.O.D.T. AND M.U.L.T.C.D. STANDARDS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT Delineating RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAINS. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAINS. UNIT PRICE SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
9. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE. IN ACCORDANCE WITH THE DESIGN SECTION, A MINIMUM OF 10 TEST LOCATIONS SHALL BE PROVIDED ONSITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TESTING PROCEDURE. SOILS UNTIL TESTING -RESULTS ARE APPROVED FOR PREVIOUS SECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING COST.
10. LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.
11. ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS SPECIFIED. THE CONTRACTOR SHALL PROVIDE A GUTTER COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
12. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE PROTECTED FROM CONSTRUCTION DEBRIS WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF pH 5.5-6.5.
13. TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET C0.20 AND THE DETAIL ON THE LANDSCAPE PLAN.
14. STATE RIGHT-OF-WAY
 - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
 - B. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE CITY AND STATE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-5070), AND FDOT RESPECTIVELY, AND THE CONTRACTOR/DEVELOPER SHALL FURNISH EACH DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
15. OWNER IS RESPONSIBLE TO MAINTAIN STORMWATER STRUCTURES. ENGINEER TO COORDINATE WITH FDOT AS REQUIRED FOR STORMWATER MANAGEMENT.



N.T.S.



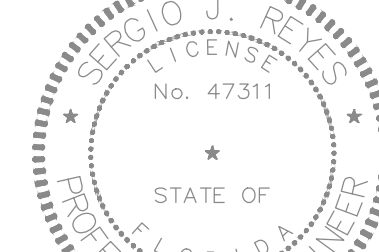
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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18 022

Project phase:

CITY SUBMITTAL

Project title:

SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA

Sheet title:

PAVING, GRADING AND
DRAINAGE DETAILS AND NOTES

Designed:

Sheet No.

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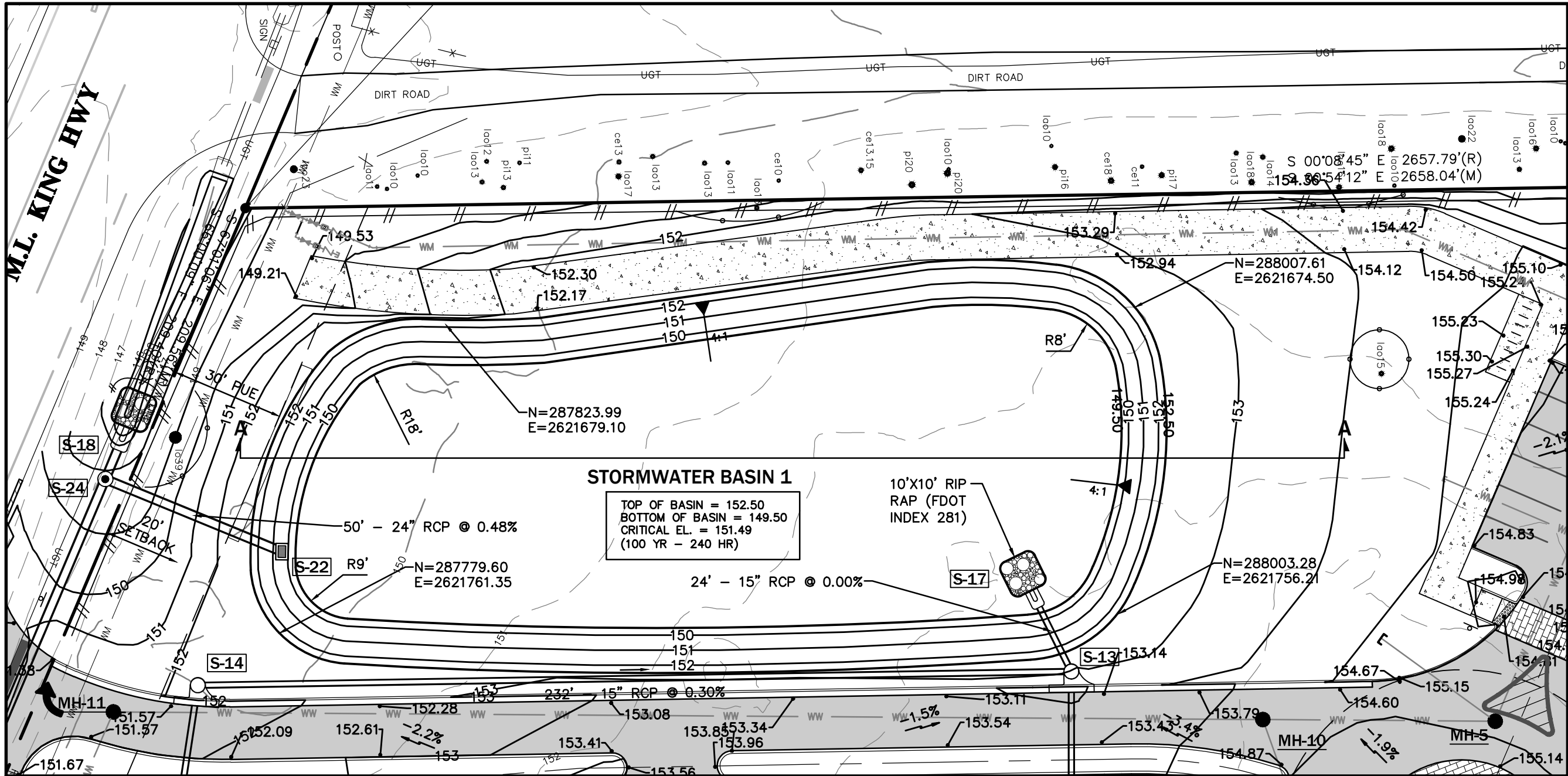
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| MITERED END SECTION SCHEDULE | | |
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| MES | PIPE INVERT | FDOT INDEX |
| S-16 | 24" INV.=140.00 | 272 |
| S-17 | 15" INV.=148.00 | 272 |
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| S-20 | 18" INV.=136.00 | 272 |

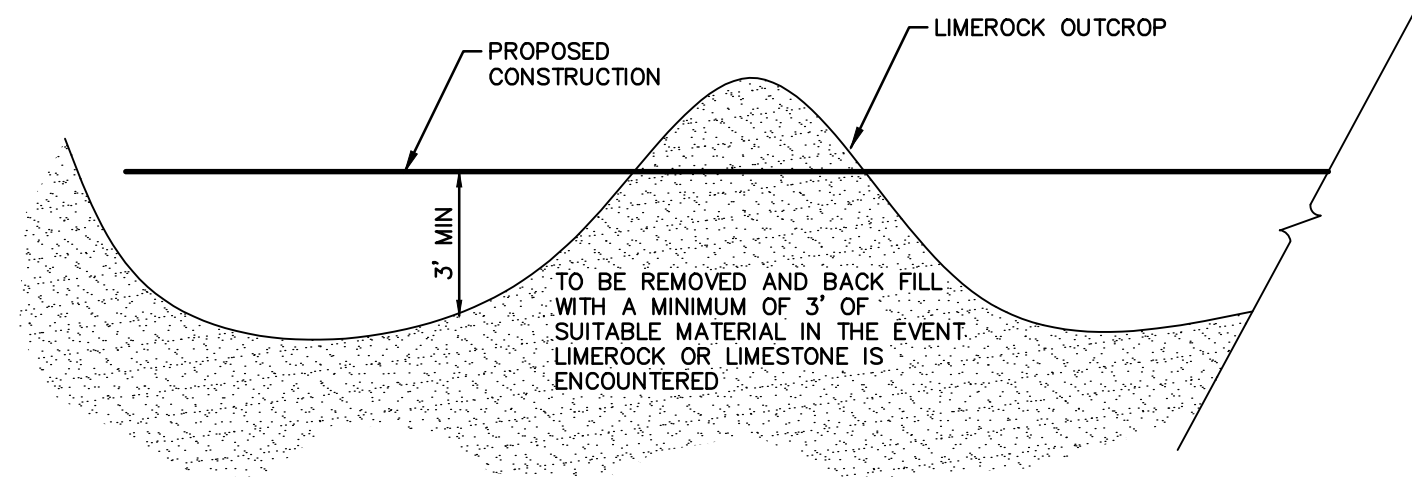
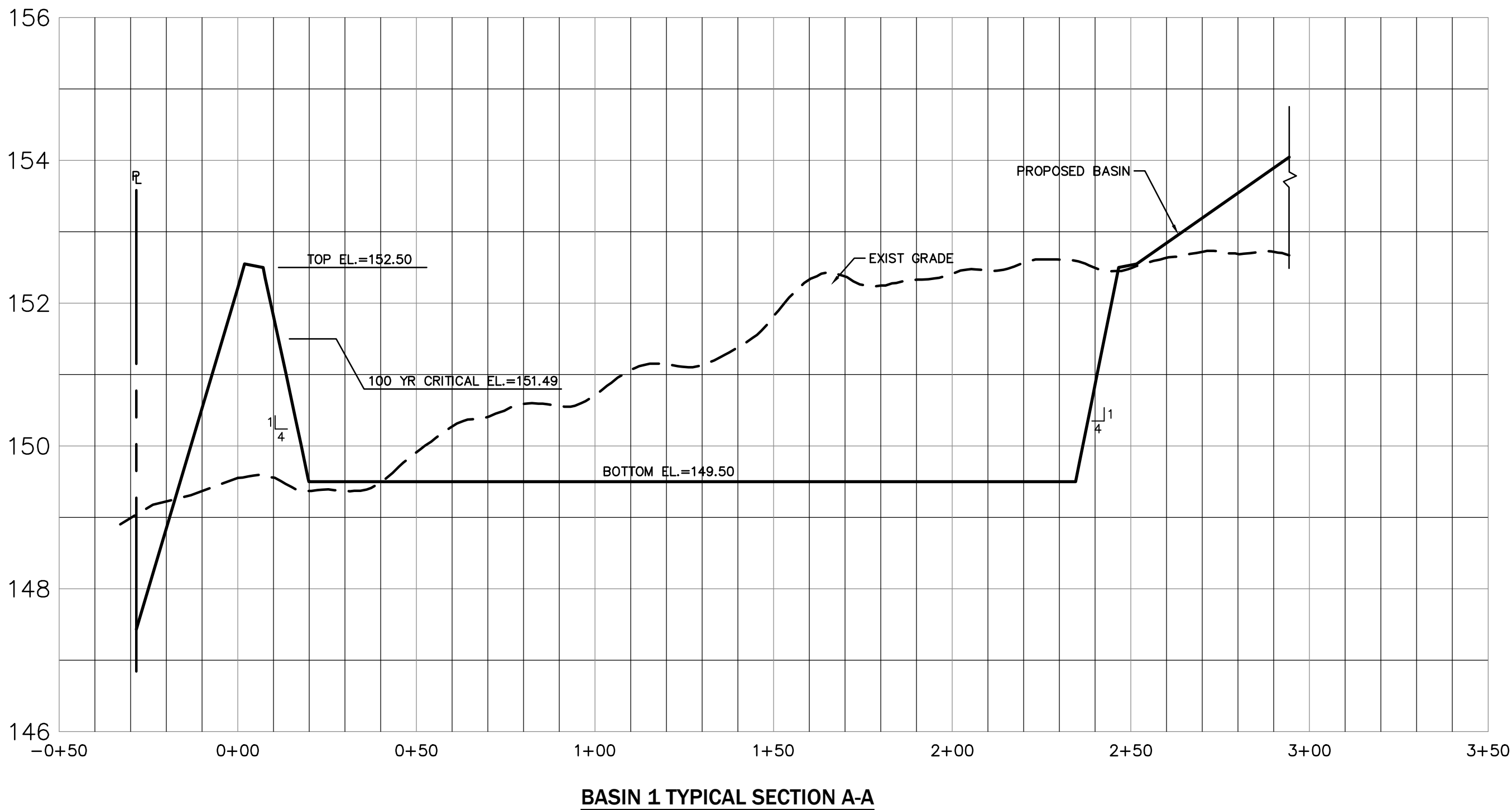
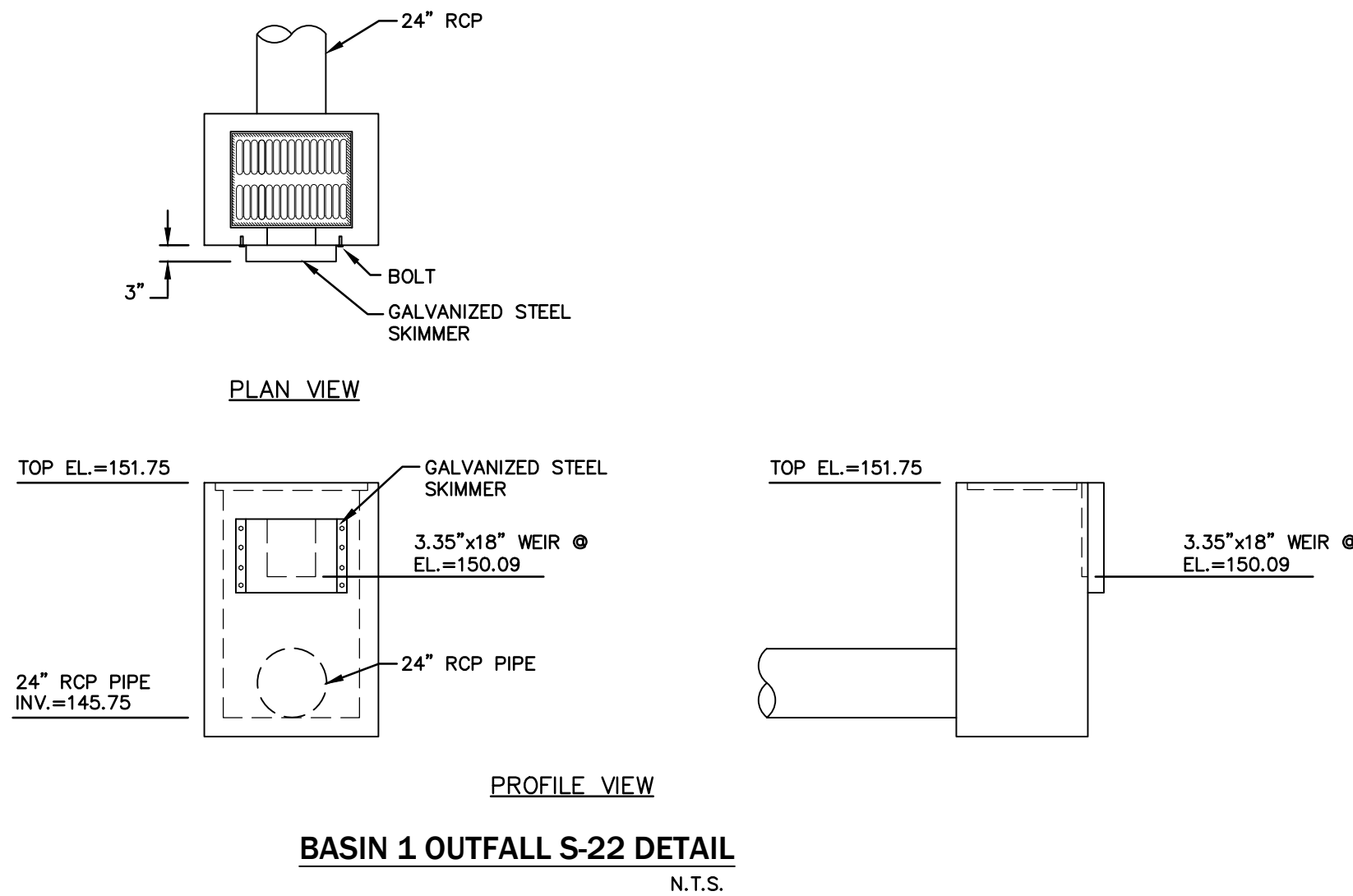
MAINTENANCE NOTES

1. **MAINTENANCE RESPONSIBILITY.**
THE LASER INVESTMENT GROUP, LLC WILL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM.
2. **MAINTENANCE PLAN:**
 - A. BASINS SHALL BE MOWED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH. MOWING SCHEDULE SHOULD BE MONTHLY DURING WINTER MONTHS AND MORE FREQUENTLY (BIWEEKLY) DURING SUMMER MONTHS.
 - B. BASIN SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPED CLEAN MORE OFTEN AS THE CONDITION DICTATES.
 - C. BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET).
 - D. BASIN THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.
 - E. THE REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES. ANY DEAD LANDSCAPING MATERIALS SHALL BE REPLACED IMMEDIATELY TO ASSURE PUBLIC SAFETY.

ENGINEER'S CERTIFICATION

1. **ENGINEER'S CERTIFICATION:**
I HEREBY CERTIFY THAT THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM FOR THE PROJECT KNOWN AS "SAN FELASCO TECH CITY" MEETS ALL THE REQUIREMENTS AND HAS BEEN DESIGNED SUBSTANTIALLY IN ACCORDANCE WITH THE CITY OF ALACHUA STORMWATER MANAGEMENT ORDINANCE.

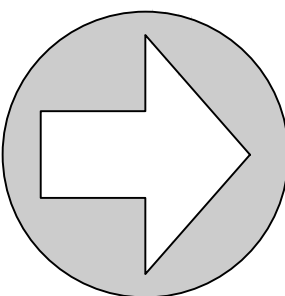
SERGIO REYES, P.E.



NOTES:

1. IF LIMESTONE OR LIMEROCK OUTCROP IS ENCOUNTERED DURING CONSTRUCTION OF THE BASIN, THE AREA WILL BE OVER-EXCAVATED A MINIMUM OF THREE FEET AND BACKFILLED WITH SUITABLE SOILS TO MEET THE SENSITIVE KARST AREA REQUIREMENTS.
2. IN THE EVENT A SINKHOLE, CAVITIES OR CHIMNEYS DEVELOPS WITHIN THE STORMWATER BASIN, THE FOLLOWING TREATMENT SHALL BE PERFORMED: THE OWNER SHALL NOTIFY SUWANNEE RIVER WATER MANAGEMENT DISTRICT PRIOR TO REMEDIAL ACTION UNLESS POSTPONING THE REPAIR ACTIVITY REPRESENTS AN ENDANGERMENT TO PUBLIC SAFETY. THE SINKHOLE SHALL BE BACKFILLED WITH A SANDY CLAY MIXTURE. THE SANDY CLAY SHALL BE PLACED IN SIX INCH LIFTS WITHIN THE FINAL THREE FEET OF FILL AND ROLLED WITH A HEAVILY LOADED RUBBER TIRE EQUIPMENT. SHOULD SINKHOLE ACTIVITY CONTINUE REPEATEDLY WITHIN A CONFINED AREA, THE OWNER SHALL CONSULT A GEOTECHNICAL ENGINEER TO DETERMINE WHETHER ANY ALTERNATIVE REMEDIAL MEASURES ARE REQUIRED.

LIMEROCK OUTCROP REMOVAL DETAIL
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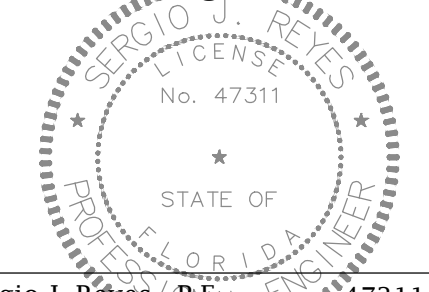
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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023

Project phase:

CITY SUBMITTAL

Project title:

**SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA**

Sheet title:

BASIN 1 DETAIL

Designed: SJR

Drawn: MAB

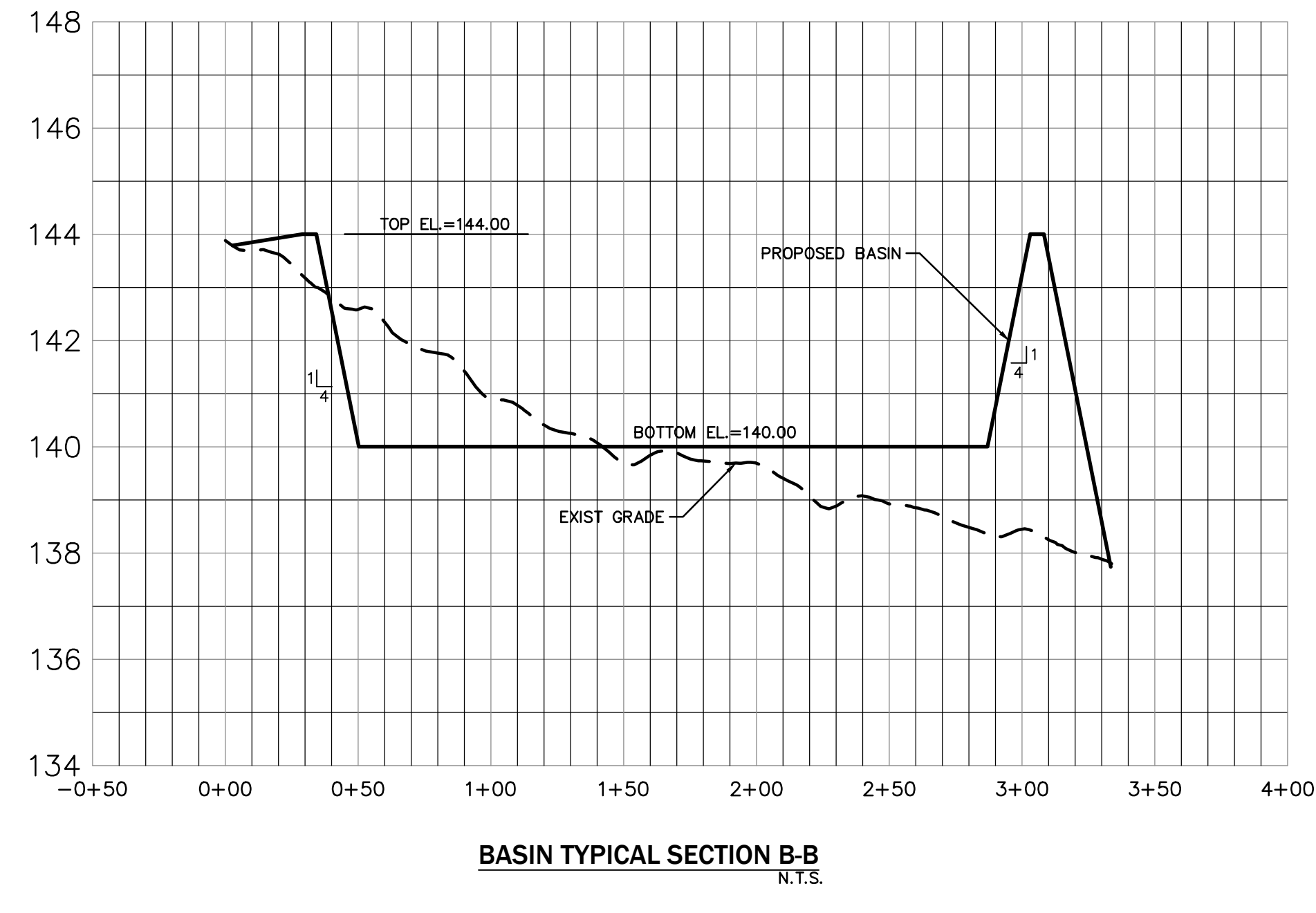
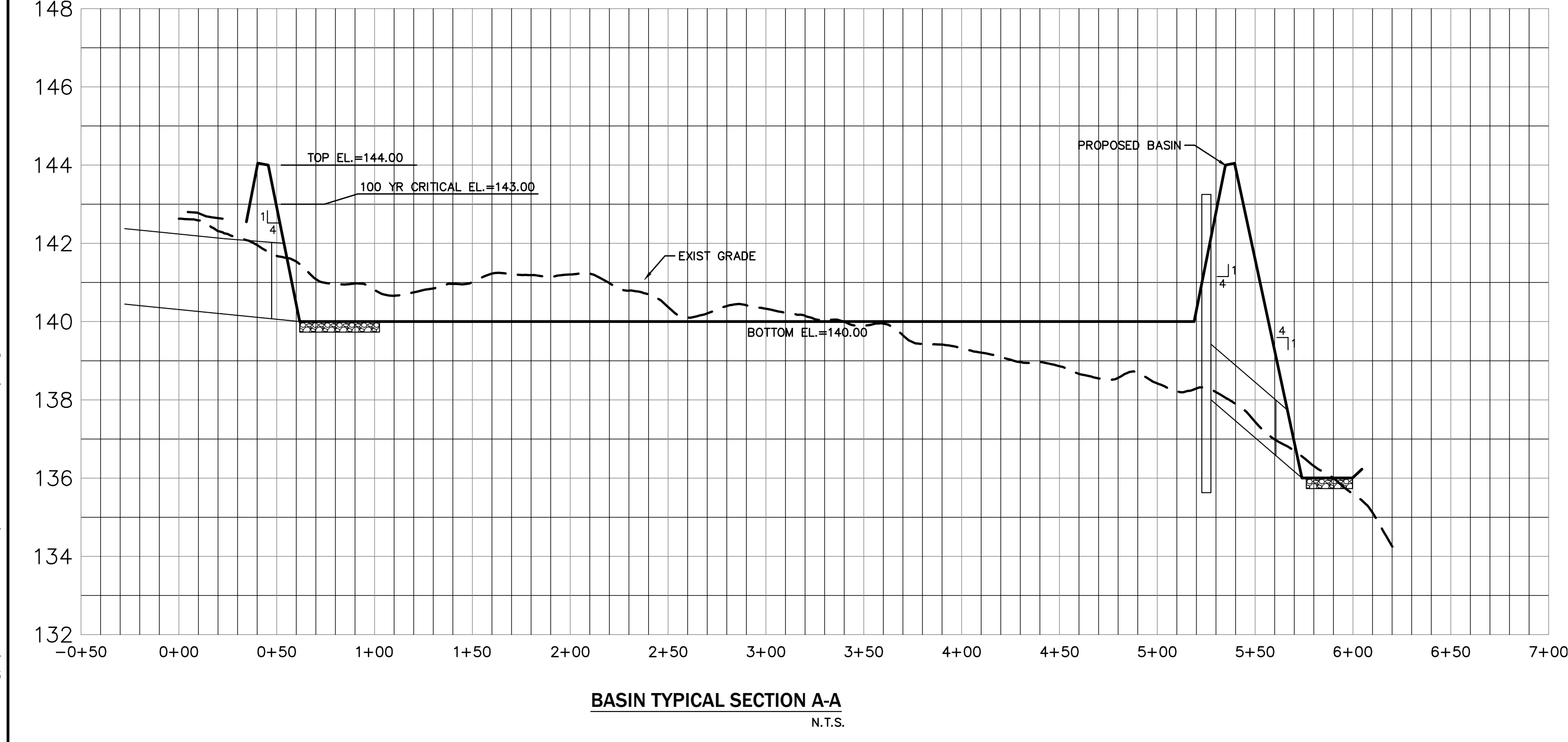
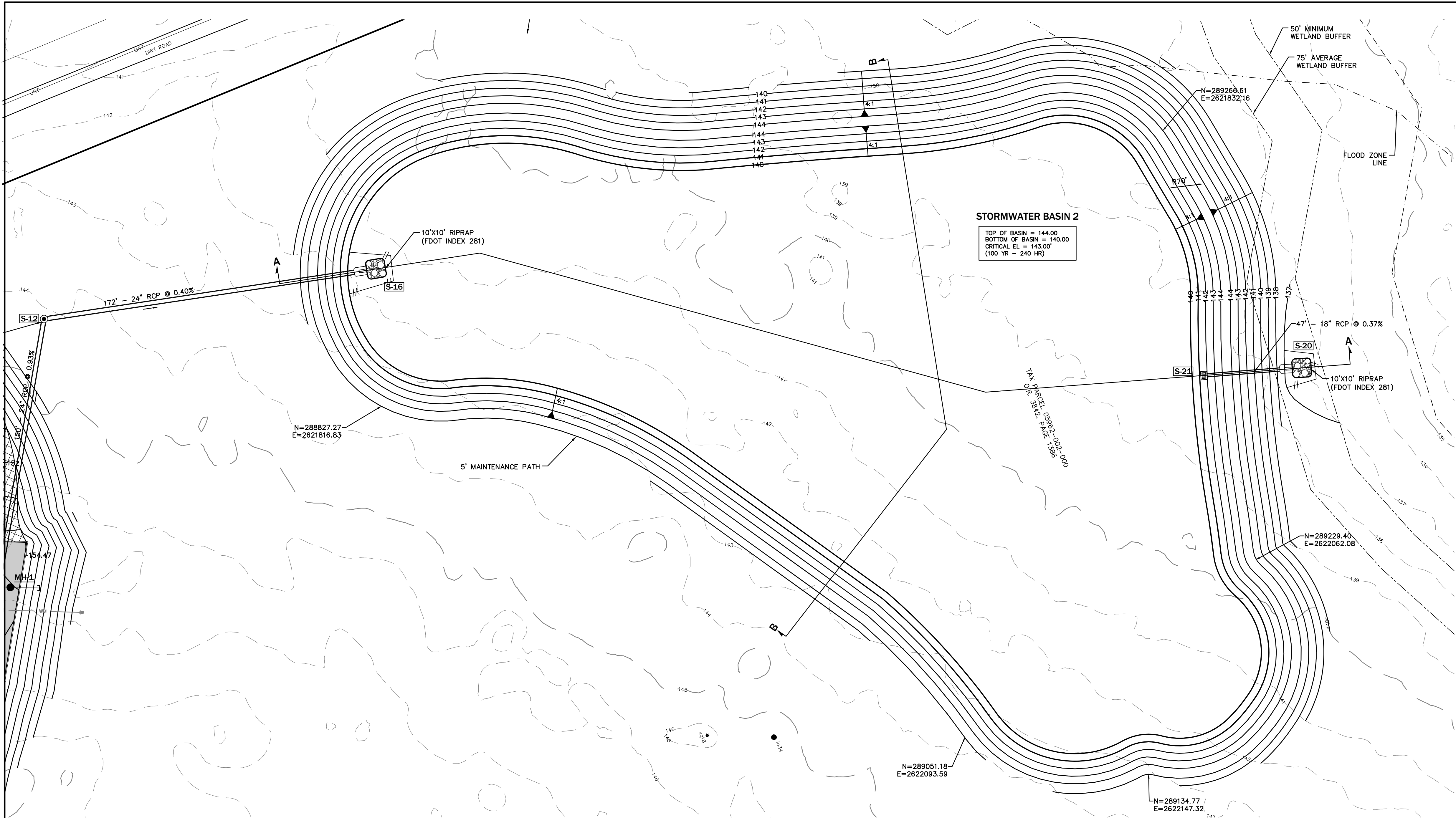
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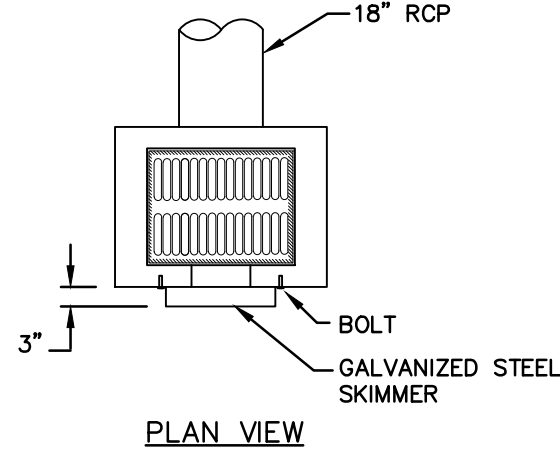
MAINTENANCE NOTES

- MAINTENANCE RESPONSIBILITY.**
THE LASER INVESTMENT GROUP, LLC WILL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE PROPOSED STORMWATER MANAGEMENT SYSTEM.
- MAINTENANCE PLAN.**
 - BASINS SHALL BE MOWED REGULARLY TO AVOID EXCESSIVE VEGETATIVE GROWTH. MOWING SCHEDULE SHOULD BE MONTHLY DURING WINTER MONTHS AND MORE FREQUENTLY (BIWEEKLY) DURING SUMMER MONTHS.
 - BASIN SHALL BE CLEANED OUT ANNUALLY OF ANY ACCUMULATED SEDIMENTATION BUILDUP. IF THE BASINS ARE SHOWING EXCESSIVE SEDIMENTATION ACCUMULATION AT THE BASIN BOTTOM, THE BASIN BOTTOM SHALL BE SCRAPPED CLEAN MORE OFTEN AS THE CONDITION DICTATES.
 - BASIN SIDE SLOPES SHALL BE MAINTAINED WITH A GOOD STAND OF GRASS. SEASONAL GRASSES SHALL BE PLANTED TO AVOID EROSION (WINTER RYE, SUMMER MILLET).
 - BASIN THAT DO NOT DRAWDOWN PROPERLY AND MAINTAIN STANDING WATER FOR AN EXTENDED PERIOD OF TIME MAY REQUIRE REMEDIAL ACTION. THE ENGINEER SHALL BE NOTIFIED TO HELP COORDINATE REMEDIAL ACTION IN THE EVENT THIS OCCURS.
 - THE REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES. ANY DEAD LANDSCAPING MATERIALS SHALL BE REPLACED IMMEDIATELY TO ASSURE PUBLIC SAFETY.

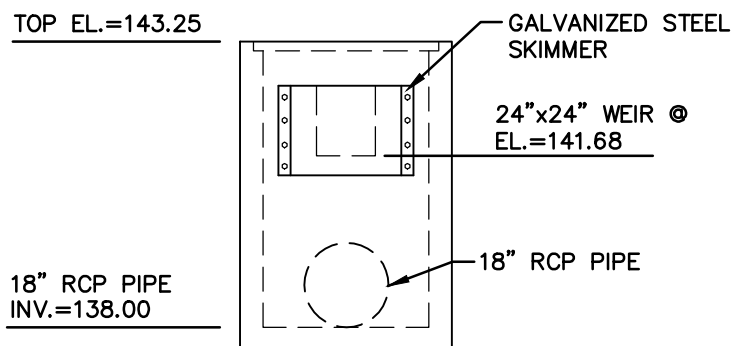
ENGINEER'S CERTIFICATION

- ENGINEER'S CERTIFICATION.**
I HEREBY CERTIFY THAT THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM FOR THE PROJECT KNOWN AS "SAN FELASCO TECH CITY" MEETS ALL THE REQUIREMENTS AND HAS BEEN DESIGNED SUBSTANTIALLY IN ACCORDANCE WITH THE CITY OF ALACHUA STORMWATER MANAGEMENT ORDINANCE.

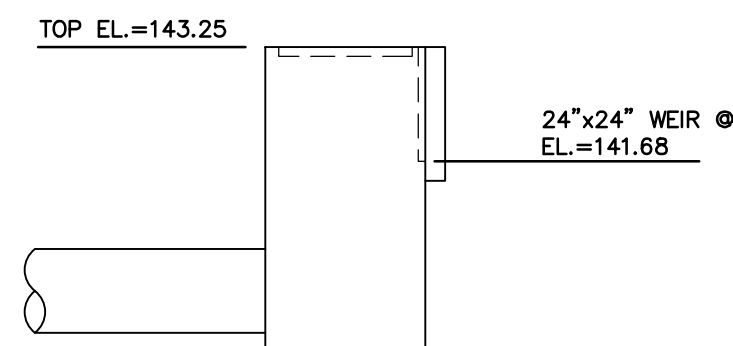
SERGIO REYES, P.E.



PLAN VIEW



FRONT VIEW

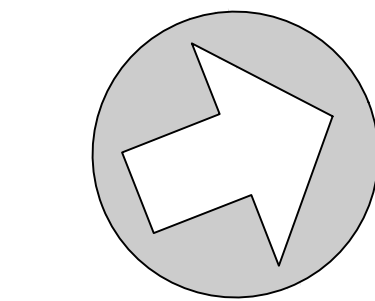


PROFILE VIEW

BASIN 2 OUTFALL S-21 DETAIL

N.T.S.

| MITERED END SECTION SCHEDULE | | |
|------------------------------|-----------------|------------|
| MES | PIPE INVERT | FDOT INDEX |
| S-16 | 24" INV.=140.00 | 272 |
| S-17 | 15" INV.=148.00 | 272 |
| S-18 | 24" INV.=145.00 | 272 |
| S-19 | 24" INV.=149.28 | 272 |
| S-20 | 18" INV.=136.00 | 272 |



NORTH

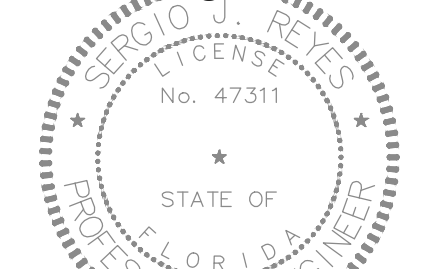
SCALE: 1"= 30'



GRAPHIC SCALE

| No. | Date | Comment |
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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023

Project phase: CITY SUBMITTAL

Project title: SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA

Sheet title:

BASIN 2 DETAIL

Designed: SJR

Drawn: MAB

Checked: TAR

Date: 06/25/18

Sheet No.:

C2.30

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT NO. 62-621.300 (4) (A) FDEP FORM 62-261.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

I. PROJECT INFORMATION:

PROJECT: SAN FELASCO TECH CITY
COUNTY: ALACHUA FLORIDA
SECTION/TOWNSHIP/RANGE: S 20, T 08 SOUTH, R19 EAST
COUNTY PARCEL NO.:05962-002-000
LATITUDE AND LONGITUDE: 29°26'42" N, 86°26'22" W
STREET ADDRESS:12000 BLOCK OF NW US HWY 441
PROJECT AREA:2,414,997 S.F.
APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION:
55.44 AC.

II. SITE DESCRIPTION:

1. THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF TWO 30,100 SF BUILDINGS WITH ASSOCIATED PAVING, DRAINAGE AND UTILITY IMPROVEMENTS.
2. THE SOIL CONDITIONS WERE INVESTIGATED AND SUMMARIZED IN THE SOILS REPORT PREPARED BY UNIVERSAL ENGINEERING SCIENCES. THE PROPOSED DRAINAGE PLAN WILL CONSIST OF 3 DRAINAGE AREAS. AREA (1): 3.46 ACRES OF RUNOFF WILL BE ATTENUATED BY BASIN NO. (1) WHICH DISCHARGES INTO THE EXISTING STORMWATER SYSTEM ALONG THE RIGHT-OF-WAY OF US HWY 441. AREA (2): 20.07 ACRES OF RUNOFF WILL BE ATTENUATED BY BASIN NO. (2) WHICH DISCHARGES INTO THE EXISTING WETLAND AT THE NORTHERN END OF THE PROJECT SITE. AREA (3): 16.38 ACRES OF RUNOFF WILL SHEET FLOW INTO THE EXISTING WETLAND AS IN EXISTING CONDITIONS.
3. EXISTING AND FUTURE DRAINAGE PATTERNS ARE SHOWN ON THE DRAINAGE PLAN FOR PRE-DEVELOPMENT CONDITIONS AND POST-DEVELOPMENT CONDITIONS, OUTFALLS, AND STORMWATER BASINS ARE SHOWN IN THE DRAINAGE PLAN AND THE DETAIL PLAN.
4. SEQUENCE OF CONSTRUCTION:
 - A. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
 - B. THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.
 - C. THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.
 - D. THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.
 - E. THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. ON ROADWAYS SHALL BE GRADED. (THE BASIN AREA SHALL BE STABILIZED AS SPECIFIED IN THE PLANS.)
 - F. ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A ULMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.
 - G. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
 - H. STORMWATER BASIN(S) WILL BE SCRAPED CLEAN OF ACCUMULATED SEDIMENT.
 - I. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

III. CONTROLS:

THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.

1. THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
2. TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.
3. BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
4. AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
5. ALL BASIN AREA SHALL BE PROTECTED AS INDICATED ON THE PLANS.
6. THE STORMWATER BASINS SHALL BE ROUGH GRADED TO WITHIN 6" OF THE DESIGNED BASIN BOTTOM. THE BASIN SIDE SLOPES SHALL BE STABILIZED AS SHOWN IN THE PLANS BY SEEDING, MULCHING AND/OR SODDING TO PREVENT EXCESSIVE EROSION.
7. DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
8. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

IV. EROSION AND SEDIMENTATION CONTROLS:

STABILIZATION PRACTICES

1. ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).
2. TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.
3. MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSTALLED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
4. SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDED AREAS SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
5. SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE PEGGED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

SEDIMENTATION PRACTICES

1. SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.
2. DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
3. INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
4. OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

V. STORMWATER MANAGEMENT:

1. THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM (AS SHOWN ON THE PLANS) INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 400-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER AND/OR AN ENTITY SIMILAR TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.
2. TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT REQUIRES THE INSTALLATION AND CONSTRUCTION OF THE FOLLOWING BMP'S: 2 DRY RETENTION BASINS WITH ALL GRADING ASSOCIATED WITH THE CONSTRUCTION. THE BASIN SYSTEM HAS BEEN DESIGNED TO CONTAIN AND ATTENUATE THE STORMS AND DISCHARGE AT PRE-DEVELOPMENT CONDITIONS, WHILE PROVIDING TREATMENT TO THE RUNOFF AS REQUIRED BY THE DISTRICT AND STATE RULES USING THE GUIDELINES CONTAINED IN THE SRWMD HANDBOOK.
3. AREA 1 WILL HAVE A DRY RETENTION BASIN THAT DISCHARGES TO THE EXISTING STORMWATER SYSTEM ALONG THE RIGHT-OF-WAY OF US HWY 441. AREA 2 WILL HAVE A DRY RETENTION BASIN THAT DISCHARGES TO THE EXISTING WETLAND.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS:

1. WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
2. THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.
3. THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.
4. ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.
5. ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

VII. APPROVED STATE OR LOCAL PLANS:

1. ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE SRWMD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).
2. THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

VIII. MAINTENANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULE, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.

IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

1. MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
2. ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST AND THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
3. SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
4. TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
5. SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
6. DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
7. TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
8. MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
9. SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
10. SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
11. INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
12. OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.
13. DRY RETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.
14. WET DETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

IX. INSPECTIONS:

1. THE OWNER AND /OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS, THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN. THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION, ONCE EVERY SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS GREATER THAN 0.50 INCHES. AFTER FINAL STABILIZATION AND BEFORE FINISH OF CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.
2. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
3. ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
4. REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
5. A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-621.300, PART VI.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

X. NON-STORMWATER DISCHARGES:

1. THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
2. DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

XI. CONTRACTORS:

1. ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE AND THE DATE. THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: SAN FELASCO TECH CITY

FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10

OWNER: _____

CONTRACTOR: _____

CONSTRUCTION MANAGER: _____

| Date of Inspection | Location | Rain data | Type of control (see below) | Date installed / modified | Current Condition (see below) | Observations or Corrective Action / Other Remarks | Inspected By |
|--------------------|----------|-----------|-----------------------------|---------------------------|-------------------------------|---|--------------|
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CONDITION CODE:

G = Good M = Marginal, needs maintenance or replacement soon O = Other
C = Needs to be cleaned P = Poor, needs immediate maintenance or replacement

CONTROL TYPE CODES

| | | | |
|-------------------------|---|--------------------------------------|-----------------------------------|
| 1. Silt Fence | 10. Storm drain inlet protection | 19. Reinforced soil retaining system | 28. Tree protection |
| 2. Earth dikes | 11. Vegetative buffer strip | 20. Gabion | 29. Detention pond |
| 3. Structural diversion | 12. Vegetative preservation area | 21. Sediment Basin | 30. Retention pond |
| 4. Swale | 13. Retention Pond | 22. Temporary seed / sod | 31. Waste disposal / housekeeping |
| 5. Sediment Trap | 14. Construction entrance stabilization | 23. Permanent seed / sod | 32. Dam |
| 6. Check dam | 15. Perimeter ditch | 24. Mulch | 33. Sand Bag |
| 7. Subsurface drain | 16. Curb and gutter | 25. Hay Bales | 34. Other |
| 8. Pipe slope drain | 17. Paved road surface | 26. Geotextile | |
| 9. Level spreaders | 18. Rock outlet protection | 27. Rip-rap | |

INSPECTOR INFORMATION:

Name Qualification Date

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

CERTIFICATION STATEMENT

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM: _____

ADDRESS: _____

CITY, STATE, ZIP CODE: _____

TELEPHONE: _____

FAX: _____

PROJECT NAME: SAN FELASCO TECH CITY

PROJECT ADDRESS: 12000 BLOCK OF NW US HWY 441

CITY OF ALACHUA, FLORIDA.

NAME: _____

SIGNATURE: _____

DATE: _____

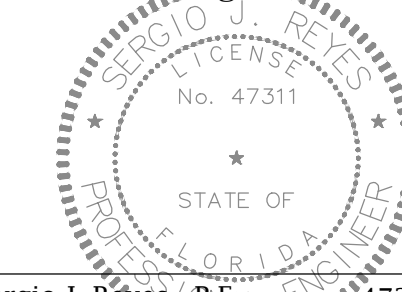


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2404 N.W. 43rd ST, GAINESVILLE, FLORIDA 32606-6602
TEL. (352) 373-3541 FAX. (352) 373-7249
www.edafl.com mail@edafl.com

No. Date Comment

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Professional Engineer of Record:



Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023

Project phase: CITY SUBMITTAL

Project title:

SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA

Sheet title:

STORMWATER POLLUTION
PREVENTION PLAN

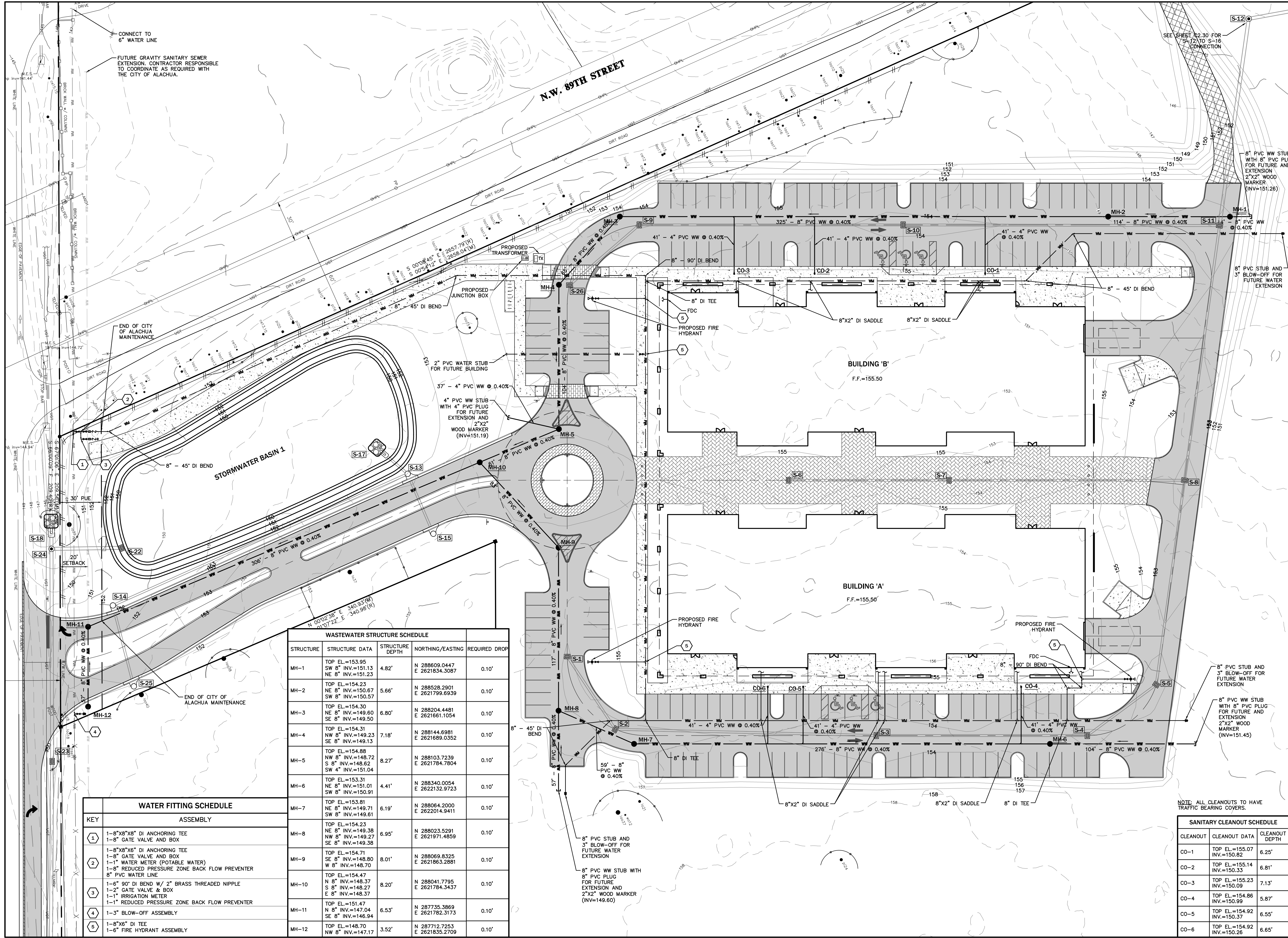
Designed: SJR Sheet No.:

Drawn: MAB

Checked: TAR

Date: 06/25/18

C3.00



CONNECT TO
6" WATER LINE

FUTURE GRAVITY SANITARY SEWER
EXTENSION. CONTRACTOR RESPONSIBLE
TO COORDINATE AS REQUIRED WITH
THE CITY OF ALACHUA.

N.W. 89TH STREET

STORMWATER BASIN 1

BUILDING 'B'
F.F.=155.50

BUILDING 'A'
F.F.=155.50

| WATER FITTING SCHEDULE | |
|------------------------|---|
| KEY | ASSEMBLY |
| 1 | 1-8"x8"x8" DI ANCHORING TEE 1-8" GATE VALVE AND BOX |
| 2 | 1-8"x8"x6" DI ANCHORING TEE 1-8" GATE VALVE AND BOX 1-1" WATER METER (POTABLE WATER) 1-8" REDUCED PRESSURE ZONE BACK FLOW PREVENTER 8" PVC WATER LINE |
| 3 | 1-6" 90° DI BEND W/ 2" BRASS THREADED NIPPLE 1-2" GATE VALVE & BOX 1-1" IRRIGATION METER 1-1" REDUCED PRESSURE ZONE BACK FLOW PREVENTER |
| 4 | 1-3" BLOW-OFF ASSEMBLY |
| 5 | 1-8"x6" DI TEE 1-6" FIRE HYDRANT ASSEMBLY |

| WASTEWATER STRUCTURE SCHEDULE | | | | |
|-------------------------------|---|-----------------|---------------------------------|---------------|
| STRUCTURE | STRUCTURE DATA | STRUCTURE DEPTH | NORTHING/EASTING | REQUIRED DROP |
| MH-1 | TOP EL.=153.95 SW 8" INV.=151.13 NE 8" INV.=151.23 | 4.82' | N 288609.0447 E 2621634.3087 | 0.10' |
| MH-2 | TOP EL.=154.23 NE 8" INV.=150.67 SW 8" INV.=150.57 | 5.66' | N 288528.2901 E 2621799.6939 | 0.10' |
| MH-3 | TOP EL.=154.30 NE 8" INV.=149.60 SE 8" INV.=149.50 | 6.80' | N 288204.4481 E 2621661.1054 | 0.10' |
| MH-4 | TOP EL.=154.31 NW 8" INV.=149.23 SE 8" INV.=149.13 | 7.18' | N 288144.6981 E 2621689.0352 | 0.10' |
| MH-5 | TOP EL.=154.88 NW 8" INV.=148.72 S 8" INV.=148.62 SW 4" INV.=151.04 | 8.27' | N 288103.7239 E 2621784.7804 | 0.10' |
| MH-6 | TOP EL.=153.31 NE 8" INV.=151.01 SW 8" INV.=150.91 | 4.41' | N 288340.0054 E 2622132.9723 | 0.10' |
| MH-7 | TOP EL.=153.81 NE 8" INV.=149.71 SW 8" INV.=149.61 | 6.19' | N 288064.2000 E 2622014.9411 | 0.10' |
| MH-8 | TOP EL.=154.23 NE 8" INV.=149.38 NW 8" INV.=149.27 SE 8" INV.=149.38 | 6.95' | N 288023.5291 E 2621971.4859 | 0.10' |
| MH-9 | TOP EL.=154.71 SE 8" INV.=149.80 W 8" INV.=148.70 | 8.01' | N 288069.8325 E 2621863.2881 | 0.10' |
| MH-10 | TOP EL.=154.47 N 8" INV.=148.37 S 8" INV.=148.27 E 8" INV.=148.37 | 8.20' | N 288041.7795 E 2621784.3437 | 0.10' |
| MH-11 | TOP EL.=151.47 N 8" INV.=147.04 SE 8" INV.=146.94 | 6.53' | N 287735.3869 E 2621782.3173 | 0.10' |
| MH-12 | TOP EL.=148.70 NW 8" INV.=147.17 | 3.52' | N 287712.7253 E 2621835.2709 | 0.10' |

NOTE: ALL CLEANOUTS TO HAVE
TRAFFIC BEARING COVERS.

| SANITARY CLEANOUT SCHEDULE | | |
|----------------------------|-------------------------------|----------------|
| CLEANOUT | CLEANOUT DATA | CLEANOUT DEPTH |
| CO-1 | TOP EL.=155.07 INV.=150.82 | 6.25' |
| CO-2 | TOP EL.=155.14 INV.=150.33 | 6.81' |
| CO-3 | TOP EL.=155.23 INV.=150.09 | 7.13' |
| CO-4 | TOP EL.=154.86 INV.=150.99 | 5.87' |
| CO-5 | TOP EL.=154.92 INV.=150.37 | 6.55' |
| CO-6 | TOP EL.=154.92 INV.=150.26 | 6.65' |

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NORTH
SCALE: 1"= 30'
0 15 30 60
GRAPHIC SCALE

| No. | Date | Comment |
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Professional Engineer of Record:

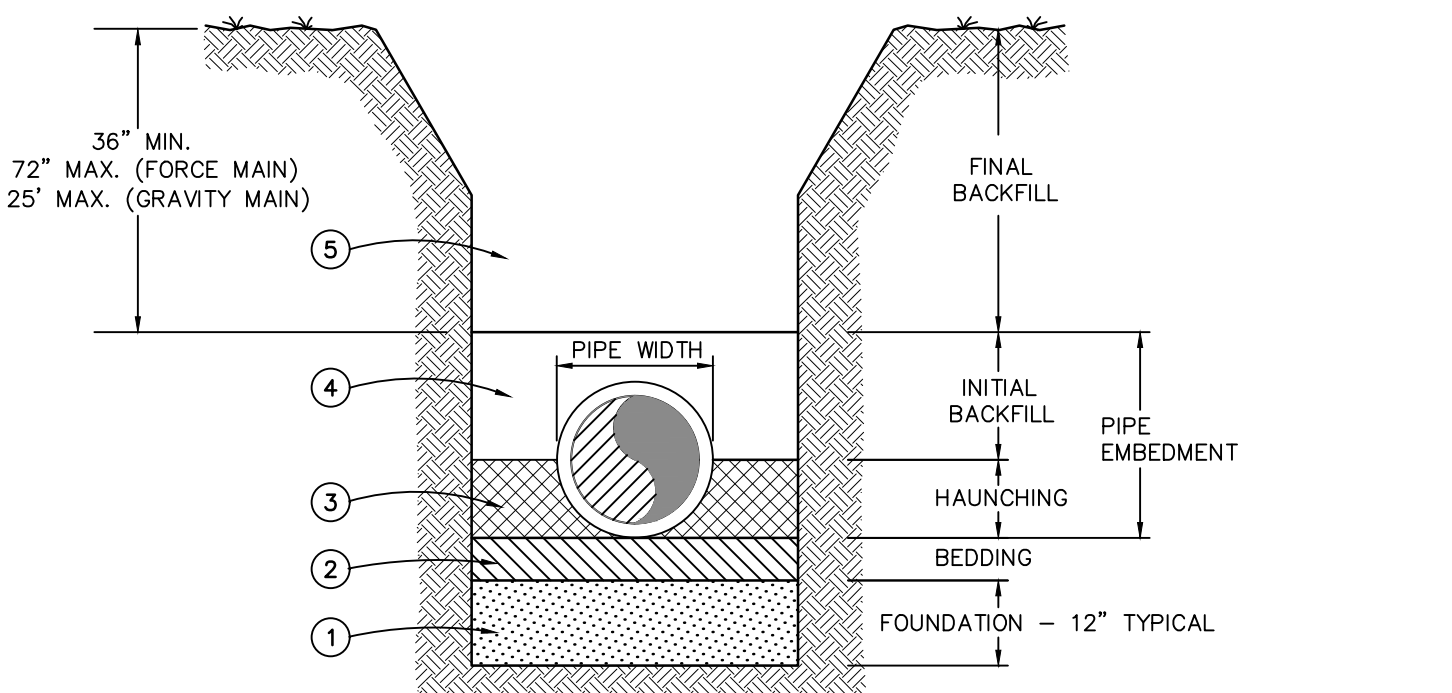
Sergio J. Reyes, P.E. 47311
Engineer Certificate No.

Project No: 18-023
Project phase: CITY SUBMITTAL
Project title:

SAN FELASCO TECH CITY
CITY OF ALACHUA,
FLORIDA

Sheet title: UTILITY PLAN

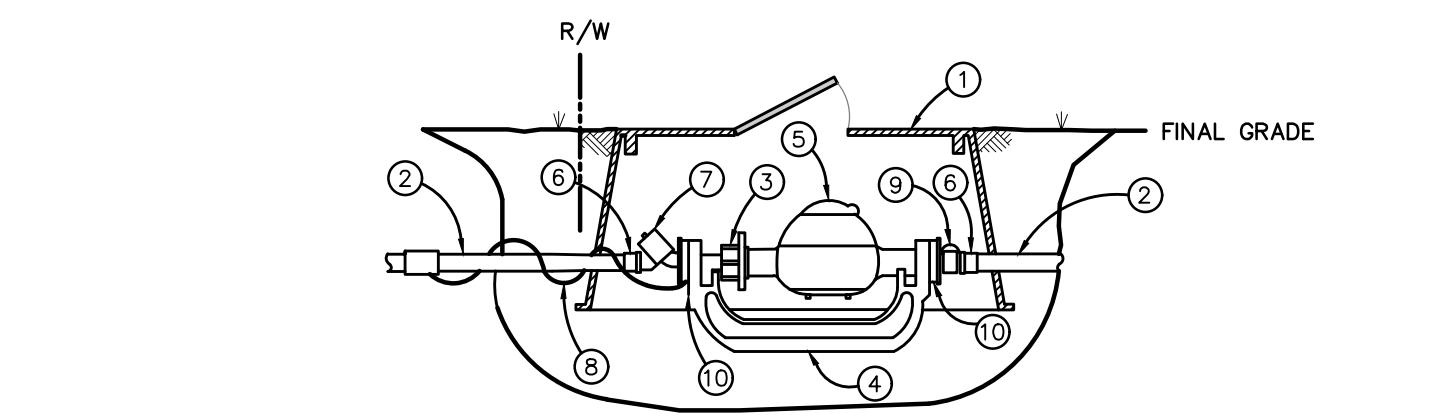
| | |
|----------------|--------------|
| Designed: SJR | Sheet No.: |
| Drawn: MAB | C4.00 |
| Checked: TAR | |
| Date: 06/25/18 | |



NOTES:

- A FOUNDATION MAY BE REQUIRED IN VERY POOR SOIL CONDITIONS. FIELD DETERMINATION WILL BE PROVIDED BY INSPECTOR. TYPICAL FOUNDATION THICKNESS SHALL BE 12", BUT MAY VARY ACCORDING TO NATURAL MATERIAL.
- BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE. IN DRY SOIL CONDITIONS CLASS II OR CLASS III MATERIAL SHALL BE HAND PLACED 4" TO 6", LIGHTLY COMPACTED, UNIFORM AND NOT FINER THAN THE FOUNDATION MATERIAL. IN WET SOIL CONDITIONS CLASS I, CLASS II OR CLASS III SHALL BE HAND PLACED 4" TO 6", UNIFORM AND NOT FINER THAN THE FOUNDATION MATERIAL. WHEN UTILIZING CLASS I MATERIAL, SUFFICIENT AMOUNTS OF CLASS II OR CLASS III MATERIAL SHALL BE ADDED TO FILL ALL VOIDS CREATED BY THE CLASS I MATERIAL.
- HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. CLASS II OR CLASS III MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
- INITIAL BACKFILL MATERIAL SHALL BE CLASS II OR CLASS III. IT SHALL BE HAND PLACED TO 12", ABOVE THE TOP OF THE PIPE. THE SOIL SHALL BE CONSOLIDATED BY HAND TAMPING OR WALKING THE SOIL IN PLACE.
- FINAL BACKFILL MATERIAL MAY BE MACHINE PLACED. THE MATERIAL SHALL BE CLASS II OR CLASS III MATERIAL. CLASS IV MATERIAL MAY BE INSTALLED OUTSIDE OF THE ROADWAY. FINAL BACKFILL UNDER ROADWAYS MAY REQUIRE SPECIAL COMPACTION AND DENSITY TESTS.

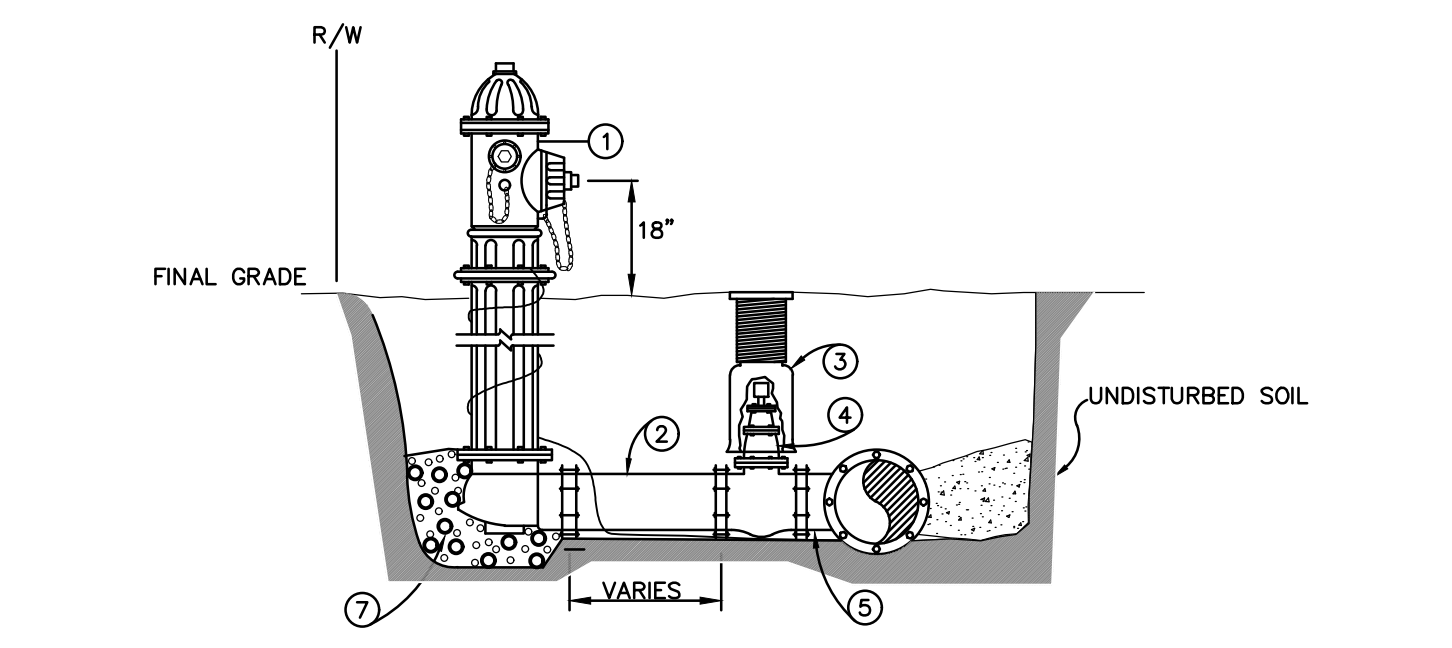
BACKFILL REQUIREMENTS (WW-2.2)
N.T.S.



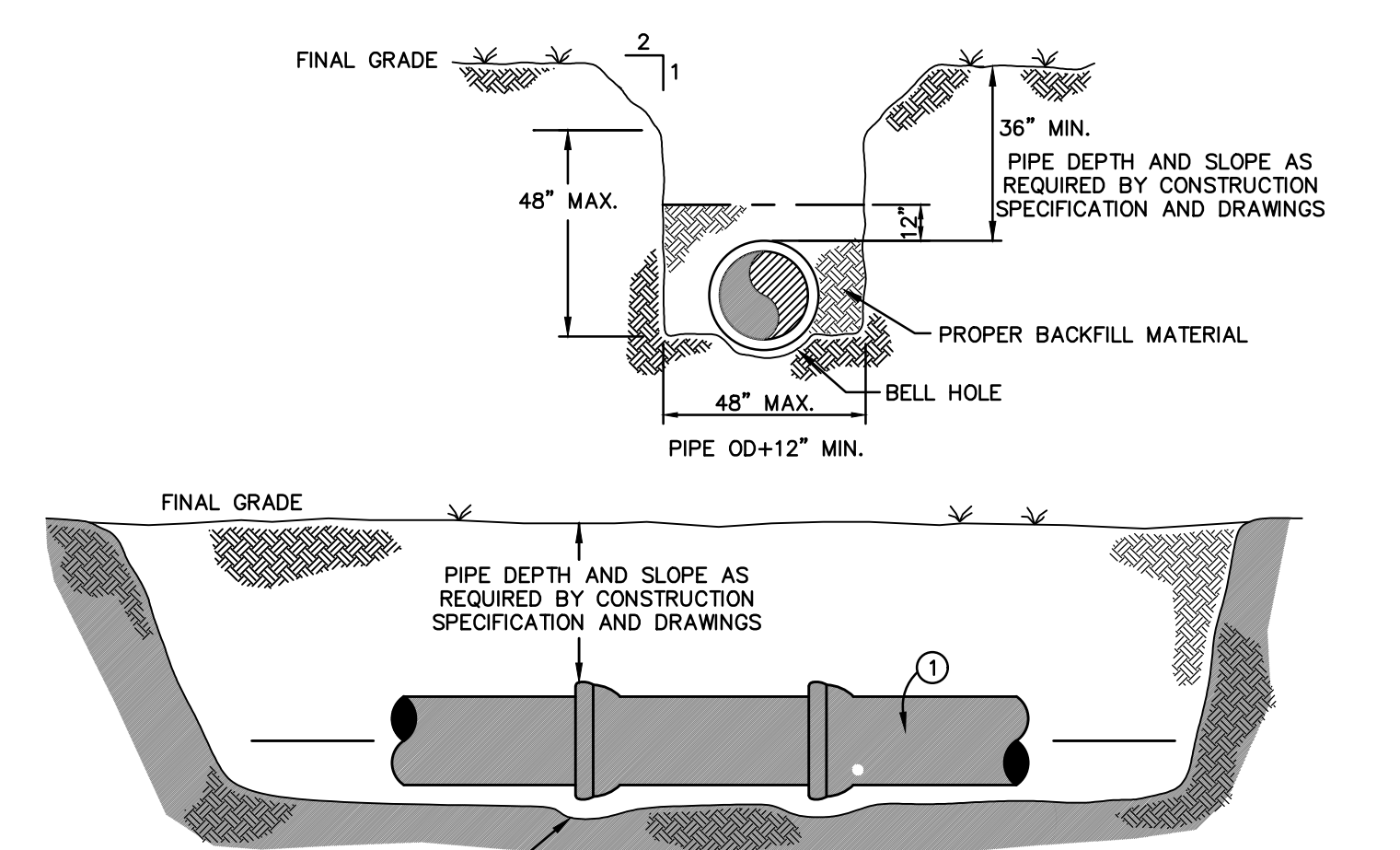
MATERIALS

| ITEM | DESCRIPTION |
|------|--|
| 1 | METER BOX 2" (BY CONTRACTOR, TO COA SPECS-DWF1300.12.1T) |
| 2 | 3" WATER MAIN (BY CONTRACTOR) |
| 3 | YOKE EXPANSION WHEEL |
| 4 | YOKE BAR - 2" (BY CONTRACTOR) |
| 5 | WATER METER - 2" (BY UTILITY COMPANY) |
| 6 | SCHEDULE 80 MALE ADAPTER (BY CONTRACTOR) |
| 7 | DUAL CHECK VALVE (BY CONTRACTOR) |
| 8 | TRACER WIRE COPPER BLUE INSULATED #10 AWG |
| 9 | CURB STOP (BY CONTRACTOR) |
| 10 | METER END CONNECTOR (BY CONTRACTOR) |

WATER METER WITH YOKE BAR ASSEMBLY DETAIL
N.T.S.



FIRE HYDRANT PERPENDICULAR TO THE MAIN
N.T.S.



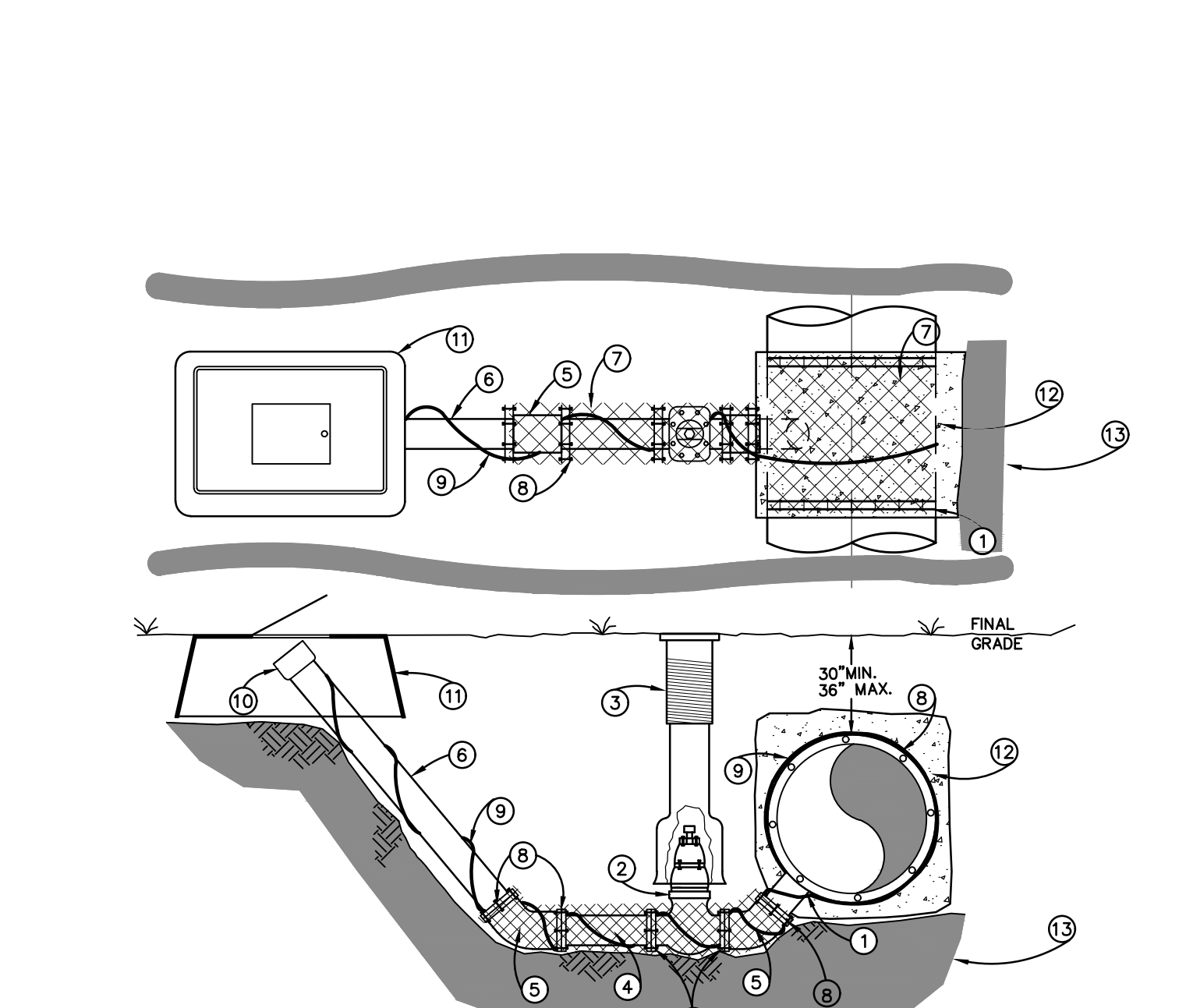
MATERIALS

| ITEM | DESCRIPTION |
|------|-------------------|
| 1 | GRAVITY MAIN PIPE |

NOTES:

- GRAVITY MAIN PIPE SHALL BE INSTALLED AT THE LINE AND GRADE AS SHOWN ON THE PROFILES.

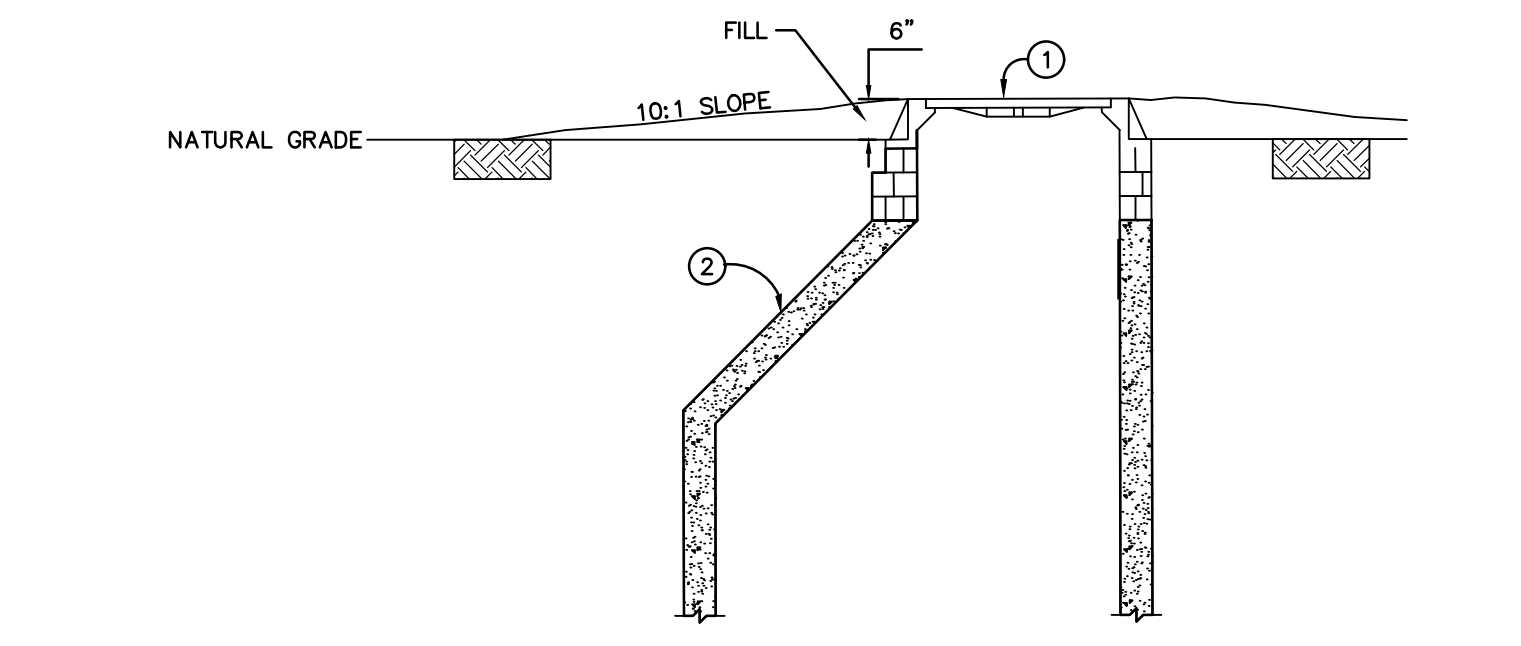
WASTEWATER GRAVITY MAIN CONSTRUCTION
N.T.S.



MATERIALS

| ITEM | DESCRIPTION |
|------|--|
| 1 | 12", 16", 20", 24" X 6" |
| 2 | 6" |
| 3 | VALVE, GATE, MJ, RESILIENT WEDGE |
| 4 | VALVE BOX |
| 5 | 6" X 16" or 72" (PER FIELD CONDITIONS) |
| 6 | ANCHORING COUPLING, MJ X MJ |
| 7 | 6" X 45" |
| 8 | BEND, MJ X MJ |
| 9 | PIPE, D.I.P. |
| 10 | 30" MIN. 36" MAX. |
| 11 | 8 MILS THICKNESS (MIN.) or FELT 15 lb (MIN.) |
| 12 | EBAA MEGA LUG |
| 13 | TRACER WIRE |
| 14 | 6" |
| 15 | CAP, C.I., MJ, EBAA MEGALUG |
| 16 | 5/8" X 3/4" |
| 17 | RECLAIMED WATER METER BOX |
| 18 | CONCRETE, THRUST BLOCK (2500 psi) |
| 19 | UNDISTURBED EARTH |

6" BLOW-OFF ASSEMBLY
N.T.S.

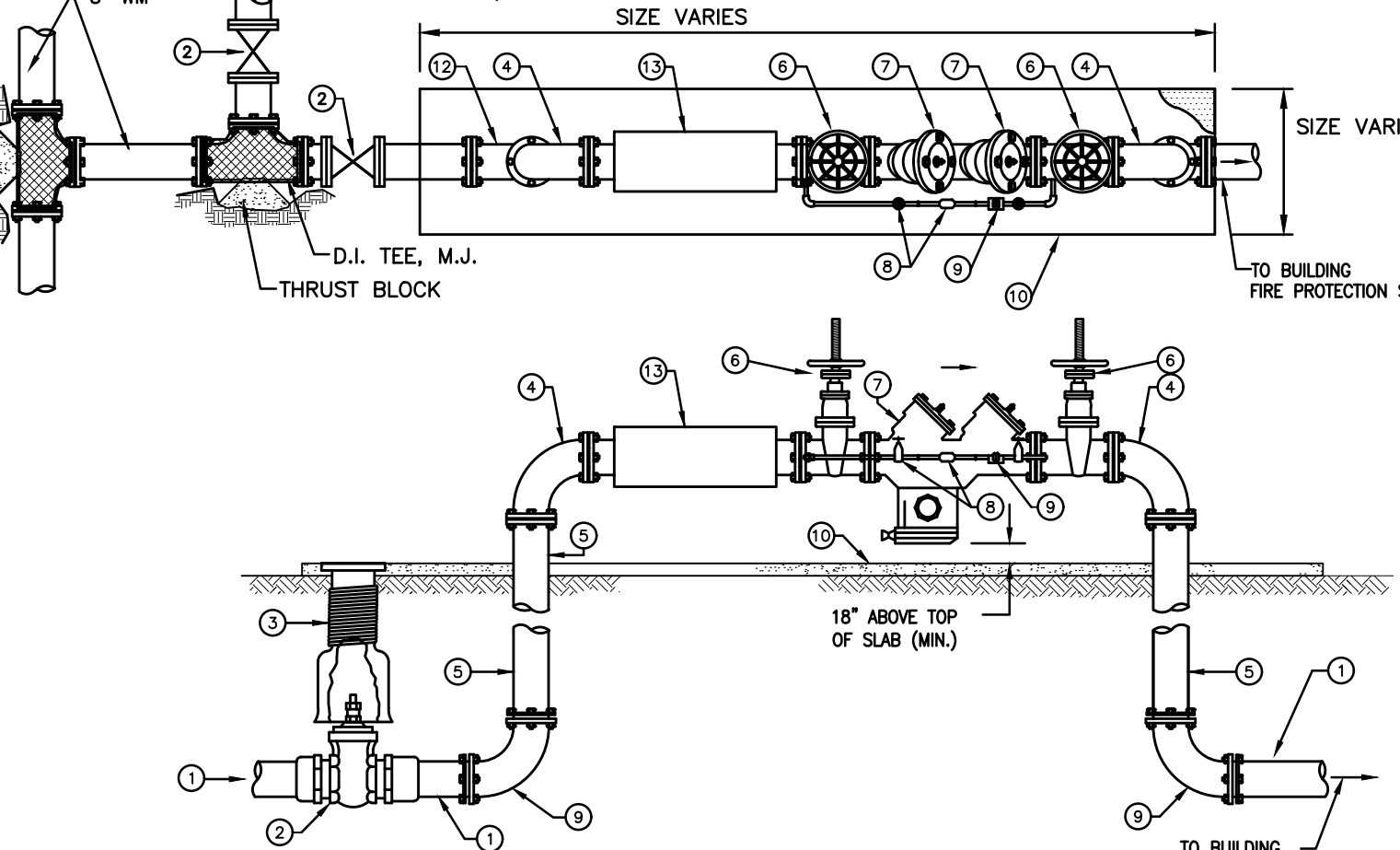


MATERIALS

| ITEM | DESCRIPTION |
|------|----------------------|
| 1 | MANHOLE RING & COVER |
| 2 | ECCENTRIC CONE |

NOTE: WHEN MANHOLE IS OUTSIDE PAVEMENT, THE RIM ELEVATION SHALL BE 6" ABOVE NATURAL GRADE. WITH FILL ADDED FOR A 10:1 SLOPE TO NATURAL GRADE.

MANHOLE OUTSIDE OF PAVEMENT
N.T.S.



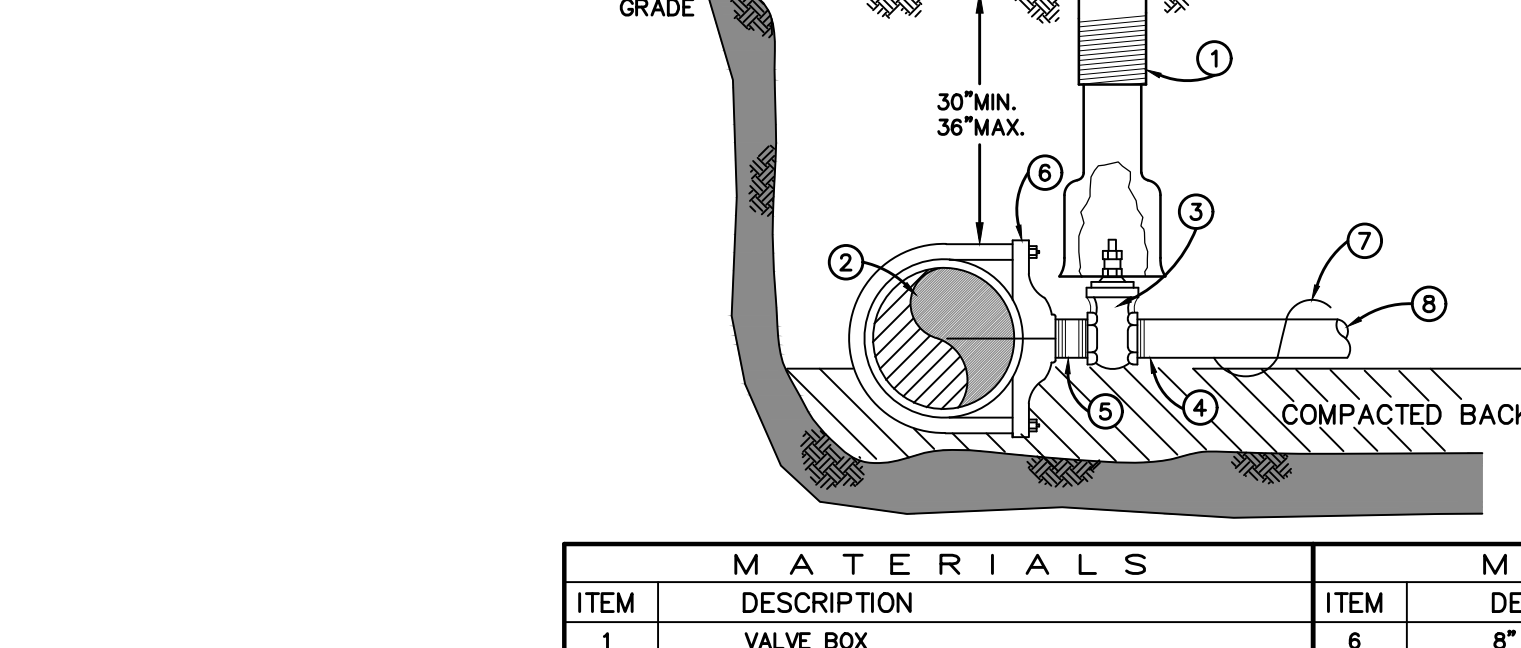
MATERIALS

| ITEM | DESCRIPTION |
|------|--|
| 1 | 6" FIRE MAIN |
| 2 | 6" GATE VALVE, FL X FL (END CITY MAINTENANCE) |
| 3 | VALVE BOX, C.I. |
| 4 | 6" BEND 90° FL X FL |
| 5 | 6" DUCTILE IRON PIPE-FLANGE X P.E. |
| 6 | 6" OS & Y TYPE GATE VALVE |
| 7 | 6" BACKFLOW PREVENTOR (DOUBLE CHECK OR REDUCED PRESSURE) |
| 8 | 3/4" SHUTOFF VALVE AND DETECTION BYPASS METER |
| 9 | 3/4" DETECTOR CHECK VALVE |
| 10 | 6" CONCRETE SLAB (3500 PSI) |
| 11 | NOT USED |
| 12 | 6" D.I. 90° BEND M.J. WITH EBAA MEGA LUG |
| 13 | 6" FIRE LINE METER WITH STRAINER (UL LISTED AND FM APPROVED) |

NOTES:

- DETECTOR CHECK VALVE ASSEMBLY MAY NOT BE REQUIRED FOR ALL INSTALLATIONS.
- BACKFLOW PREVENTER SHALL BE INSTALLED WITH A FREEZE PROTECTION BOX PER CITY OF ALACHUA STANDARDS.

6" FIRELINE CONNECTION WITH TURBINE METER AND DOUBLE CHECK BACKFLOW PREVENTER ASSEMBLY
N.T.S.



MATERIALS

| ITEM | DESCRIPTION |
|------|--|
| 1 | VALVE BOX |
| 2 | 8" WATER MAIN |
| 3 | 3" GATE VALVE, SQUARE NUT, RESILIENT WEDGE |
| 4 | 3" X 6" LONG PVC PIPE |
| 5 | 3" X 4" LONG GALVANIZED NIPPLE |

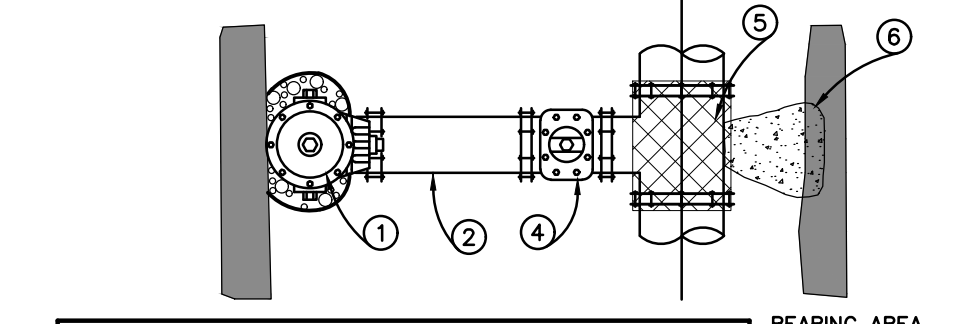
MATERIALS

| ITEM | DESCRIPTION |
|------|-----------------------------|
| 6 | 8" X 3" SERVICE SADDLE |
| 7 | TRACER WIRE, BLUE, # 10 AWG |
| 8 | 3" PVC WATER LINE |

POTABLE WATER SERVICE DETAIL VIA TAPPING SADDLE

GENERAL UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND VERIFICATION OF EXISTING UTILITIES. ANY EXISTING UTILITY TO BE MODIFIED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER.
- WATER METER ASSEMBLIES SHALL BE INSTALLED BY CONTRACTOR.
- ELECTRIC SERVICE TO BE COORDINATED WITH THE CITY OF ALACHUA PUBLIC SERVICES DEPARTMENT.
- UTILITY INSTALLATION SHALL NOT TAKE PLACE WITHIN TREE BARRICADE AREA AS SHOWN ON THE PAVING, GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS OFF-SITE AND FURNISH APPROVED MATERIAL PER CITY OF GAINESVILLE FOR SANITARY SEWER LINES BACKFILL AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ON-SITE BY APPROVAL OF THE OWNER.
- NO PERMANENT STRUCTURE SHALL BE CONSTRUCTED WITHIN 10 FEET OF ANY WATER LINE OR 15 FEET OF ANY SEWER LINE.
- CONTRACTOR SHALL PROTECT LANDSCAPE AND ANY DISTURBED AREAS SHALL BE RESTORED AS EXISTING.



MATERIALS

| ITEM | DESCRIPTION |
|------|----------------------------------|
| 1 | FIRE HYDRANT |
| 2 | ANCHORING COUPLING |
| 3 | VALVE BOX |
| 4 | GATE VALVE |
| 5 | ANCHORING TEE |
| 6 | CONCRETE THRUST BLOCK (2500 psi) |
| 7 | GRAVEL DRAIN BED |
| 8 | TRACER WIRE |
| 9 | ANCHORING, 90° BEND, M.J. |

NOTES:

- A NONPOROUS MATERIAL 8 MILS (MIN.) VISQUEEN OR 15 lb FELT SHOULD BE PLACED BETWEEN THE CONCRETE AND ENTIRE FITTINGS.

Project No: 18-023

Project phase: CITY SUBMITTAL

Project title: SAN FELASCO TECH CITY CITY OF ALACHUA, FLORIDA

Sheet title: UTILITY DETAILS


Designed: SJR

Drawn: MAB

Checked: TAR

Date: 06/25/18

Sheet No.: C4.10



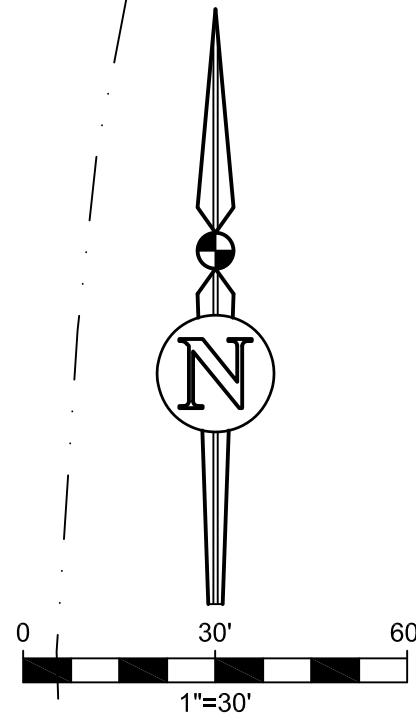
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Professional Engineer of Record:

Sergio J. Reyes, P.E. 47311

Engineer Certificate No.



APPROXIMATE LIMITS OF
ZONE "A" UNSHADED
APPROXIMATE LIMITS OF ZONE "A"

TAX PARCEL 05857-002-001
O.R. 4077, PAGE 31
& EASEMENT PARCEL #1
O.R. 1558, PAGE 1383
SEE NOTE 7 ON SHEET 1

TAX PARCEL 05857-002-000
O.R. 4077, PAGE 31
& O.R. 3842, PAGE 1386
(EASEMENT PARCEL #2)
O.R. (PARCEL #2)
SEE NOTE 7 ON SHEET 1

S 00°08'45" W 2657.79'(R)
S 00°34'12" E 2658.04'(M)

TAX PARCEL 05962-002-000
O.R. 3842, PAGE 1386

AREA OF WETLANDS =
9.53 Acres
(415,150 Square Feet)

MATCH LINE SHEET 2 OF 12

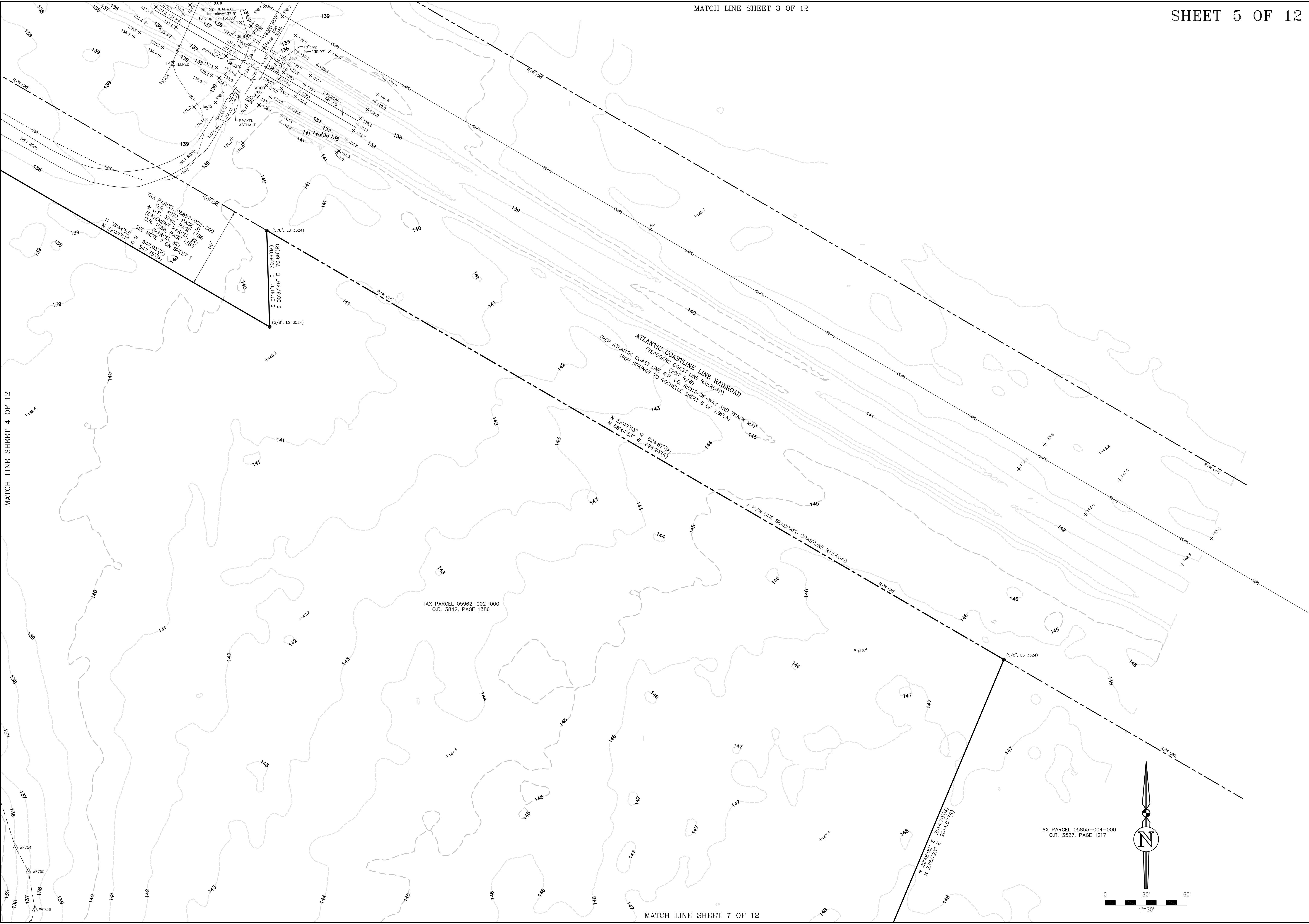
MATCH LINE SHEET 6 OF 12

SHEET 4 OF 12

MATCH LINE SHEET 5 OF 12

| | | | |
|---|------------|---|----------|
| Project No. 2018-0023 S00 | | eda engineers-surveyors-planners, inc. | |
| Drawn AL/AP | Check AL/P | BL. ALEJANDRO PEREZ | |
| SEE SHEET 1 OF 12 FOR ORIGINAL | | Separate Authorization No. LB 2389 | |
| PREPARED FOR: 1) THE LASER INVESTMENT GROUP, LLC. 2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY 3) JAMES F. GRAY, P.A. 4) | | | |
| THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2017), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 04/19/18 | | | |
| 978 | 4-34 | Page | 04/19/18 |
| Feedback | | Drawing Completed | 06/20/18 |
| Revised | | | |
| Sheet No.: V-004 | | | |
| FLOOD INSURANCE RATE MAP STATEMENT | | THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) A & X (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 120864-L; COMMUNITY NUMBER: 120864-L; PANEL: 08/16/06; SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." | |
| 2 | 06/20/18 | REVISED LEGAL DESCRIPTION | |
| 1 | 06/11/18 | REVISED BOUNDARY DIMENSIONS / ADDED CERTIFICATIONS | |
| No | Date | No | Comment |

\\server3\survey\Projects\2018-2023 (Tech City)\DWG\2018-2023\S00_Bay-Tops.dwg - Sheet05



MATCH LINE SHEET 3 OF 12

SHEET 5 OF 12

MATCH LINE SHEET 4 OF 12

MATCH LINE SHEET 7 OF 12

Project No.
2018-0023 S00

Drawn
AL/AP

Check
J.P.

eda engineers-surveyors-planners, Inc.

BL
ALEJANDRO PEREZ

2018-0023 S00
Separate Authorization No. LS 2389

P.S.M. 6839

Survey Date
04/19/18

Drawing Completed
04/20/18

Revised
06/20/18

Feedback
978

Page
4-34

Prepared for:
1) THE LASER INVESTMENT GROUP, LLC.
2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
3) JAMES F. GRAY, P.A.
4)

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 1S-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2017), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 06/19/18.

Sheet No.:
V-005

FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) A & X (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 120864-1 ; COMMUNITY NUMBER: 120864-1 ; PANEL: 01495 ; EFFECTIVE DATE: 06/16/08 ; SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

2

06/20/18

REVISED LEGAL DESCRIPTION

1

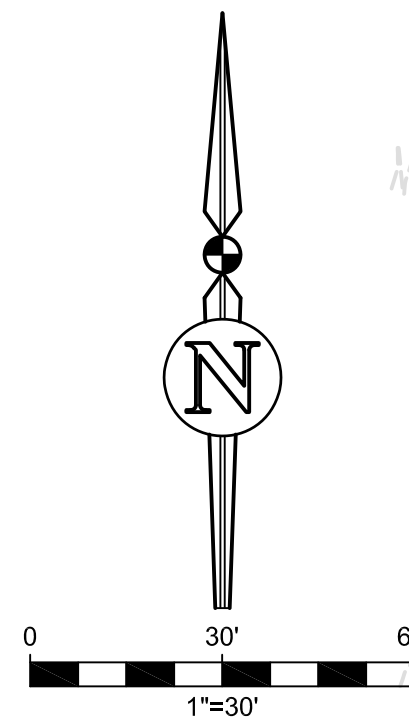
06/11/18

REVISED BOUNDARY DIMENSIONS / ADDED CERTIFICATIONS

No

Date

Comment



MATCH LINE SHEET 4 OF 12

SHEET 6 OF 12

MATCH LINE SHEET 7 OF 12

FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) A & X (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 150550400. COMMUNAL NUMBER: 120664. PANEL: 0100 0140. EFFECTIVE DATE: 06/16/06. SAID MAP DESCRIBES ZONE(S) 'A' AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED, AND ZONE 'X' (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

eds 40 years

eda engineers-surveyors-planners, inc.
LB 2389
2404 N.W. 23rd ST., GAINESVILLE, FLORIDA 32606-6602
TEL: (352) 373-3541 FAX: (352) 373-7249
E-MAIL: mail@eda.com

| | | |
|-------------|---------------|---|
| Project No. | 2018-0023 S00 | eda engineers—surveyors—planners, inc. Corporate Authorization No. LB 2389 |
| Drawn | AL/AP | ALEJANDRO PEREZ |
| Check | A.P. | SEE SHEET 1 OF 12 FOR ORIGINAL SIGNATURE AND RAISED SEAL |
| | | 68399 P.S.M. |

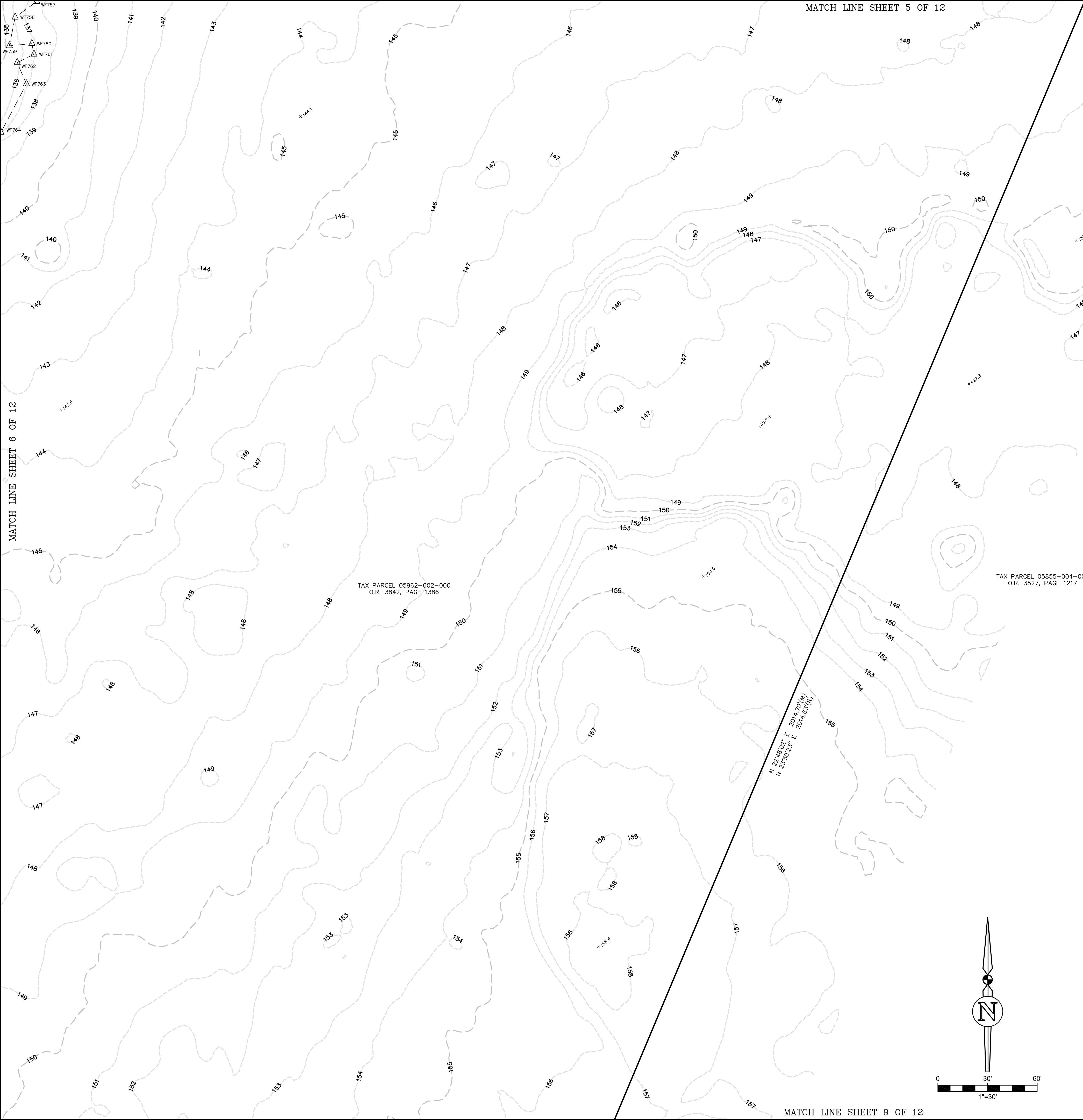
| | 9/76 | Facebook | Page | Survey Date | Drawing Completed | 01/20/18 | 01/20/18 |
|---|------|----------|------|-------------|-------------------|----------|----------|
| PREPARED FOR: | | | | | | | |
| THE LASER INVESTMENT GROUP, LLC. | | | | | | | |
| OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY | | | | | | | |
| JAMES F. GRAY, P.A. | | | | | | | |
| | | | | | | | |
| | | | | | | | |

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, INC. (FBS&M) IN ITS ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2017), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 04/19/18.

Sheet No.:
V-006

Plotted Jun 20, 2018 - 14:10:19 - dpercz

\\server3\survey\Projects\2018-2023 (Tech City)\DWG\2018-2023 S00_Bay-Topo.dwg - Sheet07



MATCH LINE SHEET 5 OF 12

MATCH LINE SHEET 9 OF 12

SHEET 7 OF 12

Sheet No.: V-007

9784-34

Page

4-34

04/19/18

Survey Date

04/20/18

Revised

06/20/18

Revised

Prepared for: 1) THE LASER INVESTMENT GROUP, LLC.
2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
3) JAMES F. GRAY, P.A.
4)

Drawn: AL/AP
Check: A.P.
Project No.: 2018-0023 S00
2018-0023 S00
eda engineers-surveyors-planners, inc.
Corporate Authorization No. LB 2389
BL: ALEJANDRO PEREZ
P.S.M. 6839

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2017), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 06/19/18.

eda engineers-surveyors-planners, inc.

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FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) A & X (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 120864-A ; COMMUNITY NUMBER: 120864-A ; PANEL: 01450 ; EFFECTIVE DATE: 06/16/06 ; SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

2

06/20/18

REVISED LEGAL DESCRIPTION

1

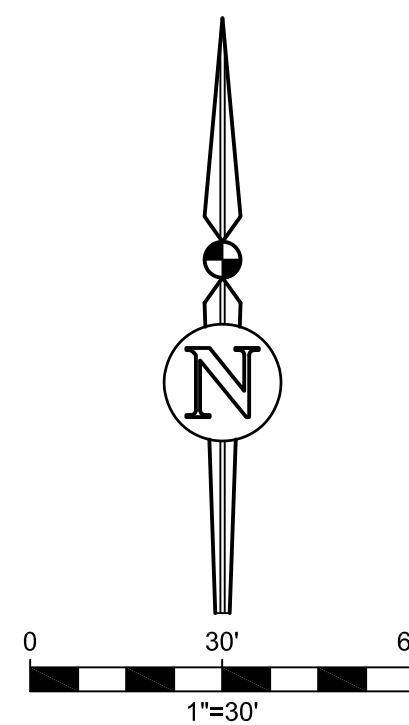
06/11/18

REVISED BOUNDARY DIMENSIONS / ADDED CERTIFICATIONS

No

Date

Comment



MATCH LINE SHEET 6 OF 12

SHEET 8 OF 12

MATCH LINE SHEET 9 OF 12

FLOOD INSURANCE RATE MAP STATEMENT

THE REAL PROPERTY SHOWN HEREON LIES WITHIN
ZONE (S) A & X (UNSHARED) AS DESIGNATED ON THE FLOOD
INSURANCE RATE MAP NUMBER 13005000400
COMMUNITY NUMBER: 120664; PANEL: 01000; DATE: 06/16/08
SAYD MAP DESCRIBES ZONE(S) 'A'
AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO FLOODING BY THE
ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE 'X' (UNSHARED
AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

ed 40 years

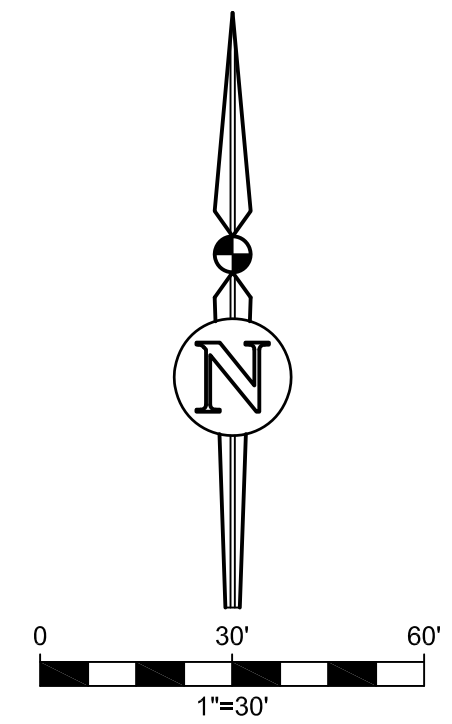
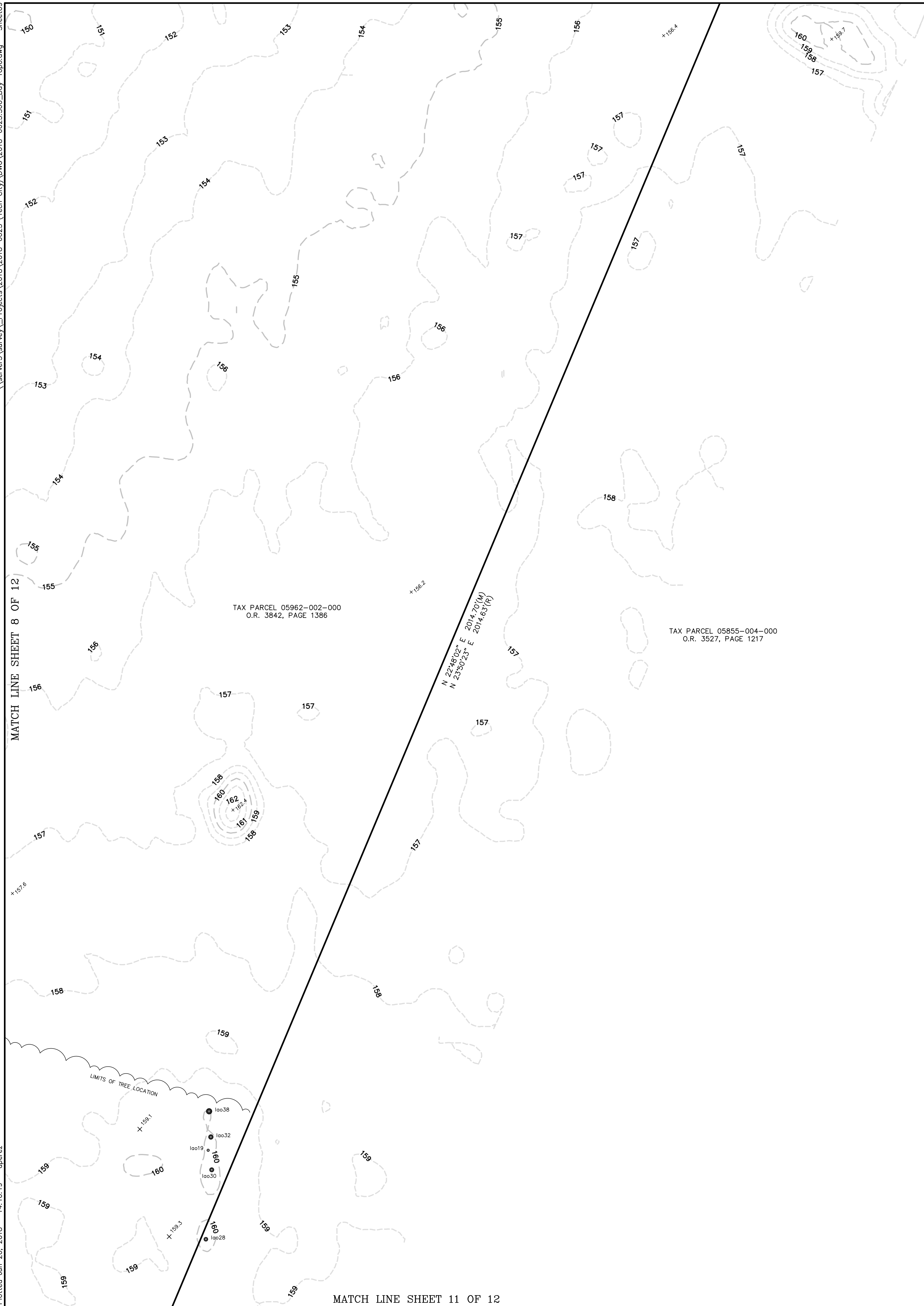
eda engineers-surveyors-planners, inc.

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| | | | |
|-------------|---------------|--|--|
| Project No. | 2018-2023 S00 | | eda engineers -surveyors-planners, inc. Corporate Authorization No. LB 2389 BY: ALEJANDRO PEREZ P.M. 6839 SEE SHEET 1 OF 12 FOR ORIGINAL SIGNATURE AND RAISED SEAL |
| Drawn | AL/AP | | |
| Check | A.P. | | |

| Filebook | Page | 4-14 | 04/19/18 | 04/20/18 | 06/20/18 |
|--|------|------|-------------|------------------|----------|
| | | | Survey Data | Survey Completed | Revised |
| PREPARED FOR: 1) THE LARSEN INVESTMENT GROUP, LLC | | | | | |
| 2) JAMES F. GRAY, P.A. | | | | | |
| 3) | | | | | |
| THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF ACCOUNTANCY, CHAPTER 11C, F.A.C., AND THE FLORIDA STATUTES. | | | | | |
| THIS SURVEY DEPicts THE SITE CONDITIONS AS OF 06/19/2018. | | | | | |

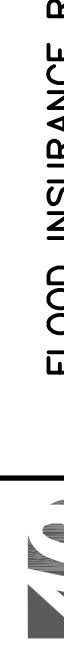
Sheet No.:
V-008



Sheet No.: V-009

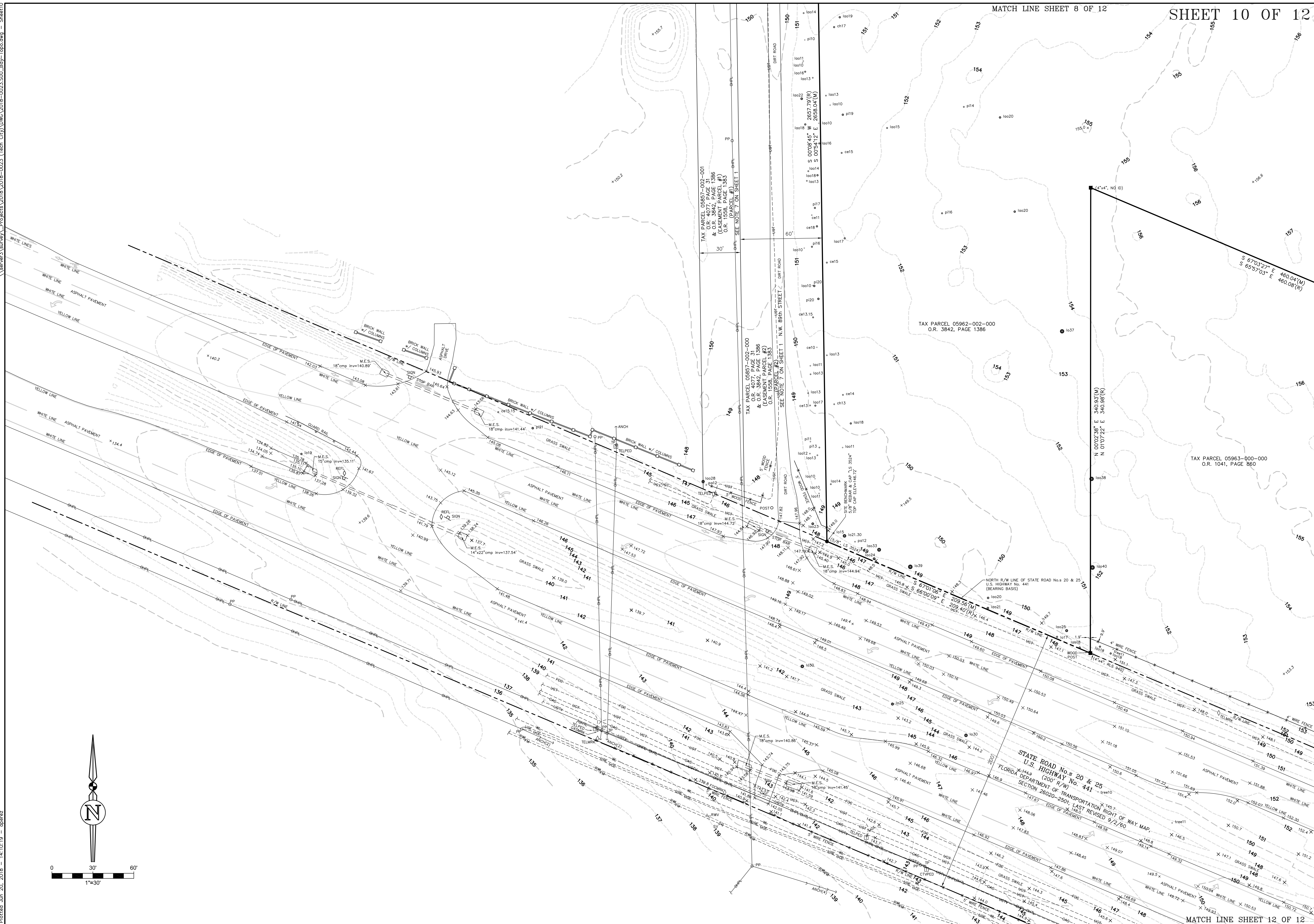
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|---|------|-------------|-------------------|----------|
| 7/8 | 4-34 | 04/19/18 | 04/20/18 | 06/20/18 |
| Feedback | Page | Survey Date | Drawing Completed | Revised |
| PREPARED FOR: 1) THE LASER INVESTMENT GROUP, LLC. 2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY 3) JAMES F. GRAY, P.A. 4) _____ | | | | |
| THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA SURVEYING BOARD, AS A CONDITION OF THE SURVEY CONTRACT, AND THE FLORIDA SURVEYING BOARD'S ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.07, OF THE FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF _____ 04/19/18 | | | | |

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|-------------|---------------|---|-------------------------------------|---|
| Project No. | 2018-0023 500 | edra engineers-surveyors-planners, inc. | Corporate Authorization No. LB 2889 | SEE SHEET 1 OF 12 FOR ORIGINAL. \$M. 6839 |
| Drawn | AL/AP | | | |
| Check | A.P. | | SIGNATURE AND RAISED SEAL | |

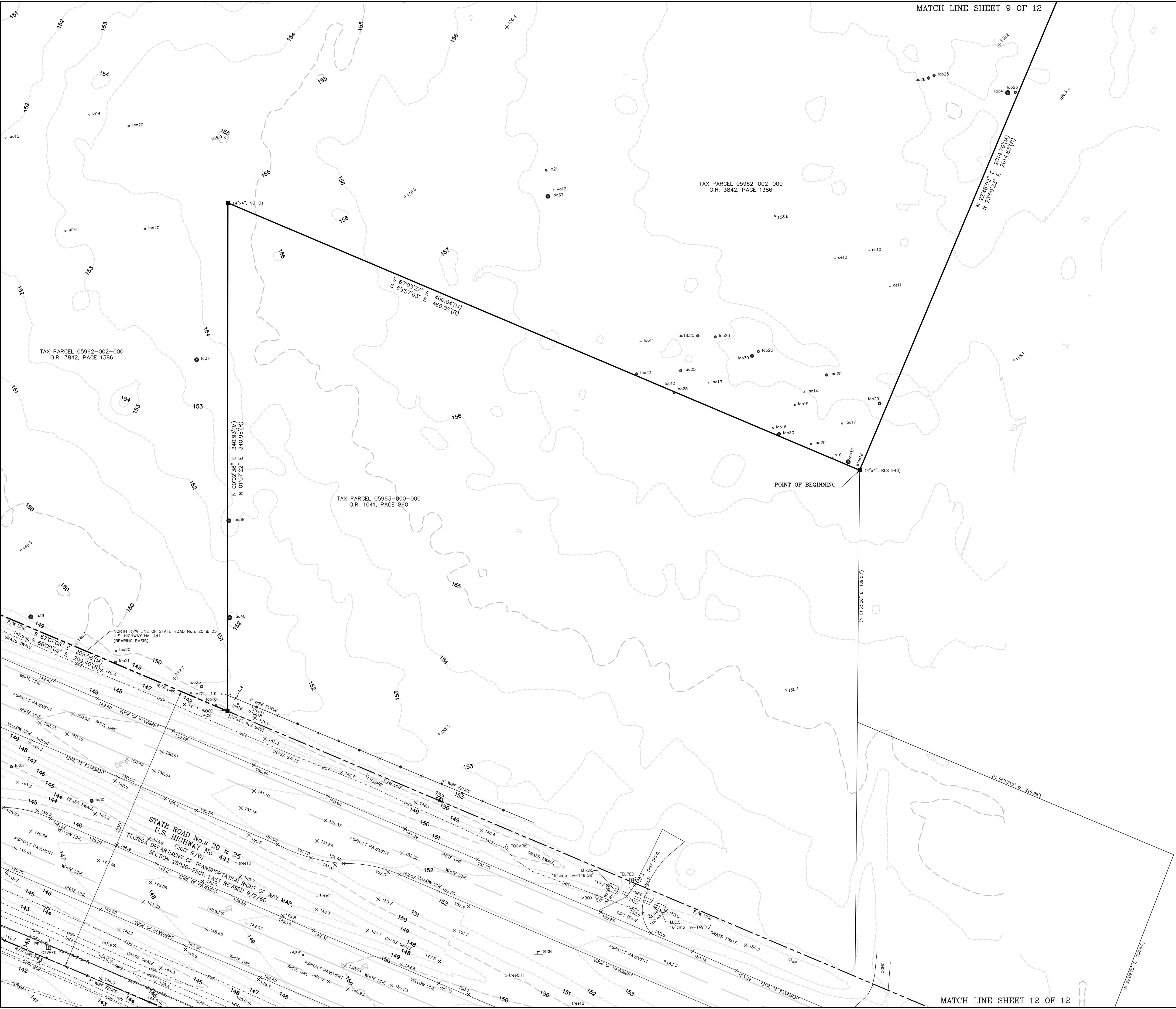


edra engineers-surveyors-planners, inc.
2404 N.W. 47th ST. DAINESVILLE, FLORIDA 32609-6602
Phone: 352-277-2749
E-Mail: mba@edra.com
LB 2889

| | | | | | | | | | | | |
|---|----------|---|---|----------|---------------------------|---|----------|--|----|------|---------|
| FLOOD INSURANCE RATE MAP STATEMENT THE REAL PROPERTY SHOWN HEREON LIES WITHIN ZONE(S) A & X UNSHADDED AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP NUMBER 13001001050; COMMUNITY NUMBER 0086; PANEL 096; EFFECTIVE DATE: 12/01/2010. AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X (UNSHADDED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." | | <table><tr><td>2</td><td>06/20/18</td><td>REVISED LEGAL DESCRIPTION</td></tr><tr><td>1</td><td>06/11/18</td><td>REVISED BOUNDARY DIMENSIONS / ADDED CERTIFICATIONS</td></tr><tr><td>No</td><td>Date</td><td>Comment</td></tr></table> | 2 | 06/20/18 | REVISED LEGAL DESCRIPTION | 1 | 06/11/18 | REVISED BOUNDARY DIMENSIONS / ADDED CERTIFICATIONS | No | Date | Comment |
| 2 | 06/20/18 | REVISED LEGAL DESCRIPTION | | | | | | | | | |
| 1 | 06/11/18 | REVISED BOUNDARY DIMENSIONS / ADDED CERTIFICATIONS | | | | | | | | | |
| No | Date | Comment | | | | | | | | | |



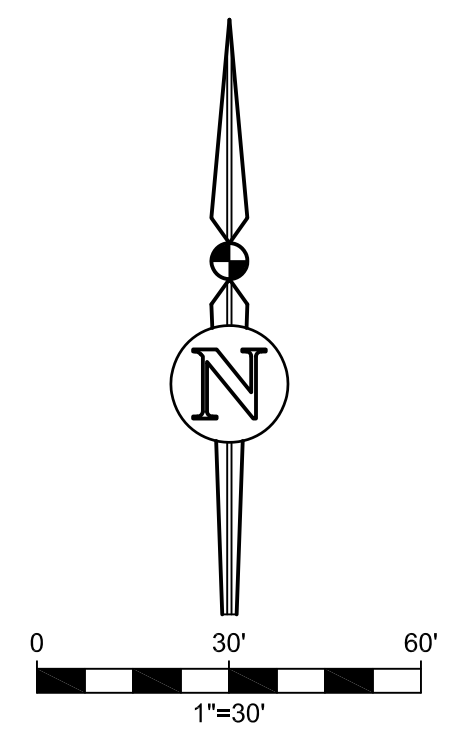
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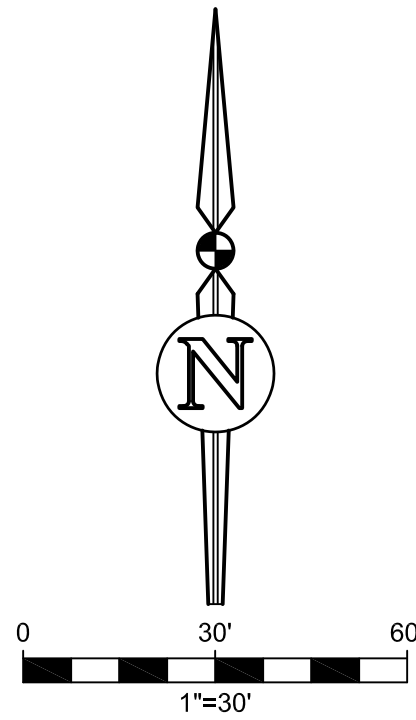
MATCH LINE SHEET 9 OF 12

SHEET 11 OF 12

MATCH LINE SHEET 12 OF 12

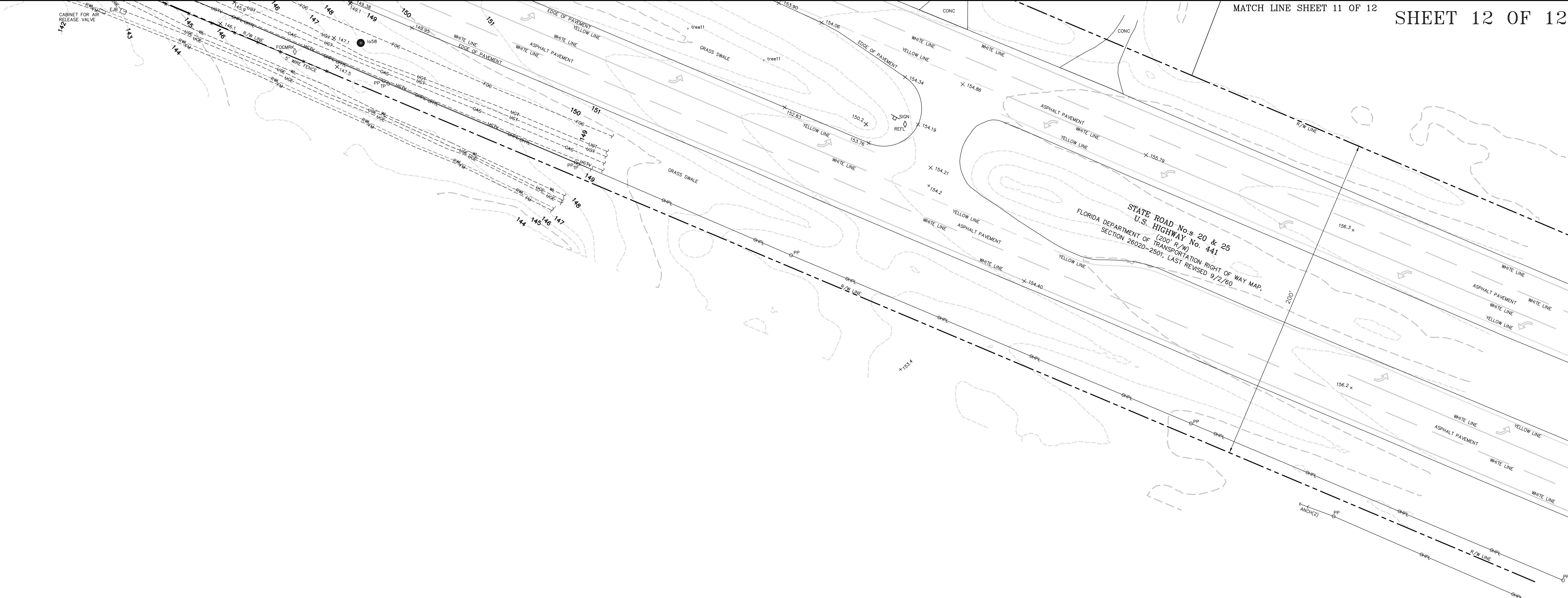


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|---|--|
| FLOOD INSURANCE RATE MAP STATEMENT | |
| THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 120864, PANEL 01495, EFFECTIVE DATE: 08/16/06, SAID MAP DESCRIBES ZONE(S) AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." | |
| eda engineers-surveyors-planners, inc. | |
| 2004 N.W. 42nd ST. SUITE 400, FORT LAUDERDALE, FL 33309 | |
| TEL: 954.372.5451 FAX: 954.372.7449 E-MAIL: mulliken@aol.com | |
| Project No. 2018-0023.500 | |
| Drawn by: ALEJANDRO PEREZ | |
| Check by: JAMES F. GRAY, P.E. | |
| Date: 06/20/18 | |
| Sheet No.: V-011 | |
| Prepared for: 1) THE LASER INVESTMENT GROUP, LLC. | |
| 2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY | |
| 3) JAMES F. GRAY, P.E. | |
| 4) | |
| THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2017), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 06/20/18. | |
| Revised: 06/20/18 | |
| Drawing Completed: 04/19/18 | |
| Survey Date: 04/19/18 | |
| Page: 4-34 | |
| Feedback: 978 | |



MATCH LINE SHEET 11 OF 12

SHEET 12 OF 12



Project No:
2018-0023 S00

Drawn:
AL/AP

Check:
A/P

Survey Date
04/19/18

Drawing Completed
04/20/18

Revised
06/20/18

Feedback
978

Page
4-34

PREPARED FOR: 1) THE LASER INVESTMENT GROUP, LLC.
2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
3) JAMES F. GRAY, P.A.
4)

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER S-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 (2017), FLORIDA STATUTES. THIS SURVEY DEPICTS THE SITE CONDITIONS AS OF 06/19/18.

Project No:
2018-0023 S00

Drawn:
AL/AP

Check:
A/P

Blk:
ALEJANDRO PEREZ

Corporate Authorization No. LE 2389

eda engineers-surveyors-planners, inc.

200 N.W. 102nd St. Suite 400
Fort Lauderdale, FL 33309
TEL 954 372-7941 FAX 954 372-7949
E-MAIL: maldonado@eda.com

Sheet No.:
V-012

Sheet Title:
V-012

FLOOD INSURANCE RATE MAP STATEMENT
THE REAL PROPERTY SHOWN HEREON LIES WITHIN THE FLOOD INSURANCE RATE MAP NUMBER 120864-A, AS BEING "SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED" AND ZONE "X" (UNSHADED) AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

DATE: 06/16/08

SAID MAP DESCRIBES ZONE(S) "A"

COMMUNITY NUMBER: 120864

INSURANCE RATE MAP NUMBER: 120864-A

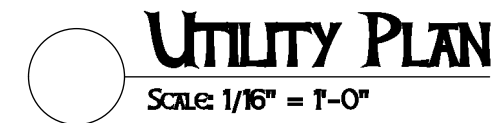
ZONE(S) A & X (UNSHADED) AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP

REVISION

NO

DATE

COMMENT



REVISIONS

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E john@donahue-arch.com
FL CofA # 32147

FL License # AA26000933

MECHANICAL

PLUMBING & ELECTRICAL ROUTING

A New Building For San Felasco - Tech City

Alachua, Florida

DATE 06/04/18

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JAD
JAD

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Review Set