



City of Alachua

Planning & Community Development Department Staff Report

Planning & Zoning Board Hearing Date: February 12, 2019
Quasi-Judicial Hearing

SUBJECT: A request for a Site Plan for the construction of two (2) buildings, a ±23,439 square foot building and a ±26,682 square foot building, with associated drainage, paving, grading and infrastructure improvements

APPLICANT/AGENT: Daniel Young, P.E., LEED A.P., CHW

PROPERTY OWNER: Upland Properties of NCF, LLC

LOCATION: Terminus of NW 101st Drive

PARCEL ID NUMBERS: 05964-002-002 – 05964-002-005

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial (ILW)

OVERLAY: N/A

ACREAGE: ±4.82 acres

PROJECT PLANNER: Justin Tabor, AICP

RECOMMENDATION: Staff recommends that the Planning & Zoning Board approve the Site Plan, subject to the three (3) conditions provided in Exhibit "A" and located on page 19 of the February 12, 2019 Staff Report to the Planning & Zoning Board.

RECOMMENDED MOTION: *Based upon the competent substantial evidence presented at this hearing, the presentation before this Board, and Staff's recommendation, this Board finds the application to be consistent with the City of Alachua Comprehensive Plan and in compliance with the Land Development Regulations and approves the Site Plan, subject to the three (3) conditions provided in Exhibit "A" and located on page 19 of the February 12, 2019 Staff Report to the Planning & Zoning Board.*

SUMMARY

This application is a request by Daniel Young, P.E., of Causseaux, Hewett, & Walpole, Inc., applicant and agent for Upland Properties of NCF, LLC, property owner, for the consideration of a Site Plan to construct two (2) buildings, a ±23,439 square foot building and a ±26,682 square foot building, with associated drainage, paving, grading and infrastructure improvements. Future tenants of the proposed buildings are unknown, but are expected to be classified within the light manufacturing use type, with limited office use as part of a light manufacturing use.

The plat of Upland Industrial Park was recorded in 2008, and consists of a total of six (6) lots ranging in size from ±1.00 acres to ±1.50 acres, as well as a drainage area / common area, primarily comprised of a stormwater management facility (±1.40 acres), and a private roadway (NW 101st Drive, which provides access to the six (6) lots. A ±9,000 square foot building was constructed on Lot 1 in 2010, and a ±10,000 square foot building was constructed on Lot 6 in 2015. In 2016, the Future Land Use Map (FLUM) Designation and zoning of Lots 1 and 6 were amended from Industrial to Commercial and Light & Warehouse Industrial (ILW) to Commercial and Commercial Intensive (CI), respectively.

Lots 2 through 5 comprise the remaining undeveloped portion of Upland Industrial Park. There are presently no improvements on the subject property. Concurrent with this Site Plan application, the applicant submitted an application for a Minor Subdivision to reconfigure Lots 2 through 5 into a total of two (2) lots (the “Replat of Lots 2, 3, 4, & 5, Upland Industrial Park”). The reconfigured lot layout supports the development plan presented by this Site Plan application. Staff has proposed a condition which would require the replat to be recorded in the Official Records of Alachua County prior to submitting a building permit application for any building associated with this Site Plan.

The subject property is ±4.82 acres in size and is located at the terminus of NW 101st Drive, within Upland Industrial Park. Access to the subject property will be provided by three (3) ingress/egress connections to NW 101st Drive. This configuration permits service deliveries to enter through the center ingress connection, with circulation patterns around each building.

The proposed development will convey the development’s stormwater runoff to an existing stormwater basin located north of the subject property. This stormwater basin has been previously permitted and was designed as a master system to serve Upland Industrial Park.

Section 2.4.9(G)(1) of the City’s Land Development Regulations (LDRs), requires that a building permit be approved for the building within 12 months of the date of the Site Plan approval, unless the Site Plan development order is extended in accordance with Section 2.4.10(G)(2). If a building permit is approved for either building within this timeframe, a building permit must be approved for the second building within three (3) years of the date of the approval of the Site Plan.

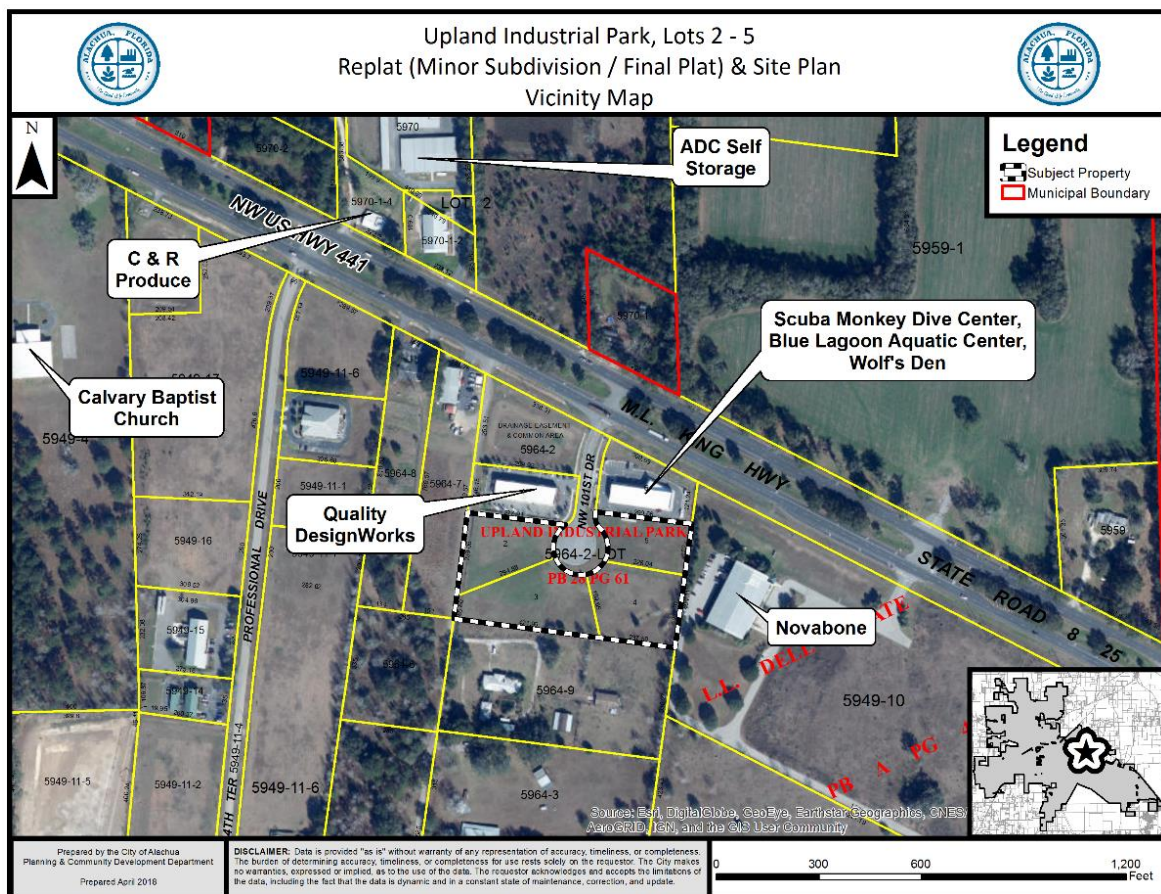
SURROUNDING USES

The existing uses, Future Land Use Map (FLUM) Designations, and zoning districts of the surrounding area are identified in Table 1. Map 1 provides an overview of the vicinity of the subject property. (NOTE: The information below is intended to provide a general overview of the area surrounding the subject property and to generally orient the reader. It is not intended to be all-inclusive, and may not identify all existing uses, FLUM Designations, and/or zoning districts surrounding the subject property.

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	Lots 1 and 6, Upland Industrial Park; Quality Design Works; Florida HOSA; American Forestry Management; Scuba Monkey Dive Center / Blue Lagoon Aquatic Center; Wolf's Den	Commercial	Commercial Intensive (CI)
South	Quay Acquisitions	Industrial	Light and Warehouse Industrial (ILW)
East	NovaBone	Industrial	Light and Warehouse Industrial (ILW)
West	Vacant Industrial Lands	Industrial	Light and Warehouse Industrial (ILW)

Map 1. Vicinity Map



NEIGHBORHOOD MEETING

The purpose of a Neighborhood Meeting is to educate the owners of nearby land and any other interested members of the public about the project and to receive comments regarding the project. As required by Section 2.2.4 of the LDRs, all property owners within 400 feet of the subject property were notified of the meeting and notice of the meeting was published in a newspaper of general circulation.

A Neighborhood Meeting was held on December 6, 2017, at the Alachua Branch of the Alachua County Library, located at 14913 NW 140th Street. The applicant was present and available to answer questions. Materials submitted by the applicant indicate that the meeting was unattended.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

The Goals, Objectives, and Policies (GOPs) identified below are provided to establish a basis of the application's consistency with the Comprehensive Plan. There may be additional GOPs which the application is consistent with that are not identified within this report. An evaluation and findings of consistency with the identified GOPs is also provided below.

Vision Element

GOAL 1: Economic Development: The City of Alachua has a unique business climate. The City is home to corporations, technology incubators, local businesses, and start-up companies. The City will maintain its focus on a welcoming business environment and encourage business development in the downtown area and along the U.S. 441 corridor. Alachua desires to continue to be a home to innovative businesses and an employment center where jobs are provided at every level. The City will continue to encourage the growth and development of established industries, such as biotechnology, and encourage the diversification and expansion of commercial businesses which provide integral services to the City's residents.

Evaluation and Findings of Consistency with Goal 1: The proposed development would provide for continued growth of industrial uses within the City.

Future Land Use Element

GOAL 1: Future Land Use Map 2025:

The City of Alachua shall maintain a Future Land Use Map in order to effectively guide development in a sustainable manner and to ensure economic prosperity and stability while maintaining a high quality of life for all of its present and future citizens.

Objective 1.5: Industrial

The City of Alachua shall establish one industrial district: Industrial. This district shall provide a broad range of clean industry, warehousing, research,

and technology industries, to provide a variety of job opportunities to the citizens of Alachua and the North Central Florida Region.

Policy 1.5.a: Industrial: Industrial uses are generally intense uses that require large land area and convenient access to transportation facilities, such as roads, highways, and rail lines. Industrial uses, such as warehousing and manufacturing, shall be located and designed in such a manner as to prevent unwanted impacts to adjacent properties.

2. The Industrial land use category may include manufacturing facilities subject to the following standards:

Type of manufacturing	Size of building	Manufacturing	Warehousing	Building Area Coverage
Manufacturing/ Assembly	300,000 sq.ft. maximum	75% of total area maximum	No Maximum	40% maximum

3. The Industrial land use category may include flex facilities subject to the following standards:

Type of flex	Size of building	Manufacturing	Warehousing	Building Area Coverage
Research and Development	150,000 sq.ft. maximum	75% of total area maximum (may include labs and offices)	No Maximum	50% maximum
Office Showroom	150,000 sq.ft. maximum	None permitted	60% warehousing/ 20% retail showroom maximum	50% maximum
Multitenant	120,000 sq.ft.	None permitted	60%retail/ 40%warehousing	50% maximum

Evaluation and Findings of Consistency with Goal 1, Objective 1.5, and Policy 1.5.a: The subject property has an Industrial FLUM Designation, which permits a variety of uses. It is expected that the use of the property would primarily consist of light industrial / multitenant uses.

Objective 2.4: Landscaping and Tree Protection Standards: The City shall adopt landscaping and tree protection standards in order to achieve the aesthetic design

values of the community and preserve tree canopies, as well as specimen protected, heritage and champion trees.

Policy 2.4.a: Landscaping: General – The City shall require landscaping plans to be submitted with each nonresidential and multiple family residential site plan. The minimum landscaped area shall be 30% of the development site. Landscaping designs shall incorporate principles of xeriscaping, where feasible. The City shall develop a list of preferred planting materials to assist in the landscape design. Landscape plans shall include perimeter and internal site landscaping.

Policy 2.4.b: Landscaping: Buffering – A buffer consists of horizontal space (land) and vertical elements (plants, berms, fences, walls) that physically separate and visually screen adjacent land uses. The City shall establish buffer yard requirements that are based on the compatibility of the adjacent uses and the desired result of the buffer.

Evaluation and Findings of Consistency with Objective 2.4 and Policies 2.4.a and 2.4.b: The site plan includes a landscaping plan which demonstrates that the proposed development would comply with all applicable landscaping and buffering standards required by the City's Comprehensive Plan and Land Development Regulations. Upon completion of the development, approximately 32.04% of the subject property would consist of landscaped areas, which exceeds the minimum 30% area required by Policy 2.4.a.

Objective 2.5: Open Space Standards: The City shall utilize open space requirements to preserve the rural character of Alachua, protect natural resources, and provide spaces for people to recreate and gather.

Policy 2.5.a: There shall be a minimum of 10% percent open space required. The City shall establish incentives for the provision of open space beyond minimum requirements.

Evaluation and Findings of Consistency with Objective 2.5 and Policy 2.5.a: The site plan indicates that following completion of the development, the subject property would 1.54 acres of open space (31.95% of the site), exceeding the minimum 10% open space requirement.

Objective 5.1: Natural features: The City shall coordinate Future Land Use designations with appropriate topography, soils, areas of seasonal flooding, wetlands and habitat during review of proposed amendments to the Future Land Use Map and the development review process. Natural features may be included as amenities within a development project.

Evaluation and Findings of Consistency with Objective 5.1: An environmental conditions and site suitability analysis has been provided in this report, and indicates that the development would not adversely affect natural features.

Objective 5.2: Availability of facilities and services: The City shall utilize a concurrency management system to ensure that the adopted level of service standards are maintained.

Policy 5.2.a: All new development shall meet level of service requirements for roadways, potable water and sanitary sewer, stormwater, solid waste, public schools, and improved recreation in accordance with LOS standards adopted in the elements addressing these facilities.

Evaluation and Findings of Consistency with Objective 5.2 and Policy 5.2.a: An analysis of the development's impact to public facilities has been provided within this report. This analysis demonstrates that the development would not adversely affect the level of service (LOS) standard of any monitored public facilities.

Policy 9.1: Any new development within a Commercial or Industrial Future Land Use Map Designation within the corporate limits, where potable water and wastewater service are available, as defined in Policy 1.2.a and Policy 4.2.a of the Community Facilities and Natural Groundwater Aquifer Recharge Element of the City of Alachua Comprehensive Plan, shall connect to the City of Alachua's potable water and wastewater system.

Evaluation and Findings of Consistency with Policy 9.1: The development is located within the City's utility service area and would connect to potable water and wastewater facilities.

Transportation Element

Objective 1.1: Level of Service

The City shall establish a safe, convenient and efficient level of service standard for all motorized and non-motorized transportation systems.

Evaluation and Findings of Consistency with Objective 1.1: An analysis of the development's impacts to transportation facilities is provided within this report. The development would not adversely affect the level of service for transportation facilities.

Policy 1.3.a: The City shall establish minimum and maximum parking standards in order to avoid excessive amounts of underutilized parking areas.

Policy 1.3.d: The City shall require landscaping within parking areas, with an emphasis on canopy trees. The City shall consider establishing incentives for landscaping in excess of minimum standards.

Policy 1.3.f: The City shall establish bicycle parking facility standards based on type of use within developments.

Policy 1.3.g: The City shall require spaces to accommodate persons with physical disabilities as required by the Americans with Disabilities Act.

Evaluation and Findings of Consistency with Objective 1.1 and Policies 1.3.a, 1.3.d, 1.3.f, and 1.3.g: The site plan demonstrates that the development will comply with Objective 1.1 and Policies 1.3.a, 1.3.d, 1.3.f, and 1.3.g, which are implemented by the standards found within Section 6.1 of the City's Land Development Regulations. Required landscaping materials, pedestrian crossings, and connections would be provided within parking areas. The site plan also provides all required bicycle parking facilities and the minimum number of required accessible parking spaces.

Community Facilities & Natural Groundwater Aquifer Recharge Element

Policy 1.1.d:

The City hereby establishes the following level of service standards for sanitary sewer facilities:

Levels of Service

- a. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection (FDEP).
- b. Quantity: System-wide wastewater collection and treatment will be sufficient to provide a minimum of 250 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with F.A.C. 62-600.405, or subsequent provision. This level of service standard shall be re-evaluated one year from the adoption date for the amended Plan.
- c. System capacity: If the volume of existing use in addition to the volume of the committed use of the City's wastewater facility reaches 85% of the permitted capacity design, no further development orders for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Policy 1.1.d: An analysis of the development's impacts to sanitary sewer facilities is provided within this report. The development would not adversely affect the level of service for sanitary sewer facilities.

Policy 1.2.a: The City shall establish a Community Wastewater Service Area, which includes all areas where wastewater service is available. Wastewater service shall be deemed available if:

3. A gravity wastewater system, wastewater pumping station, or force main exists within $\frac{1}{4}$ mile of the property line of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and the gravity wastewater system, wastewater pumping station, or force main can be accessed through public

utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 1.2.a: The development is located within the City's utility service area and would connect to the City's wastewater system.

Policy 2.1.a: The City hereby establishes the following level of service standards for solid waste disposal facilities:

<u>FACILITY TYPE</u>	<u>LEVEL OF SERVICE STANDARD</u>
Solid Waste Landfill	.73 tons per capita per year

Evaluation and Findings of Consistency with Objective 2.1.a: An analysis of the development's impacts to solid waste facilities is provided within this report. The development would not adversely affect the level of service for solid waste facilities.

Objective 3.1: Ensure provision of drainage and stormwater retention through level of service standards and design requirements to minimize flooding and to protect and improve water quality.

Policy 3.1.f: The City shall permit the use of off-site retention facilities, if they are part of previously approved master stormwater retention or detention facility.

Evaluation and Findings of Consistency with Objective 3.1 and Policy 3.1.f: The development would convey the development's stormwater runoff to an existing stormwater basin north of the subject property. The stormwater basin was previously permitted and designed as a master system to serve Upland Industrial Park.

Policy 4.1.b: The City shall establish a Community Potable Water Service Area, which includes all areas where potable water service is available. Water service shall be deemed available if:

3. A water main exists within ¼ mile of any residential subdivision with more than 5 units, or any multi-family residential development, or any commercial development, or any industrial development and water service can be accessed through public utility easements or right of ways. The distance shall be measured as required for construction of the infrastructure along public utility easements and right of ways.

Evaluation and Findings of Consistency with Policy 4.1.b: The development is located within the City's utility service area and would connect to the City's potable water system.

Policy 4.1.c: The City establishes the following level of service standards for potable water:

1. Quality: Compliance with all applicable standards of the U.S. Environmental Protection Agency (EPA) and the Florida Department of Environmental Protection.
2. Quantity: System-wide potable water distribution and treatment will be sufficient to provide a minimum of 275 gallons per day per equivalent residential unit (ERU) on an average annual basis. Plant expansion shall be planned in accordance with Florida Administrative Code.
3. System Capacity: If the volume of existing use in addition to the volume of the committed use of the City's potable water facility reaches 85% of the permitted design capacity, no further development orders or permits for projects without reserved capacity will be issued until additional capacity becomes available or funds to increase facility capacity are committed in accordance with a development agreement.

Evaluation and Findings of Consistency with Objective 4.1.c: An analysis of the development's impacts to potable water facilities is provided within this report. The development would not adversely affect the level of service for potable water facilities.

Conservation & Open Space Element

Policy 1.2.a:

The City shall ensure that land use designations, development practices and regulations protect native communities and ecosystems, and environmentally sensitive lands.

Policy 1.3.e:

The City's land use designations shall offer the best possible protection to threatened and endangered species.

Evaluation and Findings of Consistency with Policy 1.2.a and 1.3.e: The development would have minimal impacts upon environmentally sensitive lands. Please reference the Environmental Conditions Analysis provided within this report for further review of specific features and environmental features.

ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to best available data, there are no wetlands located on the subject property. If any wetlands are identified on the subject property at a later time, these areas will be subject

to the applicable protection standards of the City of Alachua Comprehensive Plan and the Land Development Regulations (LDRs.)

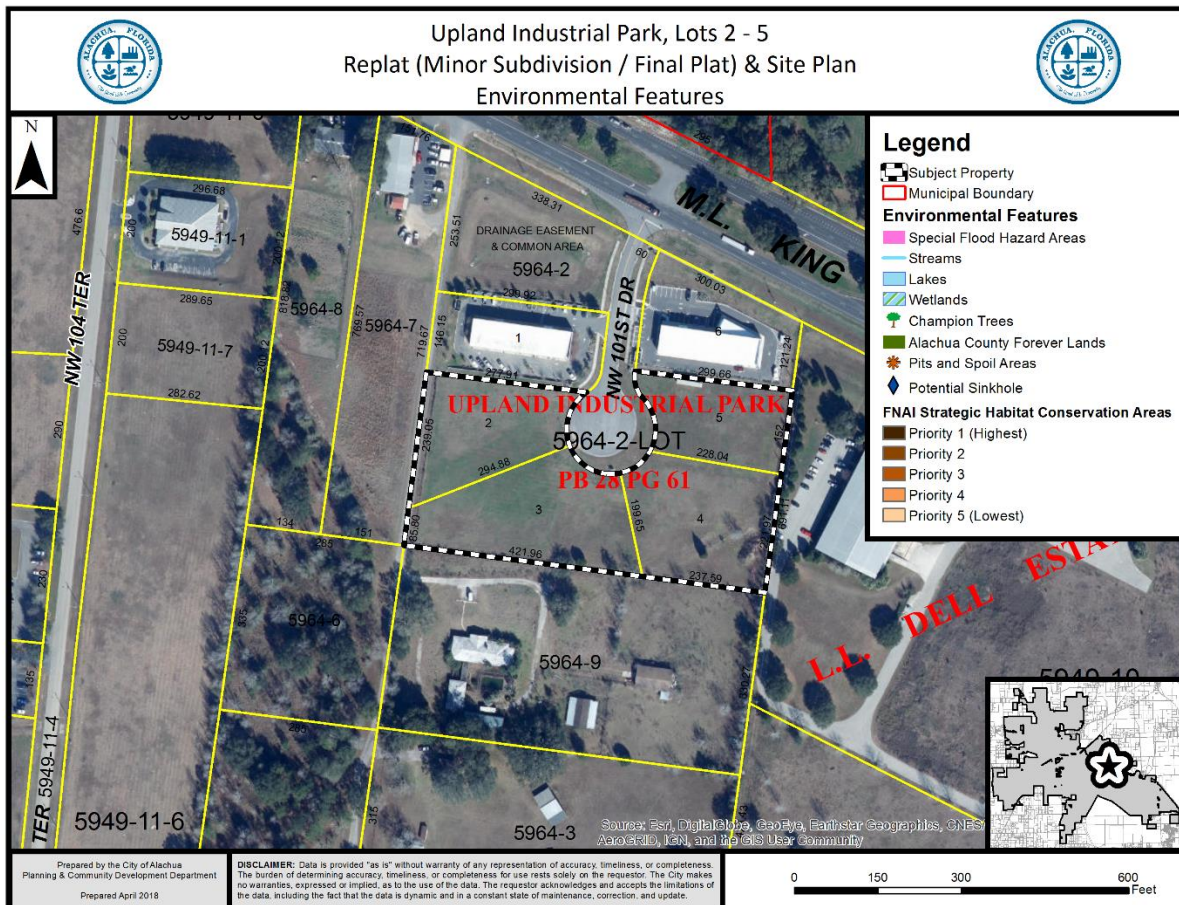
Evaluation: No wetlands have been identified on subject property therefore, there are no issues related to wetland protection.

Strategic Ecosystems

Strategic Ecosystems were identified by an ecological inventory project in a report prepared for Alachua County Department of Growth Management in 1987 and updated in 1996. The purpose of the inventory was to identify, inventory, map, describe, and evaluate the most significant natural biological communities in private ownership in Alachua County.

Evaluation: The subject property is not located within or adjacent to a Strategic Ecosystem, therefore, the development will have no impact upon any Strategic Ecosystem(s) identified within the ecological inventory report.

Map 2. Environmental Features



Regulated Plant & Animal Species

The subject property is not known to contain any species identified as endangered, threatened, or of special concern. The Florida Natural Areas Inventory (FNAI) has identified areas throughout the State of Florida which may contain good quality natural communities. This data layer is known as the Potential Natural Areas (PNA) data layer, and identifies privately owned lands that are not managed or listed for conservation purposes. These areas were delineated by FNAI scientific staff through interpretation of natural vegetation from 1988-1993 FDOT aerial photographs and from input received during Regional Ecological Workshops held for each regional planning council. These workshops were attended by experts familiar with natural areas in the region. Potential Natural Areas were assigned ranks of Priority 1 through Priority 5 based on size, perceived quality, and type of natural community present. The areas included in Priority 5 are exceptions to the above criteria. These areas were identified through the same process of aerial photographic interpretation and regional workshops as the PNA 1 through 4 ranked sites, but do not meet the standard criteria.

Evaluation: No species identified as endangered, threatened, or of special concern are known to exist on the subject property. While the FNAI PNA data layer provides an indicator of potential of lands to feature habitat which could support species identified as endangered, threatened, or of special concern, this data is not intended for use in a regulatory decision making process. The data must be referenced only as a resource to indicate the potential of land to support wildlife. If a regulated plant or animal species is identified during development, the applicant must adhere to the applicable standards in the City of Alachua Comprehensive Plan and the Land Development Regulations.

Soil Survey

The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Alachua County, Florida, dated August 1985. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff.) There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

There are two (2) soil types found on the subject property:

Arredondo Fine Sand (5% – 8% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only slight limitations as sites for homes and local roads and moderate limitations for small commercial buildings.

Kendrick Sand (5% – 8% slopes)

Hydrologic Soil Group: A

This soil type is well drained and permeability is rapid at the surface. This soil type poses only moderate limitations as sites for homes and small commercial buildings because of the slope.

Evaluation: There are no significant limitations for small commercial buildings, therefore there are no known issues related to the soils located on the subject property.

Flood Potential

Panel 0140D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated June 16, 2006, indicates that the subject property is in Flood Zone X (areas determined to be outside of the 500-year floodplain) and Flood Zone A (areas determined to be subject to flooding by the 1% annual chance flood [100-year flood], with no Base Flood Elevation [BFE] determined.)

The proposed buildings would be located within areas of the subject property located in Flood Zone X (areas determined to be outside of the 500-year floodplain).

Evaluation: Since the proposed buildings would be located within areas of the subject property located in Flood Zone X (areas determined to be outside of the 500-year floodplain), there are no issues related to flood potential.

Karst-Sensitive Features

Karst sensitive areas include geologic features, such as fissures, sinkholes, underground streams, and caverns, and are generally the result of irregular limestone formations. The subject property is located within an area where sinkholes may potentially allow hydrologic access to the Floridan Aquifer System, however, best available data indicates that no sinkholes or known indicators of sinkhole activity are located on the subject property.

Evaluation: There are no known geologic features located on the subject property which could indicate an increased potential for karst sensitivity.

Wellfield Protection Zones

Policy 7.2.1 of the Future Land Use Element of the City's Comprehensive Plan establishes a 500 foot radius area around each city-owned potable water well.

Evaluation: The subject property is not located within a City of Alachua wellhead protection zone as identified on the City of Alachua Wellfield Primary Protection Zones Map of the City's Comprehensive Plan, therefore, there are no issues related to wellfield protection.

Historic Structures/Markers and Historic Features

The subject property does not contain any historic structures as determined by the State of Florida and the Alachua County Historic Resources Inventory. Additionally, the subject property is not located within the City's Historic Overlay District, as established by Section 3.7 of the City's Land Development Regulations.

Evaluation: There are no issues related to historic structures or markers.

COMPLIANCE WITH LAND DEVELOPMENT REGULATIONS

SITE PLAN STANDARDS

Section 2.4.9(E) of the City's Land Development Regulations (LDRs) establishes the standards with which all site plans must be found to be compliant. The application has been reviewed for compliance with the standards of Section 2.4.9(E.) An evaluation and findings of the application's compliance with the standards of Section 2.4.9(E) is provided below.

(E) Site Plan Standards

A Site Plan shall be approved only upon a finding the applicant demonstrates all of the following standards are met:

(1) *Consistency with Comprehensive Plan*

The development and uses in the Site Plan comply with the Goals, Objectives and Policies of the Comprehensive Plan.

Evaluation & Findings: An analysis of the application's consistency with the Comprehensive Plan has been provided in this report.

(2) *Use Allowed in Zone District*

The use is allowed in the zone district in accordance with Article 4: *Use Regulations*.

Evaluation & Findings: The subject property is zoned Light & Warehouse Industrial (ILW). The site plan proposes the construction of two (2) buildings, a ±23,439 square foot building and a ±26,682 square foot building. Future tenants of the proposed buildings are unknown, however, it is anticipated that the uses within the buildings will be a type of use defined by the City's LDRs as "light manufacturing".

Article 10 of the City's LDRs defines "light manufacturing" as: "the mechanical transformation of predominantly previously prepared materials into new products, including assembly of component parts and the creation of products for sale to the wholesale or retail markets or directly to consumers. Such uses are wholly confined within an enclosed building, do not include processing of hazardous gases and chemicals, and do not emit noxious noise, smoke, vapors,

fumes, dust, glare, odor or vibration. Examples include, but are not limited to: production or repair of small machines or electronic parts and equipment; woodworking and cabinet building; publishing and lithography; computer design and development; research, development, testing facilities and laboratories; apparel production; sign making; assembly of prefabricated parts; manufacture of electric, electronic, or optical instruments or devices; manufacture and assembly of artificial limbs, dentures, hearing aids and surgical instruments; manufacture, processing, and packing of food products, cosmetics; and manufacturing of components, jewelry, clothing, trimming decorations and any similar item” (emphasis added).

Table 4.1-1 of the City’s LDRs establishes the allowable uses within each zoning district, and indicates that the ILW zoning district permits light manufacturing uses.

(3) *Zone District Use-Specific Standards*

The development and uses in the Site Plan comply with Section 4.3, *Use-Specific Standards*.

Evaluation & Findings: The use type proposed by the development is the “light manufacturing” use type. There are no Use-Specific Standards which apply to the “light manufacturing” use type.

(4) *Development and Design Standards*

The development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 6: *Development Standards*.

Evaluation & Findings: The application has been reviewed for and is found to be in compliance with all relevant provisions of Article 6, *Development Standards*, including but not limited to *Section 6.1*, Off Street Parking & Loading Standards, *Section 6.2*, Tree Protection/Landscape/Xeriscape Standards, *Section 6.3*, Fencing Standards, *Section 6.4*, Exterior Lighting Standards, *Section 6.7*, Open Space Standards, and *Section 6.9*, Environmental Protection Standards.

(5) *Subdivision Standards*

In cases where a subdivision has been approved or is pending, the development proposed in the Site Plan and its general layout and design comply with all appropriate standards in Article 7: *Subdivision Standards*.

Evaluation & Findings: No subdivision of land is proposed, therefore, compliance with this standard is not applicable.

(6) *Complies with All Other Relevant Laws and Ordinances*

The proposed site plan development and use complies with all other relevant City laws and ordinances, state and federal laws, and regulations.

Evaluation & Findings: The application is consistent with all other relevant City ordinances and regulations.

PUBLIC FACILITIES IMPACT

Traffic Impact

Table 2. Affected Comprehensive Plan Roadway Segments¹

Segment Number ^{2, 3}	Segment Description	Lanes	Functional Classification	Area Type	Level of Service (LOS)
3/4 (106)	US Highway 441 (from NW 126 th Ave to SR 235)	4D	Principle Arterial	Urban	D

¹ Source: City of Alachua Comprehensive Plan, Traffic Circulation Element.
² For developments generating less than 1,000 trips, affected roadway segments are identified as all those wholly or partially located within ½ mile of the development's ingress/egress, or to the nearest intersecting major street, whichever is greater [Section 2.4.14(H)(2)(a) of the LDRs].
³ FDOT roadway segment number shown in parenthesis. For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

Table 3. Potential Trip Generation

Land Use ¹	AADT (Enter/Exit) ²	AM Peak Hour (Enter/Exit) ²	PM Peak Hour (Enter/Exit) ²
General Light Industrial (ITE Code 110)	172 (86 / 86)	32 (28 / 4)	29 (5 / 24)
General Office Building (ITE Code 710)	149 (74 / 75)	22 (19 / 3)	22 (3 / 19)
Total	321 (160 / 161)	54 (47 / 7)	51 (8 / 43)

¹ Source: ITE Trip Generation, 10th Edition.
² Formulas: AADT – ITE Code 110: 4.96 trips per 1,000 square feet of floor area x 34,700 square feet (50% entering/50% exiting); AM Peak Hour – 0.92 trips per 1,000 square feet of floor area x 34,700 square feet (87% entering/13% exiting); PM Peak Hour – 0.83 trips per 1,000 square feet of floor area x 34,700 square feet (18% entering/82% exiting); ITE Code 710: 9.74 trips per 1,000 square feet of floor area x 15,300 square feet (50% entering/50% exiting); AM Peak Hour – 1.47 trips per 1,000 square feet of floor area x 15,300 square feet (88% entering/12% exiting); PM Peak Hour – 1.42 trips per 1,000 square feet of floor area x 15,300 square feet (18% entering/82% exiting);

Table 4a. Projected Impact on Affected Comprehensive Plan Roadway Segments (AADT)

Traffic System Category	Segment 3/4 US Highway 441 (from NW 126 th Ave to SR 235) ¹
Average Annual Daily Trips	
Maximum Service Volume ²	45,700
Existing Traffic ³	18,579
Reserved Trips ⁴	1,425
Available Capacity ⁴	25,696
Increase in Daily Trips Generated by Development ⁵	321
Residual Capacity⁶	25,375

¹ FDOT roadway segment number shown in parenthesis. For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.
² AADT & Peak Hour MSVs calculated using LOSPLAN 2012. County Facilities reflect a 10 percent reduction in the MSV calculated within LOSPLAN 2012 as set forth in the Generalized Tables for AADT / Peak Hour Volumes, FDOT 2018 Q/LOS Handbook.
³ Florida State Highway System Level of Service Report 2016, Florida Department of Transportation, District Two (published August 2017).
⁴ Source: City of Alachua January 2019 Development Monitoring Report.
⁵ This application is for a Final Development Order. Concurrency will be reserved.

Table 4b. Projected Impact on Affected Comprehensive Plan Roadway Segments (PM Peak Hour)

Traffic System Category	Segment 3/4 US Highway 441 (from NW 126 th Ave to SR 235) ¹
PM Peak Trips	
Maximum Service Volume ²	4,110
Existing Traffic ³	1,765
Reserved Trips ⁴	199
Available Capacity ⁴	2,146
Increase in PM Peak Hour Trips Generated by Development	51
Residual Capacity⁵	2,095
¹ FDOT roadway segment number shown in parenthesis. For the purposes of concurrency management, COA Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity. ² AADT & Peak Hour MSVs calculated using LOSPLAN 2012. County Facilities reflect a 10 percent reduction in the MSV calculated within LOSPLAN 2012 as set forth in the Generalized Tables for AADT / Peak Hour Volumes, FDOT 2018 Q/LOS Handbook. ³ Florida State Highway System Level of Service Report 2016, Florida Department of Transportation, District Two (published August 2017). ⁴ Source: City of Alachua January 2019 Development Monitoring Report. ⁵ This application is for a Final Development Order. Concurrency will be reserved.	

Evaluation: The impacts generated by the development would not adversely affect the Level of Service (LOS) of the roadway segment identified above. The impacts that would be generated by the development are acceptable.

Potable Water Impacts

Table 5. Potable Water Impacts

System Category	Gallons Per Day
Current Permitted Capacity ¹	2,300,000
Less Actual Potable Water Flows ¹	1,236,000
Reserved Capacity ²	51,675
Available Capacity	1,012,325
Projected Potable Water Demand from Application ³	3,758
Residual Capacity	1,008,567
Percentage of Permitted Design Capacity Utilized	56.15%
Sources: ¹ City of Alachua Public Services Department, March 2018 ² City of Alachua January 2019 Development Monitoring Report ³ Source: Chapter 64E-6, Florida Administrative Code; Formula: 15 gallons per day per 100 square feet x 25,050 square feet.	

Evaluation: The impacts to the potable water system that would be generated by the development would not adversely affect the Level of Service (LOS) for potable water facilities. The impacts that would be generated by the development are therefore acceptable.

Sanitary Sewer Impacts

Table 6. Sanitary Sewer Impacts

System Category	Gallons Per Day
Treatment Plant Current Permitted Capacity	1,500,000
Less Actual Treatment Plant Flows ¹	615,000
Reserved Capacity ²	47,647
Available Capacity	765,353
Projected Sanitary Sewer Demand from Application ³	3,758
Residual Capacity	761,595
Percentage of Permitted Design Capacity Utilized	49.23%
Sources: ¹ City of Alachua Public Services Department, March 2018 ² City of Alachua January 2019 Development Monitoring Report ³ Source: Chapter 64E-6, Florida Administrative Code; 15 gallons per day per 100 square feet x 25,050 square feet.	

Evaluation: The impacts to the sanitary sewer system that would be generated by the development would not adversely affect the Level of Service (LOS) for sanitary sewer facilities. The impacts that would be generated by the development are therefore acceptable.

Solid Waste Impacts

Table 7. Solid Waste Impacts

System Category	Pounds Per Day	Tons Per Year
Demand from Existing Development ¹	39,744	7,253.28
Reserved Capacity ²	4,672.39	852.71
Demand Generated by Application ³	602	110
New River Solid Waste Facility Capacity ⁴	50 years	
Sources:		
¹ Bureau of Economic & Business Research, University of Florida, Estimates of Population by County and City in Florida (2017); Policy 2.1.a, CFNGAR Element (Formula: 9,936 persons x 0.73 tons per person per year).		
² City of Alachua January 2019 Development Monitoring Report.		
³ Sincero and Sincero; Environmental Engineering: A Design Approach. Prentice Hall, New Jersey, 1996		
⁴ New River Solid Waste Facility. April 2018.		

Evaluation: The impacts to the solid waste system that would be generated by the development would not adversely affect the Level of Service (LOS) for solid waste facilities. The impacts that would be generated by the development are therefore acceptable.

Recreation Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to recreation facilities. The development will have no impact to the Level of Service (LOS) of recreation facilities.

Public School Facilities

The proposed development is a nonresidential development. Therefore, there are no impacts to public school facilities. The development will have no impact to the Level of Service (LOS) of public school facilities.

EXHIBIT "A"
TO
UPLAND INDUSTRIAL PARK
LOTS 2 – 5
SITE PLAN
STAFF REPORT

CONDITIONS:

1. The applicant agrees that the Replat of Lots 2, 3, 4, & 5, Upland Industrial Park, which was approved by the City Commission on February 11, 2019, shall be recorded in the Official Records of Alachua County, Florida prior to submitting a building permit application for any building associated with this Site Plan application and Development Order. In accordance with Section 2.4.10(G)(4) of the City's Land Development Regulations, the Replat shall be recorded within 30 days after is approval by the City Commission or it shall be null and void.
2. The applicant agrees it shall obtain all other applicable local, state, and federal permits before the commencement of the development.
3. The applicant agrees that Conditions 1 – 2 as stated above do not inordinately burden the land and shall be binding upon the property owner, including any subsequent property owners, successors, or assigns, and that the development shall comply with Conditions 1 – 3 as stated herein.

**EXHIBIT “B”
TO
UPLAND INDUSTRIAL PARK
LOTS 2 – 5
SITE PLAN
STAFF REPORT**

**SUPPORTING APPLICATION MATERIALS
SUBMITTED BY CITY STAFF TO THE
PLANNING AND ZONING BOARD**



City of Alachua

ADAM BOUKARI
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 8, 2019

Also sent electronically to daniely@chw-inc.com

Daniel Young, P.E., LEED AP
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Planning & Zoning Board (PZB) Public Hearing: Upland Industrial Park Lots 2 – 5 Site Plan

Dear Mr. Young:

The City of Alachua has reviewed the revised application materials for the above referenced application, submitted on December 27, 2018, and finds that the materials address the Staff's review comments. As such, the application may now be scheduled for a hearing before the Planning and Zoning Board (PZB).

You must provide 13 *double-sided, three-hole punched, color sets* of the **complete** application package and plans and a digital copy of all materials in PDF format on a CD *no less than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*. The application has been scheduled for the **February 12, 2019** PZB meeting; therefore, the above referenced materials must be submitted to the City no later than **Tuesday, January 29, 2018**. Materials may be submitted earlier than this date.

Should you have any questions, please feel free to contact me at (386) 418-6100, ext. 107 or via email at jtabor@cityofalachua.com.

Sincerely,

Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director (*by electronic mail*)
Adam Hall, AICP, Planner (*by electronic mail*)
Bryan Nazworth, Upland Properties of NCF, LLC (*by electronic mail*)
Project File



January 8, 2019


Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
PO Box 9
Alachua, FL 32616

Re: Review of Upland Industrial Park Lot 2, 3, 4, and 5 Site Plan

Dear Mr. Tabor,

Thank you for the opportunity to review the Upland Industrial Park Lot 2, 3, 4, and 5 Site Plan. Our comments have been satisfied. If you have any questions, please contact my office at 352-373-3541.

Sincerely,



Caitlyn Drane, PE
Project Manager



City of Alachua

ADAM BOUKARI
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

December 12, 2018

Also sent by electronic mail to johnm@chw-inc.com

Daniel Young, P.E., LEED AP
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Review of Revised Application & Materials, Dated November 29, 2018: Upland Industrial Park, Lots 2 – 5 Site Plan

Dear Mr. Young:

On November 29, 2018, the City of Alachua received your revised application and materials for the Upland Industrial Park, Lots 2 – 5 Site Plan and Replat. The revised application and materials were submitted to address the comments issued in a letter dated September 6, 2018, and issued at the project's Development Review Team (DRT) Meeting, held on April 23, 2018.

The revised application and materials have been reviewed for compliance with the applicable review standards, including the City's Comprehensive Plan and Land Development Regulations (LDRs). Based upon Staff's review, additional revisions must be made to the application before the application may be scheduled for a hearing before the Planning & Zoning Board.

Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed in by **5:00 PM on Thursday, December 27, 2018**. A total of four (4) copies of the **complete** application package (i.e., all application materials and attachments) and a CD containing a PDF of **all** application materials must be provided by this date.

Please address the following:

1. **Compliance with Section 6.1, Off-Street Parking and Loading Standards (and Traffic Circulation)**
 - a. ...Office space is only permitted as a limited / accessory type use within the Industrial FLUM Designation, such as an accessory use to light manufacturing. Parking criteria for each use type are established in Table 6.1-1....

Remaining Issues: Offices (as a principle use) are not permitted in ILW zoning. Parking requirements must be calculated using the parking standard for the principle use of the property / building. The principle use must be a permitted use in the zoning district of the property, and must use the using the parking standard for the permitted principle use, as set forth in Table 6.1-1.

The "light manufacturing" use type is permitted in ILW zoning. This use type permits offices as a part of the use. Table 6.1-1 establishes a parking standard of 1 space per 350 square feet of floor area for the office portion of a light manufacturing use.

The applicant's response letter states "the office space reflects the office and business component of the industrial operation of the tenants." As noted above, offices as a part of a permitted industrial use type, such as light manufacturing, is permitted in the ILW zoning district, however, the parking calculation must be as set forth in Table 6.1-1 for the light manufacturing use type. Revise parking calculations accordingly.

2. Compliance with Section 6.2, Tree Protection / Landscape / Xeriscape Standards

- c. Shrubs not provided within interior parking lot landscape islands. Per Section 6.2.2(D)(2)(a)(iii), shrubs shall be required at the minimum rate of ten shrubs per canopy or ornamental/understory tree. Revise accordingly.

Remaining Issues: Comment was not addressed. No shrubs are provided within interior parking lot landscape islands. Revise accordingly.

- f. Section 6.2.3(B) requires sides of waste receptacle screens providing service to be gated, and for such gates to be constructed of a material consistent with screening material used on all other sides of the receptacle. Architectural plans note gate to be constructed of "decorative wood slats or chain link with vinyl slats". Chain link / vinyl slats are not consistent with proposed stucco screen wall. Revise accordingly.

Remaining Issues: Comment was not addressed. Sheet A310 still states "decorative vertical wood slats or chain link with vertical vinyl slats". Revise accordingly.

8. Miscellaneous / General Comments

- d. C0.00: Note 11 – Note should state that uses "shall be" consistent with the uses permitted in ILW zoning. "Proposed Possible Uses" is also not necessary, given the statement which proceeds this information.

Remaining Issues: There is a typographical error in the revised statement.

Additional Comments Based Upon 8/9/2018 Plans

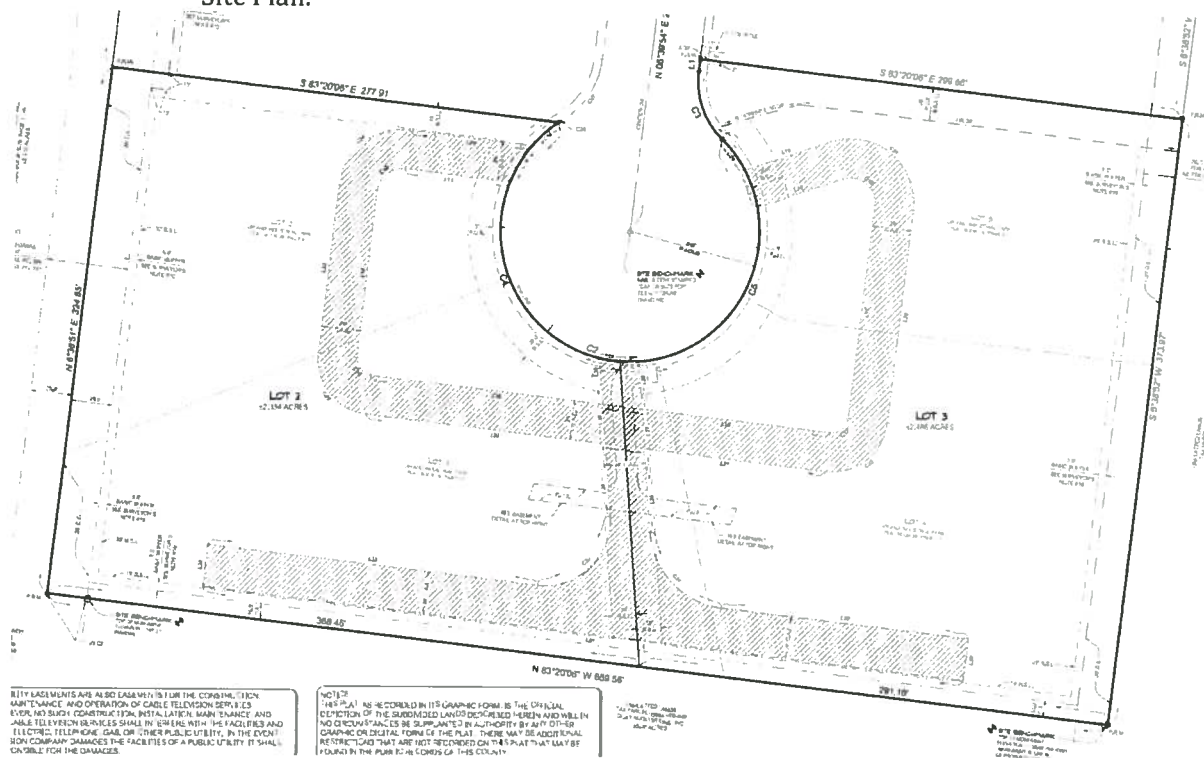
5. Sheet C1.20: Correct the location of ADA accessible path / sidewalk from ROW to building on Lots 4 – 5.

Remaining Issues: ADA accessible path and sidewalk are do not align. Revise accordingly

Additional Comments Based Upon 11/29/2018 Plans

1. The applicant must address the comments provided by Caitlyn Drane, P.E., of EDA Engineers – Surveyors – Planners, Inc., in a letter dated December 11, 2018.
2. There are inconsistencies between civil sheets. For example, some civil sheets depict 2 bicycle racks on Lots 4 – 5, but other sheets depict 6 racks. Ensure all plan sheets are consistent with one another and notes throughout the plan set are revised as needed.
3. Sheet C0.00: A "Required Bicycle Parking" section has been added under Note 3, Parking Calculations. This section states no bicycle parking is required for Lots 2 – 3. However, bicycle parking is required for Lots 2 – 3. The rate of provision, per Section 6.1.4(D)(1)(a), is one bicycle space for every 10 required parking spaces. Revise note to reflect bicycle parking requirements.
4. Sheet C0.00: Setbacks.
 - a. Setbacks are not consistent with those shown on companion Replat of Lots 2 – 5. See image below.

- b. Setback notes a side setback "along NW 101st Drive". This is the front setback for the proposed development.
- c. Setbacks include a rear setback "from adjacent Lot 5". Lot 5 is part of the proposed Site Plan.



If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,

Justin Tabor, AICP
Principal Planner

Attachment: Letter from Caitlyn Drane, P.E., of EDA Engineers – Surveyors – Planners, Inc., dated December 11, 2018

cc: Adam Boukari, City Manager (by electronic mail)
Kathy Winburn, AICP, Planning & Community Development Director (by electronic mail)
Adam Hall, AICP, Planner (by electronic mail)
Bryan Nazworth, Upland Properties of NCF, LLC (by electronic mail)
Project File

December 11, 2018

Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
PO Box 9
Alachua, FL 32616



Re: Upland Industrial Park, Lots 2-5 - Site Plan

Dear Mr. Tabor,

Thank you for the opportunity to review the Upland Industrial Park, Lots 2-5 - Site Plan.
Please find my comments below:

Comments:

Sheet C0.20

1. Fill out the Stormwater Pollution Prevention Plan Notes. The sheet as submitted shows "?????????????" in many locations.

Sheets C2.01/C2.02 (Sheet #s Changed to C2.10/C2.11)/Stormwater Management Report – Addendum 1

1. Per Previous Comment: *Provide stormwater pipe calculations to demonstrate that the existing inlets and pipes in NW 101st Drive can accommodate the runoff generated by the proposed development. The permitted drainage area from ERP #209863-2 shows contours indicating that a portion of the site would have been collected and piped along the western property line. The proposed project shows that the entire site would be sheet flowed into the street and collected by the inlets within the road. Provide calculations for the proposed conditions showing that the existing inlets/pipes have the capacity to serve the entire development as is shown in the plans. Include a sub-drainage area exhibit showing the drainage areas going to each inlet.*

It is noted that pipe calculations were included. The calculations provided did not address the proposed piping. Provide pipe calculations for the piping from the most upstream inlet to the existing mitered end section within the existing basin. It appears that there should be two sets of calculations, S-11 to the existing MES and then the proposed S-13 to the other existing mitered end section.

The calculations should demonstrate that the proposed pipes are sized adequately and that the system they are being connected to has sufficient capacity for the pipes to be connected.

The revised Stormwater Management Report - Addendum 1 should include a copy of the sub-drainage areas going to each inlet, a print out of the plan view, and a copy of the results printed in FDOT format.

2. *Per previous comment: Are the inlets on Lot 6 designed to accommodate the drainage from the proposed site? Provide calculations that demonstrate that the inlets can handle the additional runoff. Is there a Drainage Easement to allow the proposed site to discharge onto the adjacent property? The calculations submitted do not address these inlets. Provide calculations for the proposed conditions. Include a sub-drainage area map showing the drainage areas going to each inlet.*

Provide a copy of the plan view from the Hydraflow model with the pipe calculations. The exhibit was not attached to the calculations.

Sheet C2.33

1. On Typical Retaining Wall Section A-A and B-B, label the side slopes of the proposed swale, the min depth of the proposed swale, and the minimum width of the proposed swale.

If you have any questions, please contact my office at 352-373-3541.

Sincerely,



Caitlyn Drane, P.E.
Project Manager

Zimbra

ju_tabor@cityofalachua.org

Upland

From : John Maxfield <JohnM@chw-inc.com>

Tue, Nov 27, 2018 02:15 PM

Subject : Upland

 1 attachment

To : Justin Tabor <jtabor@cityofalachua.org>

Justin – can you put the drawings at the front desk in the next hour. We'll come by around 3:15 and pick them up. We'll get the updated sets back to you this afternoon along with the updated CD.

JOHN MAXFIELD, PE | Senior Engineer

t: (352) 331-1976 ext 142 | **c:** (352) 672-0227

e: johnm@chw-inc.com

w: www.chw-inc.com



JACKSONVILLE.GAINESVILLE.OCALA

t: (904) 619-6521 | 8563 Argyle Business Loop, Suite 3, Jacksonville, FL 32244

t: (352) 331-1976 | 11801 Research Drive, Alachua, FL 32615

t: (352) 414-4621 | 101 NE 1st Avenue, Ocala, FL 34470

PLANNING DESIGN SURVEYING ENGINEERING CONSTRUCTION

RE: Upland**From :** John Maxfield <JohnM@chw-inc.com>

Mon, Nov 19, 2018 09:41 AM

Subject : RE: Upland 1 attachment**To :** Justin Tabor <jtabor@cityofalachua.org>**Cc :** Kathy Winburn <kwinburn@cityofalachua.org>, Aaron Hickman <AaronH@chw-inc.com>

Thanks, Justin. I was working off information from our office regarding the schedule. We must just have an internal schedule based on what we believe it may take to make the meeting. I have a couple of updated architectural drawings that show the fire walls and I also will bring by an updated cover sheet that addresses the comment about the bicycle parking (although we have the required bicycle parking shown on the drawings) that I will have brought over later today.

As far as the plat goes, Tommy is no longer with CHW and Aaron Hickman (copied on this email) has picked up this project. I'll forward the comments to him to address.

JOHN MAXFIELD, PE | Senior Engineer
t: (386) 518-5142 | c: (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com

From: Justin Tabor <jtabor@cityofalachua.org>**Sent:** Monday, November 19, 2018 8:19 AM**To:** John Maxfield <JohnM@chw-inc.com>**Cc:** Thomas Bon <tommyb@chw-inc.com>; Kathy Winburn <kwinburn@cityofalachua.org>**Subject:** Re: Upland

John,

We received the revised application and materials for the Upland site plan on Thursday, 11/15. I'm not sure where the date of 11/15 to resubmit for the 1/8 PZB was derived, but we will review the revised application and materials and let you know if there are any remaining comments to address in order for the application to be able to be scheduled for a public hearing.

As we've discussed previously, the City Commission must first approve the replat of Lots 2 - 5 before the PZB can consider the site plan. There were 2 comments sent by email to Tommy on 10/23 which need to be addressed in order for the replat to be scheduled for a public hearing. I haven't received a response to these comments. Given notice requirements, we are unable to schedule the replat for the 12/10 City Commission Meeting. Due to the holidays, the City Commission meets only once in December; the next meeting after the 12/10 meeting will be 1/14/19.

For convenience, the 2 remaining comments on the replat application are below. I have also attached the replat submitted on 10/18 with comments to further explain the second comment below:

- **Updated Title Opinion:** The response received on 10/18/18 states the updated title opinion letter has been requested and will be provided as soon as it is received. This must be received and deemed to meet the requirements of the City's LDRs and Chapter 177, F.S., before the item can be scheduled for a hearing.
- **Cross Access Easement:** It is unclear on the plat if the Cross Access Easement covers the area near the south end of the cul-de-sac (as shown on the proposed Site Plan). This should be clarified through call outs or other means that clearly indicate the Cross Access Easement extends over the area and connects to the Cross Access Easement extending east / west south of the cul-de-sac. There are also lines that depict the Cross Access Easement that cross, and could be clarified to reduce confusion between the Cross Access Easement and the PUE in the same area. See the attached drawing with notes.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

City Hall Hours of Operation

Monday - Thursday, 7:30 AM - 6:00 PM

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: "John Maxfield" <JohnM@chw-inc.com>
To: "Justin Tabor" <jtabor@cityofalachua.org>
Sent: Thursday, November 15, 2018 12:51:00 PM
Subject: Upland

Justin – we are working to resubmit Upland today but I just got a curve ball thrown at me by the architect. If we don't get this submitted to you until Monday morning, can you still get the staff report ready by 12/12 for a P&Z hearing on 1/8? Alternatively, can I submit everything today and submit a revision to the fire flow on Monday once we get things resolved with the architect? Let me know as soon as you can. Thanks.

JOHN MAXFIELD, PE | Senior Engineer
t: (352) 331-1976 ext 142 | **c:** (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com



JACKSONVILLE.GAINESVILLE.OCALA
t: (904) 619-6521 | 8563 Argyle Business Loop, Suite 3, Jacksonville, FL 32244
t: (352) 331-1976 | 11801 Research Drive, Alachua, FL 32615
t: (352) 414-4621 | 101 NE 1st Avenue, Ocala, FL 34470
PLANNING DESIGN SURVEYING ENGINEERING CONSTRUCTION

RE: Upland resubmittal

From : John Maxfield <JohnM@chw-inc.com>
Subject : RE: Upland resubmittal
To : Justin Tabor <jtabor@cityofalachua.org>

Wed, Sep 19, 2018 09:59 AM

1 attachment

Let me check on that. I'll let you know about the replat.

JOHN MAXFIELD, PE | Director of Land Development
t: (386) 518-5142 | c: (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]
Sent: Wednesday, September 19, 2018 9:56 AM
To: John Maxfield <JohnM@chw-inc.com>
Subject: Re: Upland resubmittal

John,

Thank you for the update. Is this applicable to the replat as well? Resubmitting the site plan (and replat) next week should not affect the timing of the site plan public hearing. The replat will need to go to the Commission first, which is the reason for my inquiry about resubmitting that application.

Sincerely,

Justin Tabor, AICP
Principal Planner
City of Alachua
15100 NW 142nd Terrace | PO Box 9
Alachua, Florida 32616
386.418.6100 x 107 | fax: 386.418.6130
jtabor@cityofalachua.com

City Hall Hours of Operation
Monday - Thursday, 7:30 AM - 6:00 PM

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: "John Maxfield" <JohnM@chw-inc.com>
To: "Justin Tabor" <jtabor@cityofalachua.org>
Sent: Wednesday, September 19, 2018 9:16:55 AM
Subject: Upland resubmittal

Justin – due to some conflicting submittals, we will not be able to resubmit by 9/20 as requested in your letter. We will resubmit sometime next week. Let me know if that is a problem. Thanks.

JOHN MAXFIELD, PE | Director of Land Development
t: (352) 331-1976 ext 955 | c: (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com



JACKSONVILLE.GAINESVILLE.OCALA
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PLANNING DESIGN.SURVEYING ENGINEERING.CONSTRUCTION



City of Alachua

ADAM BOUKARI
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: September 13, 2018

TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. *RV*
Public Services Director

RE: Upland Industrial Park (Lots 2-5) (Replat)

Public Services have reviewed the Upland Industrial Park (Lots 2- 5) Replat Plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	No Comments
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Justin Tabor – AICP Planner
Harry Dillard – Lead Engineering Technician



City of Alachua

ADAM BOUKARI
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

September 6, 2018

Also sent by electronic mail to johnm@chw-inc.com

John Maxfield
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Review of Revised Application & Materials, Dated August 9, 2018: Upland Industrial Park,
Lots 2 – 5 Site Plan

Dear Mr. Maxfield:

On August 16, 2018, the City of Alachua received your revised application and materials for the Upland Industrial Park, Lots 2 – 5 Site Plan and Replat. The revised application and materials were submitted to address the comments issued at the project's Development Review Team (DRT) Meeting, held on April 23, 2018.

The revised application and materials have been reviewed for compliance with the applicable review standards, including the City's Comprehensive Plan and Land Development Regulations (LDRs). Based upon Staff's review, additional revisions must be made to the application before the application may be scheduled for a hearing before the Planning & Zoning Board.

Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed in by **5:00 PM on Thursday, September 20, 2018**. A total of four (4) copies of the **complete** application package (i.e., all application materials and attachments) and a CD containing a PDF of **all** application materials must be provided by this date.

Please address the following:

1. **Compliance with Section 6.1, Off-Street Parking and Loading Standards (and Traffic Circulation)**
 - a. The applicant has utilized a parking standard of 1 space per 300 square feet of floor area for office space (30% of each building). Per Table 6.1-1, the parking standard for all office use types is 1 space per 330 square feet of floor area. Revise accordingly.

Remaining Issues: Comment was not addressed. Parking calculation on Sheet C0.00 still states 1 space per 300 square feet of floor area. Also note, uses which are comprised exclusively of an office are not permitted in ILW. (ALSO NOTE: Office space is only permitted as a limited / accessory type use within the Industrial FLUM Designation, such as an accessory use to light manufacturing. Parking criteria for each use type are established in Table 6.1-1. The applicant should reference the parking criteria for light manufacturing, as this parking standard is more applicable to the permitted uses within the FLUM / zoning of the property.)
 - b. "Light industrial" is not a use type established in Table 6.1-1. The intended use type may be "light manufacturing". Revise the use type identified on Sheet C0.00 to identify the correct use type.

Remaining Issues: Comment was not addressed. Plans state "light industrial portion". A use type, permitted in the ILW zoning district per Table 4.1-1, and utilizing the parking standards set forth in Table 6.1-1, must be utilized for parking calculations.

- d. The circulation pattern for waste collection restricts the ability of trucks to circulate around the building. Circulation pattern of the site must accommodate waste collection trucks. Provide AutoTurn simulation demonstrating an acceptable traffic flow for waste collection.

Remaining Issues: Configuration and circulation patterns for waste collection has been revised, however, notes remain on the plans stating "*pickup via contra flow*." Note is no longer applicable.

2. **Compliance with Section 6.2, Tree Protection / Landscape / Xeriscape Standards**

- c. Shrubs not provided within interior parking lot landscape islands. Per Section 6.2.2(D)(2)(a)(iii), shrubs shall be required at the minimum rate of ten shrubs per canopy or ornamental/understory tree. Revise accordingly.

Remaining Issues: Comment was not addressed. No shrubs are provided within interior parking lot landscape islands. Revise accordingly.

- f. Section 6.2.3(B) requires sides of waste receptacle screens providing service to be gated, and for such gates to be constructed of a material consistent with screening material used on all other sides of the receptacle. Architectural plans note gate to be constructed of "decorative wood slats or chain link with vinyl slats". Chain link / vinyl slats are not consistent with proposed stucco screen wall. Revise accordingly.

Remaining Issues: Comment was not addressed. Sheet A310 still states "*decorative wood slats or chain link with vinyl slats*". Revise accordingly.

3. **Compliance with Section 6.3, Fencing Standards**

- b. Portions of the chain link fence proposed along the top of the retaining wall south of the drive aisle near the south property line will be visible from NW 101st Drive. Chain link (galvanized) is prohibited when visible from the right of way. Black or green vinyl coated is permitted (except when visible from an arterial or collector road). Please address.

Remaining Issues: Comment was not addressed. Cross sections on Sheet 0.15 do not indicate vinyl coated chain link as stated by applicant in response letter. Revise accordingly.

4. **Compliance with Section 6.4, Exterior Lighting Standards**

- a. Pole-mounted light fixtures are proposed to be mounted at 25'. Per Section 6.4.5(A), maximum height of light fixtures for the proposed development is 15'. Revise accordingly.
 - i. Also note the maximum mounted height of light fixtures along the retaining wall must not exceed 15'.

Remaining Issues: Correct note 1 on Sheet E-1, under Fixture and Photometric Notes, which states "[p]roposed lights shall be mounted at 25 ft afg..."

- c. Provide cut sheets for each proposed light fixture. Cut sheets for wall lights must demonstrate how the proposed wall light fixtures will comply with Section 6.4.4(A) (fully shielded luminaires, such as shoebox or can-style fixtures).

Remaining Issues: Comment was not addressed. Provide cut sheets of wall mounted lights demonstrating the fixtures shall have fully shielded luminaires, such as shoebox or can-style fixtures.

5. Comprehensive Plan Consistency

- a. The applicant must address compliance with Policy 1.2.b of the Transportation Element, which requires a minimum 100 feet between ingress/egress points.

Remaining Issues: The applicant's response is noted. The applicant states in its response that, per FDOT Standard Index No. 515, the measurement of spacing between access points excludes transition tapers, and that the distance is measured along the arc of the cul-de-sac. The applicant further states in its response that FDOT Standard Index No. 515 is attached to the response. The Index was not attached or included within application materials. Staff reviewed FDOT Standard Index No. 515, and was unable to identify the section(s) of the Index which the applicant is referencing.

Please identify the specific section(s) of FDOT Standard Index No. 515 which are being referenced in the 8/9/18 response letter. In addition, provide a measurement, either on the site plan or as a separate exhibit, which dimensions the distance between each access point.

6. Concurrency Impact Analysis

- a. References within the Concurrency Impact Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.

Remaining Issues: The revision was made to the Concurrency Impact Analysis, however, the analysis submitted with Site Plan application materials is the analysis for the companion Minor Subdivision / Final Plat (replat) application.

7. Comprehensive Plan Consistency Analysis

- a. References within the Comprehensive Plan Consistency Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.

Remaining Issues: The revision was made to the Comprehensive Plan Consistency Analysis, however, the analysis submitted with Site Plan application materials is the analysis for the companion Minor Subdivision / Final Plat (replat) application.

- b. Please clarify within the Comprehensive Plan Consistency Analysis the stated uses, and the square footage associated with such uses, are potential uses/area. If a tenant(s) or a definitive use is known, please clarify within the application the known use(s).

Remaining Issues: Comment was not addressed.

8. Miscellaneous / General Comments

- b. Sheet C0.15: Section C-C labeled as "Typical Retaining Wall Section C-C". No retaining wall depicted for Typical Section C-C.

Remaining Issues: Comment was not addressed.

- d. Sheet C0.00: Setbacks reflect information not applicable to Lots 2 – 5 (i.e., front setback from US 441; side setbacks along NW 101st Drive. In addition, the setbacks as stated are not consistent with those as per the recorded plat and the proposed replat. Revise accordingly.

Remaining Issues: Comment was not addressed.

- e. C0.00: Note 11 – Note should state that uses “shall be” consistent with the uses permitted in ILW zoning. “Proposed Possible Uses” is also not necessary, given the statement which proceeds this information.

Remaining Issues: Comment was not addressed.

- g. Sheet C0.10: General Note 14 – reference to “Alachua County Environmental Protection Department” should be changed to the “Landscape Architect for the Project”.

Remaining Issues: Comment was not addressed. The project is in the City of Alachua, and as such the reference to Alachua County EPD is not applicable given the purpose of the note.

9. **Outside Engineering Review Comments**

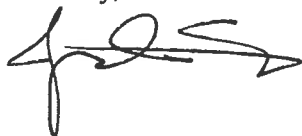
- c. The applicant must address the comments provided by Caitlyn Drane, P.E., of EDA Engineers – Surveyors – Planners, Inc., in a letter dated August 30, 2018.

Additional Comments Based Upon 8/9/2018 Plans

1. Sheet C0.00 indicates there are 44 parking spaces provided for Lots 2 – 3. There are 47 parking spaces shown on the plans. Revise accordingly.
2. Accessible parking requirements have been considered based upon the total number of parking spaces for the entire project. The development will be comprised of two separate lots (proposed Lots 2 and 3 by the companion replat) and may not remain in common ownership. Accessible parking should therefore, be considered for each lot independent of one another. This would require 1 additional accessible space on current Lots 4 – 5.
3. Bicycle parking is required for Lots 4 – 5 per Section 6.1.4(D)(1). The rate of provision, per Section 6.1.4(D)(1)(a), is one bicycle space for every 10 required parking spaces. Sheet C0.00 notes bicycle parking is not required. Revise accordingly.
4. Sheets C1.01, C1.02: Confirm number of bike racks in call-out.
5. Sheet C1.20: Correct the location of ADA accessible path / sidewalk from ROW to building on Lots 4 – 5.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

Attachment: Letter from Caitlyn Drane, P.E., of EDA Engineers – Surveyors – Planners, Inc., dated August 30, 2018

cc: Kathy Winburn, AICP, Planning & Community Development Director (*by electronic mail*)
Adam Hall, AICP, Planner (*by electronic mail*)
Tommy Bon, PSM, CHW, Inc. (*by electronic mail*)
Bryan Nazworth, Upland Properties of NCF, LLC (*by electronic mail*)
Project File

Upland Industrial Park, Lots 2 - 5 Replat & Site Plan

From : Justin Tabor <jtabor@cityofalachua.com>

Mon, Aug 13, 2018 03:10 PM

Subject : Upland Industrial Park, Lots 2 - 5 Replat & Site Plan

To : John Maxfield <JohnM@chw-inc.com>, Thomas Bon <tommyb@chw-inc.com>

John, Tommy,

On Thursday, 8/9, we received the revised application and materials for the Upland Industrial Park, Lots 2 - 5 Site Plan. It does not appear, however, that the revised application and materials for the companion replat were submitted.

Could you advise of the status of submitting the revised replat application? For the Site Plan to move forward to a public hearing, it is important that the replat be resubmitted, as it will need to go to the Planning & Zoning Board and City Commission prior to the Site Plan.

Please contact me if you have any questions.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

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RE: Completeness Review: Alachua Towne Centre Parcel D-2 Site Plan

From : John Maxfield <JohnM@chw-inc.com>

Tue, Jul 31, 2018 02:15 PM

Subject : RE: Completeness Review: Alachua Towne Centre Parcel D-2 Site Plan

To : Justin Tabor <jtabor@cityofalachua.org>

Cc : kwinburn <kwinburn@cityofalachua.org>

Yes – we are working diligently to get Upland submitted this week. I believe we have responded to all the comments but just need to go back through it to make sure we have everything.

JOHN MAXFIELD, PE | Director of Land Development

t: (386) 518-5142 | c: (352) 672-0227

e: johnm@chw-inc.com

w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]

Sent: Tuesday, July 31, 2018 2:12 PM

To: John Maxfield <JohnM@chw-inc.com>

Cc: kwinburn <kwinburn@cityofalachua.org>

Subject: Re: Completeness Review: Alachua Towne Centre Parcel D-2 Site Plan

John,

Thanks for the response.

On another note, is there any activity on Upland Industrial Park Lots 2 - 5 Replat and Site Plan? We issued comments on April 23. Usually after 6 months of no activity we request the applicant to withdraw if the project is not moving forward. We're about half way through that time period for these two applications.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

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From: "John Maxfield" <JohnM@chw-inc.com>

To: "Justin Tabor" <jtabor@cityofalachua.org>

Cc: "kwinburn" <kwinburn@cityofalachua.org>

Sent: Tuesday, July 31, 2018 11:35:14 AM

Subject: RE: Completeness Review: Alachua Towne Centre Parcel D-2 Site Plan

Justin – thanks for the follow up. We are working on this but are a bit tangled up with a couple of other submittals. I hope to have it resubmitted within the next couple of weeks – certainly before the 45 days.

JOHN MAXFIELD, PE | Director of Land Development

t: (386) 518-5142 | c: (352) 672-0227

e: johnm@chw-inc.com

w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]

Sent: Tuesday, July 31, 2018 11:26 AM

To: John Maxfield <JohnM@chw-inc.com>

Cc: Kathy Winburn <kwinburn@cityofalachua.org>

Subject: Re: Completeness Review: Alachua Towne Centre Parcel D-2 Site Plan

Hello John,

Could you please update me on the status of resubmitting this application? As a reminder, an applicant must respond to completeness comments within 45 calendar days. If a response is not received within this time frame, the application is considered to be withdrawn.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

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From: "Justin Tabor" <jtabor@cityofalachua.com>

To: "John Maxfield" <JohnM@chw-inc.com>

Cc: "Kathy Winburn" <kwinburn@cityofalachua.com>, "Adam Hall" <ad_hall@cityofalachua.org>

Sent: Thursday, July 12, 2018 4:04:02 PM

Subject: Completeness Review: Alachua Towne Centre Parcel D-2 Site Plan

John,

Please find attached a letter in reference to the completeness review of the Site Plan application for Alachua Towne Centre Parcel D-2. Please advise if you would like the materials submitted on 7/9/18 returned so revised materials may be substituted.

If you have any questions, please feel free to contact me.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

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City of Alachua

TRACI L. GRESHAM
CITY MANAGER

RODOLFO VALLADARES, P.E.
PUBLIC SERVICES DIRECTOR

INTER-OFFICE COMMUNICATION

DATE: May 10th, 2018

TO: Kathy Winburn, AICP
Planning & Community Development Director

FROM: Rodolfo Valladares, P.E. *RSV*
Public Services Director

RE: Upland Industrial Park (Lots 2-5)
Minor Subdivision/Final Plat
Site Plans

Public Services have reviewed the Upland Industrial Park (Lots 2- 5), Minor Subdivision/Final Plat, Site Plans and offer the following comments. Review was specific to the Public Services Utilities.

NO.	COMMENTS
1.	<p>General Note: Easements; - sheet C3.00</p> <p>Easement (PUE) on lot #5 to include existing pad mounted transformer. This transformer (<i>located northeast transformer on cul-de-sac</i>) does not fall within the 20-ft easement annotated for the potable water line.</p> <p>Underground primary between existing transformers to remain within PUE.</p> <p>Provide easement annotate drawings accordingly.</p> <p>[Approved as Noted]</p>
2.	<p>General Note: Irrigation; - sheet C3.00</p> <p>Provide an irrigation meter per lot.</p> <p>Relocate and provide irrigation meter near bank of meters.</p> <p>[Approved as Noted]</p>
END OF COMMENTS	

Please advise if you have any questions or require additional information.

cc: Justin Tabor – AICP Planner
Harry Dillard – Lead Engineering Technician

RE: DRT Meeting Summary: Upland Industrial Park, Lots 2 - 5 Site Plan

From : John Maxfield <JohnM@chw-inc.com>
Subject : RE: DRT Meeting Summary: Upland Industrial Park, Lots 2 - 5 Site Plan
To : Justin Tabor <jtabor@cityofalachua.org>
Cc : kwinburn <kwinburn@cityofalachua.org>, Thomas Bon <tommyb@chw-inc.com>

Mon, May 07, 2018 01:16 PM

Understood. I'll keep you updated if anything changes.

JOHN MAXFIELD, PE | Director of Land Development
t: (386) 518-5142 | c: (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]
Sent: Monday, May 07, 2018 12:11 PM
To: John Maxfield <JohnM@chw-inc.com>
Cc: kwinburn <kwinburn@cityofalachua.org>; Thomas Bon <tommyb@chw-inc.com>
Subject: Re: DRT Meeting Summary: Upland Industrial Park, Lots 2 - 5 Site Plan

John,

Thank you for the update. It is acceptable to take the additional time, with the understanding of course that public hearing schedules will be affected by the delay.

Sincerely,

Justin Tabor, AICP
Principal Planner
City of Alachua
15100 NW 142nd Terrace | PO Box 9
Alachua, Florida 32616
386.418.6100 x 107 | fax: 386.418.6130
jtabor@cityofalachua.com

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From: "John Maxfield" <JohnM@chw-inc.com>
To: "Justin Tabor" <jtabor@cityofalachua.org>
Cc: "kwinburn" <kwinburn@cityofalachua.org>, "Thomas Bon" <tommyb@chw-inc.com>
Sent: Monday, May 7, 2018 11:35:08 AM
Subject: RE: DRT Meeting Summary: Upland Industrial Park, Lots 2 - 5 Site Plan

Justin – sorry for not getting back with you. The architect is pretty booked so I don't expect anything back from him for another 2 weeks. I'm hoping to have the lighting information this week. We are pretty close to complete but need a bit more time to resolve the issue with the dumpster. Tommy's resubmittal is tied up with our decisions so he will resubmit when we do. I hope it's OK if we run longer. Let me know.

JOHN MAXFIELD, PE | Director of Land Development
t: (386) 518-5142 | c: (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]
Sent: Monday, May 07, 2018 11:22 AM
To: John Maxfield <JohnM@chw-inc.com>
Cc: Kathy Winburn <kwinburn@cityofalachua.org>; Thomas Bon <tommyb@chw-inc.com>
Subject: Re: DRT Meeting Summary: Upland Industrial Park, Lots 2 - 5 Site Plan

John,

The resubmittal date for the site plan and replat was last Thursday. Checking in with you to see if you can update me on the status of the resubmittal.

Thank you.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

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jtabor@cityofalachua.com

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From: "Justin Tabor" <jtabor@cityofalachua.com>

To: "John Maxfield" <JohnM@chw-inc.com>

Cc: "Kathy Winburn" <kwinburn@cityofalachua.com>, "Adam Hall" <ad_hall@cityofalachua.org>, "Thomas Bon" <tommyb@chw-inc.com>

Sent: Monday, April 23, 2018 12:22:00 PM

Subject: DRT Meeting Summary: Upland Industrial Park, Lots 2 - 5 Site Plan

John,

Please see the attached letter in reference to today's DRT Meeting for the Site Plan application for Upland Industrial Park, Lots 2 - 5. Should you have any questions, please feel free to contact me.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

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Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

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City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

April 23, 2018

Also sent by electronic mail to johnnm@chw-inc.com

John Maxfield
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Development Review Team (DRT) Summary for: Upland Industrial Park, Lots 2 – 5 Site Plan

Dear Mr. Maxfield:

The application referenced above was reviewed at our April 23, 2018 Development Review Team (DRT) Meeting. Please address all insufficiencies outlined below in writing and provide an indication as to how they have been addressed by **5:00 PM on Thursday, May 3, 2018**. A total of four (4) copies of the application package, plans, and a CD containing a PDF of all application materials and plans must be provided by this date.

Upon receipt of your revised application, Staff will notify you of any remaining insufficiencies which must be resolved before the item may be scheduled for a public hearing before the Planning & Zoning Board (PZB). Please note that if Staff determines that the revised submission requires outside technical review by the City, your application may be delayed in order to allow for adequate review time. You must provide 13 *double-sided, three-hole punched sets* of each application package, 13 sets of plans, and a CD containing a PDF of all application materials *no later than 10 business days prior to the PZB Meeting at which your application is scheduled to be heard*.

As discussed at the DRT Meeting, please address the following insufficiencies:

Site Plan Review Comments

1. **Compliance with Section 6.1, Off-Street Parking and Loading Standards (and Traffic Circulation)**
 - a. The applicant has utilized a parking standard of 1 space per 300 square feet of floor area for office space (30% of each building). Per Table 6.1-1, the parking standard for all office use types is 1 space per 330 square feet of floor area. Revise accordingly.
 - b. "Light industrial" is not a use type established in Table 6.1-1. The intended use type may be "light manufacturing". Revise the use type identified on Sheet C0.00 to identify the correct use type.
 - c. Identify location of and dimension minimum required off-street loading spaces in accordance with minimum standards per Section 6.1.5 (minimum 1 space for Lots 2 – 3, 2 spaces for Lots 4 – 5).
 - d. The circulation pattern for waste collection restricts the ability of trucks to circulate around the building. Circulation pattern of the site must accommodate waste collection trucks. Provide AutoTurn simulation demonstrating an acceptable traffic flow for waste collection.

- e. "Do Not Enter" signs are called out on Sheets C1.01 and C1.02 at the drive aisle between the proposed lots, however, pavement markings indicate traffic is intended to be able to enter through drive aisle. Please address.
- f. For Lots 4 – 5, Sheet C0.00 notes a maximum of 54 parking spaces, however, the calculations above do not equal 54 spaces. Please correct.

2. Compliance with Section 6.2, Tree Protection / Landscape / Xeriscape Standards

- a. Section 6.2.2(D)(1)(c) requires three canopy trees per acre on the primary or street facing side plus an additional four canopy trees for every 100 lineal feet of façade, planted in front of the façade. Calculations for site landscaping, primary side canopy trees, on Sheet LS-1 over-count the number of trees provided given the building façade requirements of the same section. Correct the number provided for site landscaping, primary side canopy trees, to account for those provided to meet building façade landscape requirement.
- b. Based upon the calculations provided on Sheet LS-1, 16 understory trees are required in front of the structures to meet site landscaping requirements. One additional understory tree is required in front of the structures to meet site landscaping requirements.
- c. Shrubs not provided within interior parking lot landscape islands. Per Section 6.2.2(D)(2)(a)(iii), shrubs shall be required at the minimum rate of ten shrubs per canopy or ornamental/understory tree. Revise accordingly.
- d. Based upon calculations on Sheet LS-1, parking lot perimeter landscaping requires 17 canopy trees. It appears some trees within interior landscape islands are being credited to meet parking lot perimeter buffer requirements, and that an additional 2 canopy trees are required along the parking lot perimeter to meet the minimum requirement per Section 6.2.2.(D)(2)(b)(iv).
- e. Sheet IR-2 shows only one irrigation meter for the entire site. One irrigation meter shall be provided for Lots 2 – 3, and a second irrigation meter shall be provided for Lots 4 – 5.
- f. Section 6.2.3(B) requires sides of waste receptacle screens providing service to be gated, and for such gates to be constructed of a material consistent with screening material used on all other sides of the receptacle. Architectural plans note gate to be constructed of "decorative wood slats or chain link with vinyl slats". Chain link / vinyl slats are not consistent with proposed stucco screen wall. Revise accordingly.

3. Compliance with Section 6.3, Fencing Standards

- a. Provide cross section detail of each proposed retaining wall and waste receptacle screening wall. For Lots 2 – 3, the combined height of waste receptacle screening and retaining wall appears to exceed the maximum height permitted per Section 6.3.3(B).
- b. Portions of the chain link fence proposed along the top of the retaining wall south of the drive aisle near the south property line will be visible from NW 101st Drive. Chain link (galvanized) is prohibited when visible from the right of way. Black or green vinyl coated is permitted (except when visible from an arterial or collector road). Please address.

4. Compliance with Section 6.4, Exterior Lighting Standards

- a. Pole-mounted light fixtures are proposed to be mounted at 25'. Per Section 6.4.5(A), maximum height of light fixtures for the proposed development is 15'. Revise accordingly.
 - i. Also note the maximum mounted height of light fixtures along the retaining wall must not exceed 15'.
- b. Sheet E-1 notes 16 pole-mounted lights, however only 15 appear to be proposed.
- c. Provide cut sheets for each proposed light fixture. Cut sheets for wall lights must demonstrate how the proposed wall light fixtures will comply with Section 6.4.4(A) (fully shielded luminaires, such as shoebox or can-style fixtures).

5. Compliance with Section 6.8, Design Standards for Business Uses

- a. The applicant has utilized the façade massing offset alternative as set forth in Section 6.8.2(A)(2)(b)(ii)b., which allows for the provision of pilasters having a minimum depth of one foot, a minimum width of one foot, and a minimum height of 80 percent of the façade's height. Proposed pilasters do not provide a minimum depth of one foot. Revise accordingly.
- b. Section 6.8.2(A)(2)(c) requires a minimum of 25 percent of the materials used for the front or street-facing facades to be used for the side and rear facing facades. Side and rear-facing facades (east and south elevations for Lots 4 – 5; west and south elevations for Lots 2 – 3) are composed entirely of metal panels and do not incorporate any of the materials used in front/street-facing facades. Revise accordingly.
- c. Section 6.8.2(A)(2)(d)(i) prohibits metal siding in more than 50 percent of any façade when visible from a street. Given the finished grade of the site, finished floor area of the building, and proximity to US 441, all or part of the east elevation of building proposed for Lots 4/5 will be visible from US 441. Please address.
- d. Section 6.8.2(A)(3) is applicable to roof-mounted mechanical equipment for the building proposed on Lots 4/5, in whole or in part. Any roof-mounted mechanical equipment, such as HVAC systems or other equipment, must be screened in accordance with Section 6.8.2(A)(3).

6. Comprehensive Plan Consistency

- a. The applicant must address compliance with Policy 1.2.b of the Transportation Element, which requires a minimum 100 feet between ingress/egress points.

7. Concurrency Impact Analysis

- a. References within the Concurrency Impact Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.

8. Comprehensive Plan Consistency Analysis

- a. References within the Comprehensive Plan Consistency Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.
- b. Please clarify within the Comprehensive Plan Consistency Analysis the stated uses, and the square footage associated with such uses, are potential uses/area. If a tenant(s) or a definitive use is known, please clarify within the application the known use(s).
- c. The applicant's analysis of consistency with Policy 1.5.a, FLUE, states the "...site will have direct access onto US-441..." The property fronts NW 101st Drive, but is proximate to US 441. Please address.

9. Miscellaneous / General Comments

- a. Please complete Countywide Wetland Protection Code Self-Certification Form and submit to Alachua County Environmental Protection Department (please contact Alachua County EPD directly should you have any questions regarding this form). A hard copy has been attached, but can be completed at <http://alachuacounty.us/Depts/epd/Pages/WetlandsProtection.aspx>.
- b. Sheet C0.15: Section C-C labeled as "Typical Retaining Wall Section C-C". No retaining wall depicted for Typical Section C-C.
- c. Sheet C0.00: add floor area ratio to general notes.
- d. Sheet C0.00: Setbacks reflect information not applicable to Lots 2 – 5 (i.e., front setback from US 441; side setbacks along NW 101st Drive. In addition, the setbacks as stated are not consistent with those as per the recorded plat and the proposed replat. Revise accordingly.
- e. C0.00: Note 11 – Note should state that uses "shall be" consistent with the uses permitted in ILW zoning. "Proposed Possible Uses" is also not necessary, given the statement which proceeds this information.

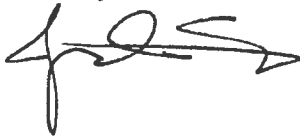
- f. Sheets C0.00: the date of the boundary and topographic survey, as stated in General Note 4, is different than the date of the survey submitted with the plans.
- g. Sheet C0.10: General Note 14 – reference to “Alachua County Environmental Protection Department” should be changed to the “Landscape Architect for the Project”.
- h. C1.00 – C1.02, C2.00 – C2.02: General Note 2 references Geotechnical Engineering Report by GSE Engineering and Consulting, Inc. This report has not been submitted with application materials.

10. Public Services / Professional Surveyor and Mapper Review Comments

- a. Comments from the Public Services Department to be provided under separate cover.
- b. Comments from Alachua County Fire Rescue to be provided under separate cover.
- c. The applicant must address the comments provided by Sergio Reyes, P.E., of EDA Engineers – Surveyors – Planners, Inc., in a letter dated April 18, 2018.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

Attachments: Letter from Sergio Reyes, P.E., EDA Engineers – Surveyors – Planners, Inc., dated April 18, 2018
Alachua County Form: Countywide Wetland Protection Code Self Certification Form

cc: Kathy Winburn, AICP, Planning & Community Development Director (*by electronic mail*)
Adam Hall, AICP, Planner (*by electronic mail*)
Tommy Bon, PSM, CHW, Inc. (*by electronic mail*)
Project File

April 18, 2018

Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
PO Box 9
Alachua, FL 32616



Re: Upland Industrial Park, Lots 2-5 - Site Plan

Dear Mr. Tabor,

Thank you for the opportunity to review the Upland Industrial Park, Lots 2-5 - Site Plan. Please find my comments below:

Comments:

ISO Needed Fire Flow (NFF) Worksheet

1. For the proposed East Building, revise the Right Exposure to account for the existing building in Lot 6. From the plans, the proposed building appears to be approximately 85-ft from the existing building. Submit revised calculations showing the updated needed fire flow requirement for the proposed East Building.
2. For the proposed West Building, revise the Left Exposure to account for the existing building in Lot 1. From the plans, the proposed building appears to be approximately 95-ft from the existing building. Submit revised calculations showing the updated needed fire flow requirement for the proposed West Building.

Sheet C0.00

1. Add a total impervious area calculation to your development data table to show compliance with the existing SRWMD ERP permitted percentage of impervious area.
2. Add loading zone requirement to parking table. Include the calculation to demonstrate compliance.
3. The ADA criteria specified for number of required parking spaces is for the incorrect range of parking spaces. Update criteria specified to match the number of parking spaces provided on the plans.

4. The date listed for the survey completion does not agree with the date on the survey. Correct the date.

Sheet C0.10

1. The project site is not adjacent to the FDOT Right-of-Way. Why are the FDOT General Notes included?
2. Update Note 8 of Water and Wastewater General Notes to match FAC 62-555. FAC 62-555 requires "New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, *between the outside of the water main and the outside* of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C."

Sheet C0.12

3. The Handicap Parking Detail does not agree with what is shown on Sheets C1.00, C1.01, and C1.02. Update detail to match proposed conditions.
4. Where is the Sleeve Crossing Detail used? Specify on Sheet C3.00.
5. Add details for the sidewalk ramps used or label the sidewalk ramps per the FDOT index on Sheets C1.01 and C1.02.

Sheet C0.14

1. Verify that the Utility Details shown match the most up to date City of Alachua Design Construction Requirements details (i.e. the distance between the ground to the RPZ outlet in the Typical Underground Backflow Preventer detail; material (Sch 40 PVC) missing from the Typical Gang Meter Assembly detail, etc.)

Sheet C0.21

1. The silt fence shown is blocking the construction of the proposed sidewalk. Revise silt fence location.
2. Provide the location of the temporary construction water source.

Sheet C1.00

1. Why are the AutoTurn cars included? What is the intent? Without the simulation route, the cars are unnecessary and do not provide additional design information.

2. Add proposed door locations to the buildings to determine accessibility compliance.
3. What is the second dashed line in from the west property line?

Sheets C1.01/ C1.02

1. Add proposed door locations to the buildings to determine accessibility compliance.
2. How are delivery trucks supposed to access the back of the buildings? Each of the driveways to the rear have "Do Not Enter" signs.
3. How will the garbage truck turn around? Verify garbage truck maneuverability to the dumpster.
4. On Sheet C1.02, should the "No Left Turn" sign be a "No Right Turn" sign?
5. Specify where the AC Units will be located.
6. What type of delivery trucks are anticipated? Have AutoTurn simulations been conducted to ensure that the trucks can maneuver behind the proposed buildings?
7. Add dimensions to the loading zones.
8. Add sufficient dimensional tie down information to make the site constructible. (i.e. Add northing and eastings at the building corners.)

Sheets C2.01/C2.02

1. Add door locations to show compliance with accessibility requirements. Ensure that grades adjacent to doors do not exceed 2%.
2. Due to the slope on the proposed driveway, we recommend inlets at the end of the driveway to collect stormwater runoff before it enters the cul-de-sac to prevent nuisance flooding within the cul-de-sac.
3. Provide stormwater pipe calculations to demonstrate that the existing inlets and pipes in NW 101st Drive can accommodate the runoff generated by the proposed development.
4. Will the proposed building have downspouts? How will the water be collected?

5. Provide swale calculations to demonstrate that the proposed bypass swale can accommodate the runoff from the adjacent site.
6. Add additional spot grades for constructability at the following locations:
 - a. Concrete pads for bike racks
 - b. Dumpster areas
 - c. Curved sidewalk to demonstrate slope of sidewalk. Sidewalk slopes shall meet accessibility requirements.
 - d. On the east sidewalk (curved L-shaped) from the right-of-way to the proposed building to determine proposed slopes.
 - e. Sidewalk ramps within the project site
 - f. Connection location of on-site sidewalk to sidewalk within the right-of-way
 - g. Add spots to connection location of new portion of the sidewalk within the right-of-way. Be more specific than match existing.
7. Is the intent to have a 6" concrete curb around the parking spaces? The proposed contours do not indicate it. For example, on Sheet C2.01, adjacent to the eastern entrance, the drive aisle to the parking spaces, the contours and spot grades show a continuous grade through the curb.
8. The note "Handicap parking, running slope of walking surface shall not be steeper than 1:20 (5%) and the cross slope of walking surface shall not be steeper than 1:48 (2%)" is incorrect. ADA parking spaces are to be no greater than 2% in any direction per Section 502.4 of the Florida Accessibility Code for Building Construction. The criteria cited on the plan sheet is for sidewalks.
9. Are the inlets on Lot 6 designed to accommodate the drainage from the proposed site? Provide calculations that demonstrate that the inlets can handle the additional runoff. Is there a Drainage Easement to allow the proposed site to discharge onto the adjacent property?
10. In the north east corner, there is a contour with both a 123 label and a 124 label. Correct the label.
11. Is the purpose of the existing inlet in the north west corner of the property to capture the discharge from offsite? Verify that the swale directs water to the inlet and that the inlet can accommodate the runoff from the swale.
12. Provide cross sections of the driveway connections to demonstrate grading and handicap accessibility of the crosswalk. The driveways appear steep.

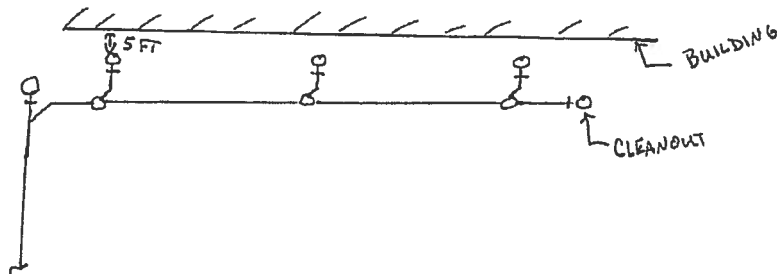
Sheets C3.00

1. We recommend being consistent with the scale used to prevent miscalculations in the field. The scale of the master sheets was 1" = 40' and the scale of the

detailed sheets was 1" = 20'. This sheet has a scale of 1"=30'.

2. Per the City of Alachua Design Construction Requirements (COA DCR), "The number of fire hydrants required for a project will be determined based on the fire flow demand calculations. One hydrant will be required for each 1,000 gpm of demand, with at least one hydrant located within 500-feet of the most remote point of the building, as the fire truck drives. The remaining hydrants shall be located within 1,000-feet of the most remote point of the building, as the fire truck drives." Demonstrate that no portion of the building is greater than 500-ft to a fire hydrant as the truck travels. Per the submitted ISO Needed Fire Flow Calculations, 2,250 gpm are required and therefore, two (2) fire hydrants are required. Demonstrate that the buildings are within 1,000-ft of a second hydrant.
3. Submit NFPA Needed Fire Flow Calculations. Per COA DCR, Section 2.3.C.7.b. "Engineer shall provide signed and sealed fire flow demand calculations in accordance with NFPA and Florida Fire Prevention Code requirements."
4. Will the buildings require gas? Has coordination with communications occurred? Will sleeves be provided to prevent damaging the pavement at time of tenant occupancy?
5. Within the Potable Water Connection and Water Meter Details 1 & 2, correct and add the following:
 - a. Proposed tees are not tapped.
 - b. Add weather protection to the backflow preventers.
 - c. Add gate valves to the services to allow for the ability to isolate each service.
 - d. Call out the 2" tees and the 2" 90-degree bend.
 - e. Call out bend after the DDC backflow preventer if the intent is for the line to connect at an angle
6. For the water meters, add a note to call out the specified Utility Detail on Sheet C0.14.
7. Show the routes of the water services to the building to ensure that the water services meet all required clearances.
8. Add a note at the sanitary sewer cleanout at the right-of-way that it is the end of the City of Alachua Maintenance.
9. Add the proposed irrigation water meter and backflow preventer, shown on Sheet IR-2, to the utility plan. Specify the size of the irrigation water meter and backflow preventer.
10. Add potable water and sanitary sewer connection locations to the building.

11. Be sure that each service has a separate cleanout at the building so that if a blockage occurs, it will be easier to determine where the blockage is occurring to prevent disrupting service to other tenants. See below for suggestion clarification.



12. No water main is shown along the east boundary line on the survey. Verify that there is an existing water main at this location to connect to.
13. List the finished floors on the proposed buildings to demonstrate that the buildings are higher than the adjacent sanitary sewer manhole top.

If you have any questions, please contact my office at 352-373-3541.

Sincerely,

Sergio Reyes, P.E.
President / Principal

City of Alachua

Development Review Team (DRT) Meeting

Project Name: Upland Industrial Park, Lots 2 - 5 Replat (Minor Subdivision / Final Plat) & Site Plan

Meeting Date: April 23, 2018 (Applicant DRT)

PLEASE PRINT CLEARLY

[illegible]

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Upland Industrial Park, Lots 2 - 5

APPLICATION TYPES: (1) Minor Subdivision / Final Plat (replatting Lots 2 - 5)
(2) Site Plan

PROPERTY OWNER: Upland Properties of NCF, LLC

APPLICANTS/AGENTS: Tommy Bon, PSM, CHW, Inc. (Minor Subdivision / Final Plat);
John Maxfield, P.E., CHW, Inc. (Site Plan)

DRT MEETING DATE: April 23, 2018

DRT MEETING TYPE: Applicant

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial (ILW)

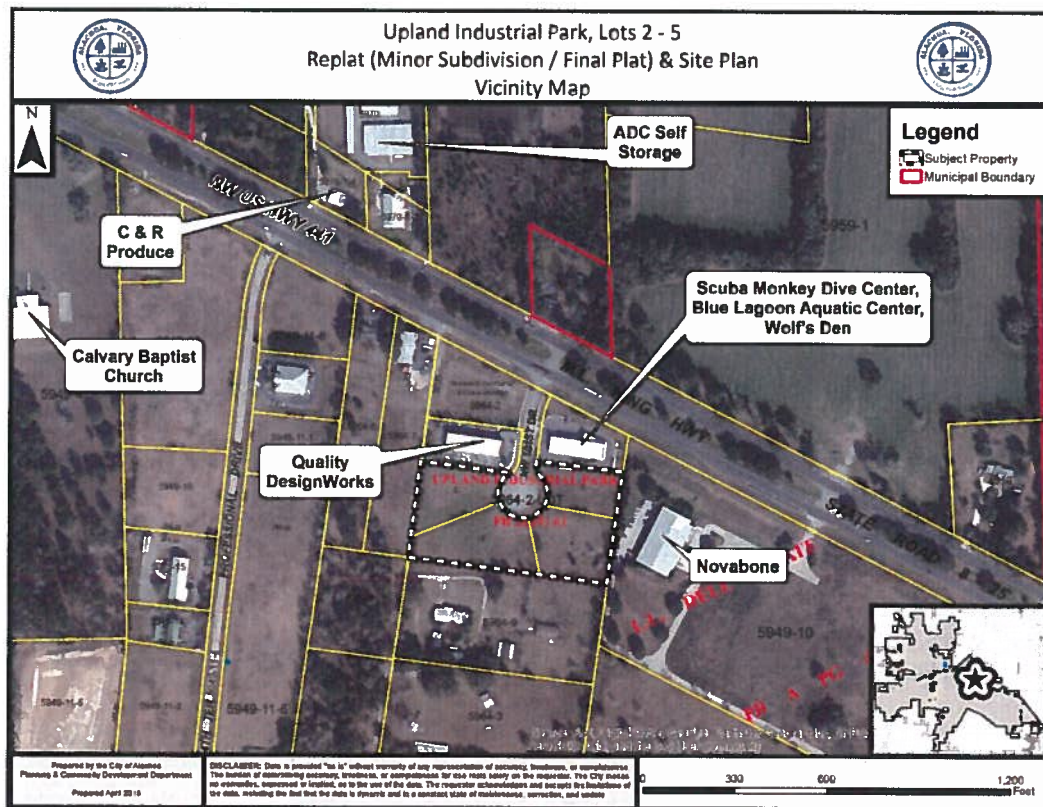
OVERLAY: N/A

ACREAGE: ±4.82 acres

PARCELS: Tax Parcels 05964-002-002 - 05964-002-005

PROJECT SUMMARY: (1) A request to reconfigure Lots 2 - 5 of Upland Industrial Park, as per the plat thereof recorded in Plat Book 28, Page 61, of the Official Records of Alachua County, into a total of two (2) lots; (2) A request to construct a ±23,439 square foot building and a ±26,682 square foot building, with associated drainage, paving, grading and infrastructure improvements

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before **5:00 PM on Thursday, May 3, 2018.**



Deficiencies to be Addressed

**** Unless otherwise noted, references to code sections are to the City of Alachua Land Development Regulations. ****

Minor Subdivision / Final Plat Review Comments

1. *Compliance with Chapter 177, Part I, Florida Statutes*
 - a. Please address the requirements of Chapter 177.091(7), F.S., as related to the northwest corner of Lot 2.
2. *Compliance with Land Development Regulations (LDRs)*
 - a. Graphically depict the 15' minimum side setback for Lot 3 along the north property line. Note the BSL on plat may be increased to be consistent with the width of the PUE.
3. *Concurrency Impact Analysis*
 - a. References within the Concurrency Impact Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". The street name "NW 13th Street" is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.
4. *Comprehensive Plan Consistency Analysis*
 - a. References within the Comprehensive Plan Consistency Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". The street name "NW 13th Street" is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.
 - b. Please clarify within the Comprehensive Plan Consistency Analysis the stated uses, and the square footage associated with such uses, are potential uses/area. If a tenant(s) or a definitive use is known, please clarify within the application the known use(s).
 - c. The applicant's analysis of consistency with Policy 1.5.a, FLUE, states the "...site will have direct access onto US-441..." The property fronts NW 101st Drive, but is proximate to US 441. Please address.
5. *Miscellaneous / General Comments*
 - a. Cross access easement as depicted on the plat does not cover the area of ingress/egress connection to NW 101st Drive, nor does the cross access easement cover all area along the access drive between and located on the property line between Lots 2 and 3. Please address.
 - b. For consistency with the record plat and with Surveyor's Note #10, please label the "5' Buffer" as shown along the east, south, and west perimeter of the subject property as "5' **Basic** Buffer", and reference Note #10 on the plat drawing where the buffer is called out.
 - c. Please review Surveyor's Notes #16, #18, and #19 of the record plat to confirm the applicability of these notes to the subject property. These notes pertain to ingress/egress easement along west property line of Lot 2 and covenants, conditions, restrictions and other matters. If applicable, add the notes to Surveyor's Notes on the proposed Replat.
 - d. Please correct the reference to the "City of Alachua" in the Certificate of Approval by the City Commission, immediately above the signature line.
 - e. Please confirm the name of and address for the managing member in the owner's certification is correct.
6. *Public Services / Professional Surveyor and Mapper Review Comments*
 - a. Comments from the Public Services Department to be provided under separate cover.
 - b. Comments from Alachua County Fire Rescue to be provided under separate cover.
 - c. The applicant must address the comments provided by Robert W. Graver, PSM, of EDA Engineers – Surveyors – Planners, Inc., in a letter dated April 17, 2018.

7. Completeness Review Comments

- a. The applicant must address the remaining completeness review comments, as noted in a letter dated April 9, 2018:

Final Plat Attachment #4, Comprehensive Plan Consistency Analysis

Action to Address Deficiency: Responses to some Comprehensive Plan policies do not reflect the proposed application type. Please revise the responses to the following policies to address the correct application type: **Policy 2.4.a, FLUE.**

Site Plan Review Comments

8. Compliance with Section 6.1, Off-Street Parking and Loading Standards (and Traffic Circulation)

- a. The applicant has utilized a parking standard of 1 space per 300 square feet of floor area for office space (30% of each building). Per Table 6.1-1, the parking standard for all office use types is 1 space per 330 square feet of floor area. Revise accordingly.
- b. "Light industrial" is not a use type established in Table 6.1-1. The intended use type may be "light manufacturing". Revise the use type identified on Sheet C0.00 to identify the correct use type.
- c. Identify location of and dimension minimum required off-street loading spaces in accordance with minimum standards per Section 6.1.5 (minimum 1 space for Lots 2 – 3, 2 spaces for Lots 4 – 5).
- d. The circulation pattern for waste collection restricts the ability of trucks to circulate around the building. Circulation pattern of the site must accommodate waste collection trucks. Provide AutoTurn simulation demonstrating an acceptable traffic flow for waste collection.
- e. "Do Not Enter" signs are called out on Sheets C1.01 and C1.02 at the drive aisle between the proposed lots, however, pavement markings indicate traffic is intended to be able to enter through drive aisle. Please address.
- f. For Lots 4 – 5, Sheet C0.00 notes a maximum of 54 parking spaces, however, the calculations above do not equal 54 spaces. Please correct.

9. Compliance with Section 6.2, Tree Protection / Landscape / Xeriscape Standards

- a. Section 6.2.2(D)(1)(c) requires three canopy trees per acre on the primary or street facing side plus an additional four canopy trees for every 100 lineal feet of façade, planted in front of the façade. Calculations for site landscaping, primary side canopy trees, on Sheet LS-1 over-count the number of trees provided given the building façade requirements of the same section. Correct the number provided for site landscaping, primary side canopy trees, to account for those provided to meet building façade landscape requirement.
- b. Based upon the calculations provided on Sheet LS-1, 16 understory trees are required in front of the structures to meet site landscaping requirements. One additional understory tree is required in front of the structures to meet site landscaping requirements.
- c. Shrubs not provided within interior parking lot landscape islands. Per Section 6.2.2(D)(2)(a)(iii), shrubs shall be required at the minimum rate of ten shrubs per canopy or ornamental/understory tree. Revise accordingly.
- d. Based upon calculations on Sheet LS-1, parking lot perimeter landscaping requires 17 canopy trees. It appears some trees within interior landscape islands are being credited to meet parking lot perimeter buffer requirements, and that an additional 2 canopy trees are required along the parking lot perimeter to meet the minimum requirement per Section 6.2.2.(D)(2)(b)(iv).
- e. Sheet IR-2 shows only one irrigation meter for the entire site. One irrigation meter shall be provided for Lots 2 – 3, and a second irrigation meter shall be provided for Lots 4 – 5.
- f. Section 6.2.3(B) requires sides of waste receptacle screens providing service to be gated, and for such gates to be constructed of a material consistent with screening material used on all

other sides of the receptacle. Architectural plans note gate to be constructed of “decorative wood slats or chain link with vinyl slats”. Chain link / vinyl slats are not consistent with proposed stucco screen wall. Revise accordingly.

10. Compliance with Section 6.3, Fencing Standards

- a. Provide cross section detail of each proposed retaining wall and waste receptacle screening wall. For Lots 2 – 3, the combined height of waste receptacle screening and retaining wall appears to exceed the maximum height permitted per Section 6.3.3(B).
- b. Portions of the chain link fence proposed along the top of the retaining wall south of the drive aisle near the south property line will be visible from NW 101st Drive. Chain link (galvanized) is prohibited when visible from the right of way. Black or green vinyl coated is permitted (except when visible from an arterial or collector road). Please address.

11. Compliance with Section 6.4, Exterior Lighting Standards

- a. Pole-mounted light fixtures are proposed to be mounted at 25'. Per Section 6.4.5(A), maximum height of light fixtures for the proposed development is 15'. Revise accordingly.
 - i. Also note the maximum mounted height of light fixtures along the retaining wall must not exceed 15'.
- b. Sheet E-1 notes 16 pole-mounted lights, however only 15 appear to be proposed.
- c. Provide cut sheets for each proposed light fixture. Cut sheets for wall lights must demonstrate how the proposed wall light fixtures will comply with Section 6.4.4(A) (fully shielded luminaires, such as shoebox or can-style fixtures).

12. Compliance with Section 6.8, Design Standards for Business Uses

- a. The applicant has utilized the façade massing offset alternative as set forth in Section 6.8.2(A)(2)(b)(ii)b., which allows for the provision of pilasters having a minimum depth of one foot, a minimum width of one foot, and a minimum height of 80 percent of the façade's height. Proposed pilasters do not provide a minimum depth of one foot. Revise accordingly.
- b. Section 6.8.2(A)(2)(c) requires a minimum of 25 percent of the materials used for the front or street-facing facades to be used for the side and rear facing facades. Side and rear-facing facades (east and south elevations for Lots 4 – 5; west and south elevations for Lots 2 – 3) are composed entirely of metal panels and do not incorporate any of the materials used in front/street-facing facades. Revise accordingly.
- c. Section 6.8.2(A)(2)(d)(i) prohibits metal siding in more than 50 percent of any façade when visible from a street. Given the finished grade of the site, finished floor area of the building, and proximity to US 441, all or part of the east elevation of building proposed for Lots 4/5 will be visible from US 441. Please address.
- d. Section 6.8.2(A)(3) is applicable to roof-mounted mechanical equipment for the building proposed on Lots 4/5, in whole or in part. Any roof-mounted mechanical equipment, such as HVAC systems or other equipment, must be screened in accordance with Section 6.8.2(A)(3).

13. Comprehensive Plan Consistency

- a. The applicant must address compliance with Policy 1.2.b of the Transportation Element, which requires a minimum 100 feet between ingress/egress points.

14. Concurrency Impact Analysis

- a. References within the Concurrency Impact Analysis to NW US Highway 441 also identify the highway as “NW 13th Street”. This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.

15. Comprehensive Plan Consistency Analysis

- a. References within the Comprehensive Plan Consistency Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.
- b. Please clarify within the Comprehensive Plan Consistency Analysis the stated uses, and the square footage associated with such uses, are potential uses/area. If a tenant(s) or a definitive use is known, please clarify within the application the known use(s).
- c. The applicant's analysis of consistency with Policy 1.5.a, FLUE, states the "...site will have direct access onto US-441..." The property fronts NW 101st Drive, but is proximate to US 441. Please address.

16. Miscellaneous / General Comments

- a. Please complete Countywide Wetland Protection Code Self-Certification Form and submit to Alachua County Environmental Protection Department (please contact Alachua County EPD directly should you have any questions regarding this form). A hard copy has been attached, but can be completed at <http://alachuacounty.us/Depts/epd/Pages/WetlandsProtection.aspx>.
- b. Sheet C0.15: Section C-C labeled as "Typical Retaining Wall Section C-C". No retaining wall depicted for Typical Section C-C.
- c. Sheet C0.00: add floor area ratio to general notes.
- d. Sheet C0.00: Setbacks reflect information not applicable to Lots 2 – 5 (i.e., front setback from US 441; side setbacks along NW 101st Drive. In addition, the setbacks as stated are not consistent with those as per the recorded plat and the proposed replat. Revise accordingly.
- e. C0.00: Note 11 – Note should state that uses "shall be" consistent with the uses permitted in ILW zoning. "Proposed Possible Uses" is also not necessary, given the statement which proceeds this information.
- f. Sheets C0.00: the date of the boundary and topographic survey, as stated in General Note 4, is different than the date of the survey submitted with the plans.
- g. Sheet C0.10: General Note 14 – reference to "Alachua County Environmental Protection Department" should be changed to the "Landscape Architect for the Project".
- h. C1.00 – C1.02, C2.00 – C2.02: General Note 2 references Geotechnical Engineering Report by GSE Engineering and Consulting, Inc. This report has not been submitted with application materials.

17. Public Services / Professional Surveyor and Mapper Review Comments

- a. Comments from the Public Services Department to be provided under separate cover.
- b. Comments from Alachua County Fire Rescue to be provided under separate cover.
- c. The applicant must address the comments provided by Sergio Reyes, P.E., of EDA Engineers – Surveyors – Planners, Inc., in a letter dated April 18, 2018.



April 17, 2018

The City of Alachua Planning & Community Development Department
Attention: Justin Tabor
P.O. Box 9
Alachua, Florida 32616-0009

Re: Review of 'Upland Industrial Park Replat' for conformity to Chapter 177, Part I –
Platting (Florida Statutes)

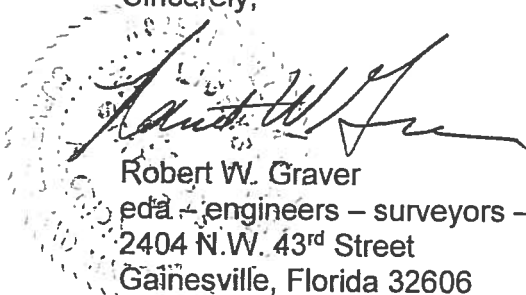
I have reviewed the Plat of 'Upland Industrial Park Replat', dated: April 5, 2018, for conformity to Florida Statutes Chapter 177, Part I – Platting and find it to be in conformance with all Sections and Subsections with the following exceptions:

- 1) A Permanent Reference Monument needs to be placed at the northwest corner of Lot 2 (177.091 (7)).
- 2) The description of the abbreviations "R/W" and "NAVD88" need to be added to the legend. (177.091 (29)).

Further:

- 1) In my opinion in both the Certificate of Approval by Professional Surveyor and Mapper and the Surveyor's Certificate the reference to Chapter 177, Part I should read "Chapter 177, Part I – Platting".
- 2) In the Certificate of Approval by the City Commission it is stated that the foregoing Plat was approved by the City Commission of the City of Alachua County, Florida". It is my opinion this should read "the City of Alachua, Florida".
- 3) Note 11 of the Surveyor's Notes refers to the maintenance of a Landscape Easement which is not a part of this Plat.

Sincerely,

A circular notary seal is partially visible on the left, containing the text 'NOTARY PUBLIC STATE OF FLORIDA'. Overlaid on the seal is a handwritten signature in black ink, which appears to read 'Robert W. Graver'.

Robert W. Graver
eda - engineers - surveyors - planners, inc.
2404 N.W. 43rd Street
Gainesville, Florida 32606

April 18, 2018

Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
PO Box 9
Alachua, FL 32616



Re: Upland Industrial Park, Lots 2-5 - Site Plan

Dear Mr. Tabor,

Thank you for the opportunity to review the Upland Industrial Park, Lots 2-5 - Site Plan.
Please find my comments below:

Comments:

ISO Needed Fire Flow (NFF) Worksheet

1. For the proposed East Building, revise the Right Exposure to account for the existing building in Lot 6. From the plans, the proposed building appears to be approximately 85-ft from the existing building. Submit revised calculations showing the updated needed fire flow requirement for the proposed East Building.
2. For the proposed West Building, revise the Left Exposure to account for the existing building in Lot 1. From the plans, the proposed building appears to be approximately 95-ft from the existing building. Submit revised calculations showing the updated needed fire flow requirement for the proposed West Building.

Sheet C0.00

1. Add a total impervious area calculation to your development data table to show compliance with the existing SRWMD ERP permitted percentage of impervious area.
2. Add loading zone requirement to parking table. Include the calculation to demonstrate compliance.
3. The ADA criteria specified for number of required parking spaces is for the incorrect range of parking spaces. Update criteria specified to match the number of parking spaces provided on the plans.

4. The date listed for the survey completion does not agree with the date on the survey. Correct the date.

Sheet C0.10

1. The project site is not adjacent to the FDOT Right-of-Way. Why are the FDOT General Notes included?
2. Update Note 8 of Water and Wastewater General Notes to match FAC 62-555. FAC 62-555 requires "New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, *between the outside of the water main and the outside* of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C."

Sheet C0.12

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Sheet C0.21

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2. Provide the location of the temporary construction water source.

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3. What is the second dashed line in from the west property line?

Sheets C1.01/ C1.02

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3. How will the garbage truck turn around? Verify garbage truck maneuverability to the dumpster.
4. On Sheet C1.02, should the "No Left Turn" sign be a "No Right Turn" sign?
5. Specify where the AC Units will be located.
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7. Add dimensions to the loading zones.
8. Add sufficient dimensional tie down information to make the site constructible. (i.e. Add northing and eastings at the building corners.)

Sheets C2.01/C2.02

1. Add door locations to show compliance with accessibility requirements. Ensure that grades adjacent to doors do not exceed 2%.
2. Due to the slope on the proposed driveway, we recommend inlets at the end of the driveway to collect stormwater runoff before it enters the cul-de-sac to prevent nuisance flooding within the cul-de-sac.
3. Provide stormwater pipe calculations to demonstrate that the existing inlets and pipes in NW 101st Drive can accommodate the runoff generated by the proposed development.
4. Will the proposed building have downspouts? How will the water be collected?

5. Provide swale calculations to demonstrate that the proposed bypass swale can accommodate the runoff from the adjacent site.
6. Add additional spot grades for constructability at the following locations:
 - a. Concrete pads for bike racks
 - b. Dumpster areas
 - c. Curved sidewalk to demonstrate slope of sidewalk. Sidewalk slopes shall meet accessibility requirements.
 - d. On the east sidewalk (curved L-shaped) from the right-of-way to the proposed building to determine proposed slopes.
 - e. Sidewalk ramps within the project site
 - f. Connection location of on-site sidewalk to sidewalk within the right-of-way
 - g. Add spots to connection location of new portion of the sidewalk within the right-of-way. Be more specific than match existing.
7. Is the intent to have a 6" concrete curb around the parking spaces? The proposed contours do not indicate it. For example, on Sheet C2.01, adjacent to the eastern entrance, the drive aisle to the parking spaces, the contours and spot grades show a continuous grade through the curb.
8. The note "Handicap parking, running slope of walking surface shall not be steeper than 1:20 (5%) and the cross slope of walking surface shall not be steeper than 1:48 (2%)" is incorrect. ADA parking spaces are to be no greater than 2% in any direction per Section 502.4 of the Florida Accessibility Code for Building Construction. The criteria cited on the plan sheet is for sidewalks.
9. Are the inlets on Lot 6 designed to accommodate the drainage from the proposed site? Provide calculations that demonstrate that the inlets can handle the additional runoff. Is there a Drainage Easement to allow the proposed site to discharge onto the adjacent property?
10. In the north east corner, there is a contour with both a 123 label and a 124 label. Correct the label.
11. Is the purpose of the existing inlet in the north west corner of the property to capture the discharge from offsite? Verify that the swale directs water to the inlet and that the inlet can accommodate the runoff from the swale.
12. Provide cross sections of the driveway connections to demonstrate grading and handicap accessibility of the crosswalk. The driveways appear steep.

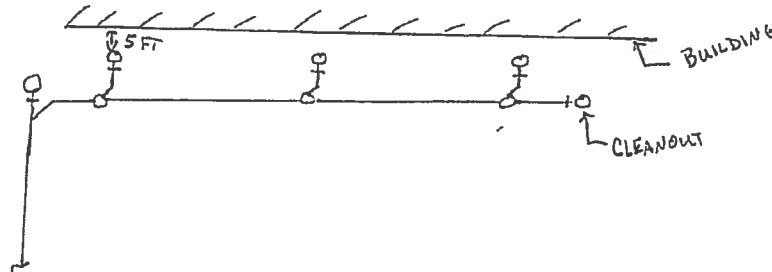
Sheets C3.00

1. We recommend being consistent with the scale used to prevent miscalculations in the field. The scale of the master sheets was 1" = 40' and the scale of the

detailed sheets was 1" = 20'. This sheet has a scale of 1"=30'.

2. Per the City of Alachua Design Construction Requirements (COA DCR), "The number of fire hydrants required for a project will be determined based on the fire flow demand calculations. One hydrant will be required for each 1,000 gpm of demand, with at least one hydrant located within 500-feet of the most remote point of the building, as the fire truck drives. The remaining hydrants shall be located within 1,000-feet of the most remote point of the building, as the fire truck drives." Demonstrate that no portion of the building is greater than 500-ft to a fire hydrant as the truck travels. Per the submitted ISO Needed Fire Flow Calculations, 2,250 gpm are required and therefore, two (2) fire hydrants are required. Demonstrate that the buildings are within 1,000-ft of a second hydrant.
3. Submit NFPA Needed Fire Flow Calculations. Per COA DCR, Section 2.3.C.7.b. "Engineer shall provide signed and sealed fire flow demand calculations in accordance with NFPA and Florida Fire Prevention Code requirements."
4. Will the buildings require gas? Has coordination with communications occurred? Will sleeves be provided to prevent damaging the pavement at time of tenant occupancy?
5. Within the Potable Water Connection and Water Meter Details 1 & 2, correct and add the following:
 - a. Proposed tees are not tapped.
 - b. Add weather protection to the backflow preventers.
 - c. Add gate valves to the services to allow for the ability to isolate each service.
 - d. Call out the 2" tees and the 2" 90-degree bend.
 - e. Call out bend after the DDC backflow preventer if the intent is for the line to connect at an angle
6. For the water meters, add a note to call out the specified Utility Detail on Sheet C0.14.
7. Show the routes of the water services to the building to ensure that the water services meet all required clearances.
8. Add a note at the sanitary sewer cleanout at the right-of-way that it is the end of the City of Alachua Maintenance.
9. Add the proposed irrigation water meter and backflow preventer, shown on Sheet IR-2, to the utility plan. Specify the size of the irrigation water meter and backflow preventer.
10. Add potable water and sanitary sewer connection locations to the building.

11. Be sure that each service has a separate cleanout at the building so that if a blockage occurs, it will be easier to determine where the blockage is occurring to prevent disrupting service to other tenants. See below for suggestion clarification.



12. No water main is shown along the east boundary line on the survey. Verify that there is an existing water main at this location to connect to.
13. List the finished floors on the proposed buildings to demonstrate that the buildings are higher than the adjacent sanitary sewer manhole top.

If you have any questions, please contact my office at 352-373-3541.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sergio Reyes'.

Sergio Reyes, P.E.
President / Principal



COUNTYWIDE WETLAND PROTECTION CODE SELF-CERTIFICATION FORM

Instructions: Submit this form to self-certify that the proposed activity complies with the surface water, wetland and buffer protection requirements outlined in [Chapter 77, Article II](#) of the Alachua County Code, or is exempt under Sec. 77.21. If you are unsure if your activity is in compliance or exempt, please fill out a [Verification Request Form](#) or contact staff at wetlands@alachuacounty.us for more information. Please note, you do not need to submit this form for bona-fide farm operations consistent with the provisions of F.S. 163.3162 or F.S. 823.14(6).

PART 1. APPLICANT INFORMATION	
Owner Name:	Applicant/Agent Name:
Phone:	Company:
Email:	Phone:
	Email:
PART 2. PROPERTY INFORMATION	
Tax Parcel Numbers:	Address:
City:	Zip:
PART 3. SELF-CERTIFICATION	
I, _____ owner of the property or authorized agent for the owner, self-certify that the proposed activity complies with the surface water, wetland and buffer protection requirements found in Chapter 77, Article II of the Alachua County Code based on the following (select all that apply):	
1.	<input type="checkbox"/> There are no wetlands, other surface waters, or buffers on or adjacent to the property (if you select this option, proceed to Acknowledgment and submit your self-certification)
2.	<input type="checkbox"/> There are wetlands, other surface waters, or buffers present on or adjacent to the property, but <u>the proposed activity is outside</u> of protected wetlands, surface waters and buffers (complete <u>Part 4, Project Information</u>)
3.	<input type="checkbox"/> There are wetlands, or other surface waters, or buffers present on or adjacent to the property, and there is work proposed in wetlands, other surface waters or buffers, but the proposed activity is exempt by Section 77.21(a) as follows (complete <u>Part 4, Project Information</u>)
4.	<input type="checkbox"/> There are wetlands, other surface waters, or buffers present on or adjacent to the property, but the proposed activity is exempt by Section 77.21(b) as an Urban Redevelopment Project (complete <u>Part 5, Urban Redevelopment Projects</u>).

PART 4. PROJECT INFORMATION

If you selected Self-certification [2] or [3] above, in addition to the information described in this form, your self-certification must also include:

- One set of plans, drawings, or sketches and other supporting documents that clearly and legibly depict and describe the proposed activities in sufficient detail to demonstrate that the work complies with protection requirements (buffer distances) or qualifies for the exemption.

Please answer the following:

Were wetlands and surface waters delineated by a qualified professional according to standards outlined in Florida Administrative Code Rule 62-340.300 for wetlands, and Rule 62-340.600 for surface waters?

☐ Yes ☐ No *Please note: wetland boundaries not delineated by a qualified professional are likely to be inaccurate. You may submit a Verification Request Form to verify compliance with protection requirements.*

Exemptions: Please list the exemption(s) you are requesting to use (refer to Sec. 77.21(a))

Describe in detail how the proposed work will comply with the terms and conditions of the above exemption:

Date Activity is proposed to commence _____ to be completed _____

PART 5. URBAN REDEVELOPMENT PROJECTS

Please submit the following:

- One set of plans and drawings, recent survey, environmental information, and other supporting documents and calculations clearly and legibly depicting that the existing site is 40%, or more, impervious surfaces.

ACKNOWLEDGMENT

I understand this notice is provided as self-certification of compliance with Chapter 77, Article II, Alachua County Code, or qualification to use exemption(s) found in Section 77.21.

Typed/Printed Name

Signature

Date

IMPORTANT: Applications for activities that do not comply with protection requirements found in Chapter 77, Article II nor any of the listed exemptions in Section 77.21, and are requesting to impact wetland and/or surface waters or their buffers must submit an **Application Form**. Final Alachua County BOCC approval of the proposed impacts and Mitigation and Monitoring Plan must be secured prior to initiating the activity within wetlands or buffers.

Draft Subdividers Agreement for Tara Village

From : Justin Tabor <jtabor@cityofalachua.com>

Mon, Jan 28, 2019 05:13 PM

Subject : Draft Subdividers Agreement for Tara Village

To : Sayed Moukhtara, smaaps@atlantic.net <smaaps@atlantic.net>

Cc : Adam Boukari <aboukari@cityofalachua.org>, Kathy Winburn <kwinburn@cityofalachua.com>, Marian Rush <marian@robertarushpa.com>, Silvia Moukhtara Nemer <silvia@nemerrealestate.com>, Stacy Hall <sahall@georgefyoung.com>, Jacob Nussel <jnussel@georgefyoung.com>

Mr. Moukhtara,

Attached for review is a draft of the Subdividers Agreement for Tara Village, dated January 29, 2019. Also attached is a draft Certificate of Concurrency Compliance for Tara Village, dated January 29, 2019. The Certificate will be attached to the Agreement as an exhibit and also requires the signature of the developer.

In order to finalize the Agreement, please provide the following information:

- The form of surety intended to be provided for maintenance (i.e., cash or an irrevocable letter of credit);
- The expected time (in days or months) to complete the construction of all improvements (this estimate should be conservative but reasonably estimate the construction period);
- A Certified Cost of Construction of all infrastructure improvements (including all costs associated with the construction and installation of such improvements), prepared by a professional engineer registered in the State of Florida.

Upon receiving this information, the City will complete Paragraphs 9 and 10 and provide the final version of the Agreement for signature.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

City Hall Hours of Operation

Monday - Thursday, 7:30 AM - 6:00 PM

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

Development Review Team (DRT) Meeting

Meeting Date: April 19, 2018 (Sfatt DRT)

PLEASE PRINT CLEARLY

[illegible]

DEVELOPMENT REVIEW TEAM SUMMARY

PROJECT NAME: Upland Industrial Park, Lots 2 - 5

APPLICATION TYPES: (1) Minor Subdivision / Final Plat (replatting Lots 2 - 5)
(2) Site Plan

PROPERTY OWNER: Upland Properties of NCF, LLC

APPLICANTS/AGENTS: Tommy Bon, PSM, CHW, Inc. (Minor Subdivision / Final Plat);
John Maxfield, P.E., CHW, Inc. (Site Plan)

DRT MEETING DATE: April 19, 2018

DRT MEETING TYPE: Staff

FLUM DESIGNATION: Industrial

ZONING: Light & Warehouse Industrial (ILW)

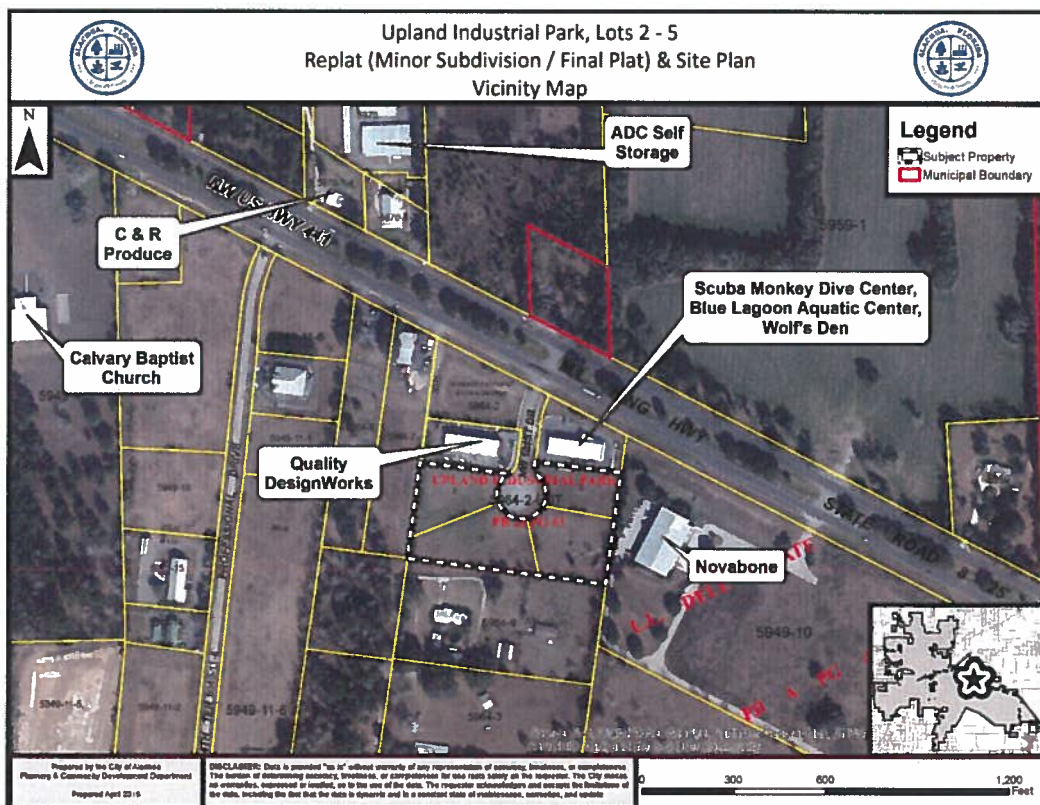
OVERLAY: N/A

ACREAGE: ±4.82 acres

PARCELS: Tax Parcels 05964-002-002 – 05964-002-005

PROJECT SUMMARY: (1) A request to reconfigure Lots 2 – 5 of Upland Industrial Park, as per the plat thereof recorded in Plat Book 28, Page 61, of the Official Records of Alachua County, into a total of two (2) lots; (2) A request to construct a ±23,439 square foot building and a ±26,682 square foot building, with associated drainage, paving, grading and infrastructure improvements

RESUBMISSION DUE DATE: All data, plans, and documentation addressing the insufficiencies identified below must be received by the Planning Department on or before **5:00 PM** on **Thursday, May 3, 2018**.



Deficiencies to be Addressed

** Unless otherwise noted, references to code sections are to the City of Alachua Land Development Regulations. **

Minor Subdivision / Final Plat Review Comments

1. Compliance with Chapter 177, Part I, Florida Statutes
 - a. Please address the requirements of Chapter 177.091(7), F.S., as related to the northwest corner of Lot 2.
2. Compliance with Land Development Regulations (LDRs)
 - a. Graphically depict the 15' minimum side setback for Lot 3 along the north property line. Note the BSL on plat may be increased to be consistent with the width of the PUE.
3. Concurrency Impact Analysis
 - a. References within the Concurrency Impact Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". The street name "NW 13th Street" is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.
4. Comprehensive Plan Consistency Analysis
 - a. References within the Comprehensive Plan Consistency Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". The street name "NW 13th Street" is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.
 - b. Please clarify within the Comprehensive Plan Consistency Analysis the stated uses, and the square footage associated with such uses, are potential uses/area. If a tenant(s) or a definitive use is known, please clarify within the application the known use(s).
 - c. The applicant's analysis of consistency with Policy 1.5.a, FLUE, states the "...site will have direct access onto US-441..." The property fronts NW 101st Drive, but is proximate to US 441. Please address.
5. Miscellaneous / General Comments
 - a. Cross access easement as depicted on the plat does not cover the area of ingress/egress connection to NW 101st Drive, nor does the cross access easement cover all area along the access drive between and located on the property line between Lots 2 and 3. Please address.
 - b. For consistency with the record plat and with Surveyor's Note #10, please label the "5' Buffer" as shown along the east, south, and west perimeter of the subject property as "5' **Basic** Buffer", and reference Note #10 on the plat drawing where the buffer is called out.
 - c. Please review Surveyor's Notes #16, #18, and #19 of the record plat to confirm the applicability of these notes to the subject property. These notes pertain to ingress/egress easement along west property line of Lot 2 and covenants, conditions, restrictions and other matters. If applicable, add the notes to Surveyor's Notes on the proposed Replat.
 - d. Please correct the reference to the "City of Alachua" in the Certificate of Approval by the City Commission, immediately above the signature line.
 - e. Please confirm the name of and address for the managing member in the owner's certification is correct.
6. Public Services / Professional Surveyor and Mapper Review Comments
 - a. Comments from the Public Services Department to be provided under separate cover.
 - b. Comments from Alachua County Fire Rescue to be provided under separate cover.
 - c. The applicant must address the comments provided by Robert W. Graver, PSM, of EDA Engineers – Surveyors – Planners, Inc., in a letter dated April 17, 2018.

7. Completeness Review Comments

- a. The applicant must address the remaining completeness review comments, as noted in a letter dated April 9, 2018:

Final Plat Attachment #4, Comprehensive Plan Consistency Analysis

Action to Address Deficiency: Responses to some Comprehensive Plan policies do not reflect the proposed application type. Please revise the responses to the following policies to address the correct application type: **Policy 2.4.a, FLUE.**

Site Plan Review Comments

8. Compliance with Section 6.1, Off-Street Parking and Loading Standards (and Traffic Circulation)

- a. The applicant has utilized a parking standard of 1 space per 300 square feet of floor area for office space (30% of each building). Per Table 6.1-1, the parking standard for all office use types is 1 space per 330 square feet of floor area. Revise accordingly.
- b. "Light industrial" is not a use type established in Table 6.1-1. The intended use type may be "light manufacturing". Revise the use type identified on Sheet C0.00 to identify the correct use type.
- c. Identify location of and dimension minimum required off-street loading spaces in accordance with minimum standards per Section 6.1.5 (minimum 1 space for Lots 2 – 3, 2 spaces for Lots 4 – 5).
- d. The circulation pattern for waste collection restricts the ability of trucks to circulate around the building. Circulation pattern of the site must accommodate waste collection trucks. Provide AutoTurn simulation demonstrating an acceptable traffic flow for waste collection.
- e. "Do Not Enter" signs are called out on Sheets C1.01 and C1.02 at the drive aisle between the proposed lots, however, pavement markings indicate traffic is intended to be able to enter through drive aisle. Please address.
- f. For Lots 4 – 5, Sheet C0.00 notes a maximum of 54 parking spaces, however, the calculations above do not equal 54 spaces. Please correct.

9. Compliance with Section 6.2, Tree Protection / Landscape / Xeriscape Standards

- a. Section 6.2.2(D)(1)(c) requires three canopy trees per acre on the primary or street facing side plus an additional four canopy trees for every 100 lineal feet of façade, planted in front of the façade. Calculations for site landscaping, primary side canopy trees, on Sheet LS-1 over-count the number of trees provided given the building façade requirements of the same section. Correct the number provided for site landscaping, primary side canopy trees, to account for those provided to meet building façade landscape requirement.
- b. Based upon the calculations provided on Sheet LS-1, 16 understory trees are required in front of the structures to meet site landscaping requirements. One additional understory tree is required in front of the structures to meet site landscaping requirements.
- c. Shrubs not provided within interior parking lot landscape islands. Per Section 6.2.2(D)(2)(a)(iii), shrubs shall be required at the minimum rate of ten shrubs per canopy or ornamental/understory tree. Revise accordingly.
- d. Based upon calculations on Sheet LS-1, parking lot perimeter landscaping requires 17 canopy trees. It appears some trees within interior landscape islands are being credited to meet parking lot perimeter buffer requirements, and that an additional 2 canopy trees are required along the parking lot perimeter to meet the minimum requirement per Section 6.2.2.(D)(2)(b)(iv).
- e. Sheet IR-2 shows only one irrigation meter for the entire site. One irrigation meter shall be provided for Lots 2 – 3, and a second irrigation meter shall be provided for Lots 4 – 5.
- f. Section 6.2.3(B) requires sides of waste receptacle screens providing service to be gated, and for such gates to be constructed of a material consistent with screening material used on all

other sides of the receptacle. Architectural plans note gate to be constructed of “decorative wood slats or chain link with vinyl slats”. Chain link / vinyl slats are not consistent with proposed stucco screen wall. Revise accordingly.

10. Compliance with Section 6.3, Fencing Standards

- a. Provide cross section detail of each proposed retaining wall and waste receptacle screening wall. For Lots 2 – 3, the combined height of waste receptacle screening and retaining wall appears to exceed the maximum height permitted per Section 6.3.3(B).
- b. Portions of the chain link fence proposed along the top of the retaining wall south of the drive aisle near the south property line will be visible from NW 101st Drive. Chain link (galvanized) is prohibited when visible from the right of way. Black or green vinyl coated is permitted (except when visible from an arterial or collector road). Please address.

11. Compliance with Section 6.4, Exterior Lighting Standards

- a. Pole-mounted light fixtures are proposed to be mounted at 25'. Per Section 6.4.5(A), maximum height of light fixtures for the proposed development is 15'. Revise accordingly.
 - i. Also note the maximum mounted height of light fixtures along the retaining wall must not exceed 15'.
- b. Sheet E-1 notes 16 pole-mounted lights, however only 15 appear to be proposed.
- c. Provide cut sheets for each proposed light fixture. Cut sheets for wall lights must demonstrate how the proposed wall light fixtures will comply with Section 6.4.4(A) (fully shielded luminaires, such as shoebox or can-style fixtures).

12. Compliance with Section 6.8, Design Standards for Business Uses

- a. The applicant has utilized the façade massing offset alternative as set forth in Section 6.8.2(A)(2)(b)(ii)b., which allows for the provision of pilasters having a minimum depth of one foot, a minimum width of one foot, and a minimum height of 80 percent of the façade's height. Proposed pilasters do not provide a minimum depth of one foot. Revise accordingly.
- b. Section 6.8.2(A)(2)(c) requires a minimum of 25 percent of the materials used for the front or street-facing facades to be used for the side and rear facing facades. Side and rear-facing facades (east and south elevations for Lots 4 – 5; west and south elevations for Lots 2 – 3) are composed entirely of metal panels and do not incorporate any of the materials used in front/street-facing facades. Revise accordingly.
- c. Section 6.8.2(A)(2)(d)(i) prohibits metal siding in more than 50 percent of any façade when visible from a street. Given the finished grade of the site, finished floor area of the building, and proximity to US 441, all or part of the east elevation of building proposed for Lots 4/5 will be visible from US 441. Please address.
- d. Section 6.8.2(A)(3) is applicable to roof-mounted mechanical equipment for the building proposed on Lots 4/5, in whole or in part. Any roof-mounted mechanical equipment, such as HVAC systems or other equipment, must be screened in accordance with Section 6.8.2(A)(3).

13. Comprehensive Plan Consistency

- a. The applicant must address compliance with Policy 1.2.b of the Transportation Element, which requires a minimum 100 feet between ingress/egress points.

14. Concurrency Impact Analysis

- a. References within the Concurrency Impact Analysis to NW US Highway 441 also identify the highway as “NW 13th Street”. This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.

15. Comprehensive Plan Consistency Analysis

- a. References within the Comprehensive Plan Consistency Analysis to NW US Highway 441 also identify the highway as "NW 13th Street". This title is not applicable to the portion of NW US Highway 441 proximate to the subject property. Revise accordingly.
- b. Please clarify within the Comprehensive Plan Consistency Analysis the stated uses, and the square footage associated with such uses, are potential uses/area. If a tenant(s) or a definitive use is known, please clarify within the application the known use(s).
- c. The applicant's analysis of consistency with Policy 1.5.a, FLUE, states the "...site will have direct access onto US-441..." The property fronts NW 101st Drive, but is proximate to US 441. Please address.

16. Miscellaneous / General Comments

- a. Sheet C0.15: Section C-C labeled as "Typical Retaining Wall Section C-C". No retaining wall depicted for Typical Section C-C.
- b. Sheet C0.00: add floor area ratio to general notes.
- c. Sheet C0.00: Setbacks reflect information not applicable to Lots 2 – 5 (i.e., front setback from US 441; side setbacks along NW 101st Drive. In addition, the setbacks as stated are not consistent with those as per the recorded plat and the proposed replat. Revise accordingly.
- d. C0.00: Note 11 – Note should state that uses "shall be" consistent with the uses permitted in ILW zoning. "Proposed Possible Uses" is also not necessary, given the statement which proceeds this information.
- e. Sheets C0.00: the date of the boundary and topographic survey, as stated in General Note 4, is different than the date of the survey submitted with the plans.
- f. Sheet C0.10: General Note 14 – reference to "Alachua County Environmental Protection Department" should be changed to the "Landscape Architect for the Project".
- g. C1.00 – C1.02, C2.00 – C2.02: General Note 2 references Geotechnical Engineering Report by GSE Engineering and Consulting, Inc. This report has not been submitted with application materials.

17. Public Services / Professional Surveyor and Mapper Review Comments

- a. Comments from the Public Services Department to be provided under separate cover.
- b. Comments from Alachua County Fire Rescue to be provided under separate cover.
- c. The applicant must address the comments provided by Sergio Reyes, P.E., of EDA Engineers – Surveyors – Planners, Inc., in a letter dated April 18, 2018.



April 17, 2018

The City of Alachua Planning & Community Development Department
Attention: Justin Tabor
P.O. Box 9
Alachua, Florida 32616-0009

Re: Review of 'Upland Industrial Park Replat' for conformity to Chapter 177, Part I –
Platting (Florida Statutes)

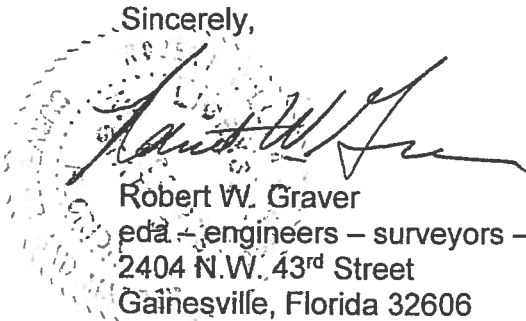
I have reviewed the Plat of 'Upland Industrial Park Replat', dated: April 5, 2018, for conformity to Florida Statutes Chapter 177, Part I – Platting and find it to be in conformance with all Sections and Subsections with the following exceptions:

- 1) A Permanent Reference Monument needs to be placed at the northwest corner of Lot 2 (177.091 (7)).
- 2) The description of the abbreviations "R/W" and "NAVD88" need to be added to the legend. (177.091 (29)).

Further:

- 1) In my opinion in both the Certificate of Approval by Professional Surveyor and Mapper and the Surveyor's Certificate the reference to Chapter 177, Part I should read "Chapter 177, Part I – Platting".
- 2) In the Certificate of Approval by the City Commission it is stated that the foregoing Plat was approved by the City Commission of the City of Alachua County, Florida". It is my opinion this should read "the City of Alachua, Florida".
- 3) Note 11 of the Surveyor's Notes refers to the maintenance of a Landscape Easement which is not a part of this Plat.

Sincerely,



Robert W. Graver
eda – engineers – surveyors – planners, inc.
2404 N.W. 43rd Street
Gainesville, Florida 32606

April 18, 2018

Mr. Justin Tabor, AICP
Principal Planner
City of Alachua
PO Box 9
Alachua, FL 32616



Re: Upland Industrial Park, Lots 2-5 - Site Plan

Dear Mr. Tabor,

Thank you for the opportunity to review the Upland Industrial Park, Lots 2-5 - Site Plan.
Please find my comments below:

Comments:

ISO Needed Fire Flow (NFF) Worksheet

1. For the proposed East Building, revise the Right Exposure to account for the existing building in Lot 6. From the plans, the proposed building appears to be approximately 85-ft from the existing building. Submit revised calculations showing the updated needed fire flow requirement for the proposed East Building.
2. For the proposed West Building, revise the Left Exposure to account for the existing building in Lot 1. From the plans, the proposed building appears to be approximately 95-ft from the existing building. Submit revised calculations showing the updated needed fire flow requirement for the proposed West Building.

Sheet C0.00

1. Add a total impervious area calculation to your development data table to show compliance with the existing SRWMD ERP permitted percentage of impervious area.
2. Add loading zone requirement to parking table. Include the calculation to demonstrate compliance.
3. The ADA criteria specified for number of required parking spaces is for the incorrect range of parking spaces. Update criteria specified to match the number of parking spaces provided on the plans.

4. The date listed for the survey completion does not agree with the date on the survey. Correct the date.

Sheet C0.10

1. The project site is not adjacent to the FDOT Right-of-Way. Why are the FDOT General Notes included?
2. Update Note 8 of Water and Wastewater General Notes to match FAC 62-555. FAC 62-555 requires "New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, *between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.*"

Sheet C0.12

3. The Handicap Parking Detail does not agree with what is shown on Sheets C1.00, C1.01, and C1.02. Update detail to match proposed conditions.
4. Where is the Sleeve Crossing Detail used? Specify on Sheet C3.00.
5. Add details for the sidewalk ramps used or label the sidewalk ramps per the FDOT index on Sheets C1.01 and C1.02.

Sheet C0.14

1. Verify that the Utility Details shown match the most up to date City of Alachua Design Construction Requirements details (i.e. the distance between the ground to the RPZ outlet in the Typical Underground Backflow Preventer detail; material (Sch 40 PVC) missing from the Typical Gang Meter Assembly detail, etc.)

Sheet C0.21

1. The silt fence shown is blocking the construction of the proposed sidewalk. Revise silt fence location.
2. Provide the location of the temporary construction water source.

Sheet C1.00

1. Why are the AutoTurn cars included? What is the intent? Without the simulation route, the cars are unnecessary and do not provide additional design information.

2. Add proposed door locations to the buildings to determine accessibility compliance.
3. What is the second dashed line in from the west property line?

Sheets C1.01/ C1.02

1. Add proposed door locations to the buildings to determine accessibility compliance.
2. How are delivery trucks supposed to access the back of the buildings? Each of the driveways to the rear have "Do Not Enter" signs.
3. How will the garbage truck turn around? Verify garbage truck maneuverability to the dumpster.
4. On Sheet C1.02, should the "No Left Turn" sign be a "No Right Turn" sign?
5. Specify where the AC Units will be located.
6. What type of delivery trucks are anticipated? Have AutoTurn simulations been conducted to ensure that the trucks can maneuver behind the proposed buildings?
7. Add dimensions to the loading zones.
8. Add sufficient dimensional tie down information to make the site constructible. (i.e. Add northing and eastings at the building corners.)

Sheets C2.01/C2.02

1. Add door locations to show compliance with accessibility requirements. Ensure that grades adjacent to doors do not exceed 2%.
2. Due to the slope on the proposed driveway, we recommend inlets at the end of the driveway to collect stormwater runoff before it enters the cul-de-sac to prevent nuisance flooding within the cul-de-sac.
3. Provide stormwater pipe calculations to demonstrate that the existing inlets and pipes in NW 101st Drive can accommodate the runoff generated by the proposed development.
4. Will the proposed building have downspouts? How will the water be collected?

5. Provide swale calculations to demonstrate that the proposed bypass swale can accommodate the runoff from the adjacent site.
6. Add additional spot grades for constructability at the following locations:
 - a. Concrete pads for bike racks
 - b. Dumpster areas
 - c. Curved sidewalk to demonstrate slope of sidewalk. Sidewalk slopes shall meet accessibility requirements.
 - d. On the east sidewalk (curved L-shaped) from the right-of-way to the proposed building to determine proposed slopes.
 - e. Sidewalk ramps within the project site
 - f. Connection location of on-site sidewalk to sidewalk within the right-of-way
 - g. Add spots to connection location of new portion of the sidewalk within the right-of-way. Be more specific than match existing.
7. Is the intent to have a 6" concrete curb around the parking spaces? The proposed contours do not indicate it. For example, on Sheet C2.01, adjacent to the eastern entrance, the drive aisle to the parking spaces, the contours and spot grades show a continuous grade through the curb.
8. The note "Handicap parking, running slope of walking surface shall not be steeper than 1:20 (5%) and the cross slope of walking surface shall not be steeper than 1:48 (2%)" is incorrect. ADA parking spaces are to be no greater than 2% in any direction per Section 502.4 of the Florida Accessibility Code for Building Construction. The criteria cited on the plan sheet is for sidewalks.
9. Are the inlets on Lot 6 designed to accommodate the drainage from the proposed site? Provide calculations that demonstrate that the inlets can handle the additional runoff. Is there a Drainage Easement to allow the proposed site to discharge onto the adjacent property?
10. In the north east corner, there is a contour with both a 123 label and a 124 label. Correct the label.
11. Is the purpose of the existing inlet in the north west corner of the property to capture the discharge from offsite? Verify that the swale directs water to the inlet and that the inlet can accommodate the runoff from the swale.
12. Provide cross sections of the driveway connections to demonstrate grading and handicap accessibility of the crosswalk. The driveways appear steep.

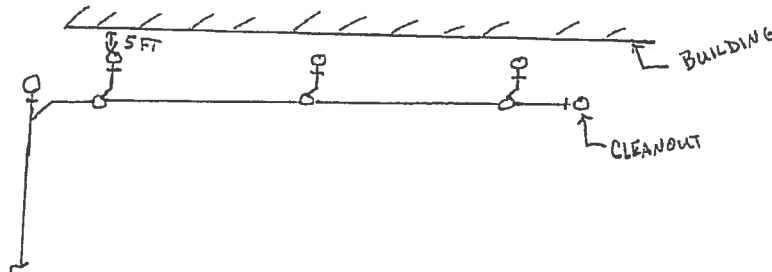
Sheets C3.00

1. We recommend being consistent with the scale used to prevent miscalculations in the field. The scale of the master sheets was 1" = 40' and the scale of the

detailed sheets was 1" = 20'. This sheet has a scale of 1"=30'.

2. Per the City of Alachua Design Construction Requirements (COA DCR), "The number of fire hydrants required for a project will be determined based on the fire flow demand calculations. One hydrant will be required for each 1,000 gpm of demand, with at least one hydrant located within 500-feet of the most remote point of the building, as the fire truck drives. The remaining hydrants shall be located within 1,000-feet of the most remote point of the building, as the fire truck drives." Demonstrate that no portion of the building is greater than 500-ft to a fire hydrant as the truck travels. Per the submitted ISO Needed Fire Flow Calculations, 2,250 gpm are required and therefore, two (2) fire hydrants are required. Demonstrate that the buildings are within 1,000-ft of a second hydrant.
3. Submit NFPA Needed Fire Flow Calculations. Per COA DCR, Section 2.3.C.7.b. "Engineer shall provide signed and sealed fire flow demand calculations in accordance with NFPA and Florida Fire Prevention Code requirements."
4. Will the buildings require gas? Has coordination with communications occurred? Will sleeves be provided to prevent damaging the pavement at time of tenant occupancy?
5. Within the Potable Water Connection and Water Meter Details 1 & 2, correct and add the following:
 - a. Proposed tees are not tapped.
 - b. Add weather protection to the backflow preventers.
 - c. Add gate valves to the services to allow for the ability to isolate each service.
 - d. Call out the 2" tees and the 2" 90-degree bend.
 - e. Call out bend after the DDC backflow preventer if the intent is for the line to connect at an angle
6. For the water meters, add a note to call out the specified Utility Detail on Sheet C0.14.
7. Show the routes of the water services to the building to ensure that the water services meet all required clearances.
8. Add a note at the sanitary sewer cleanout at the right-of-way that it is the end of the City of Alachua Maintenance.
9. Add the proposed irrigation water meter and backflow preventer, shown on Sheet IR-2, to the utility plan. Specify the size of the irrigation water meter and backflow preventer.
10. Add potable water and sanitary sewer connection locations to the building.

11. Be sure that each service has a separate cleanout at the building so that if a blockage occurs, it will be easier to determine where the blockage is occurring to prevent disrupting service to other tenants. See below for suggestion clarification.

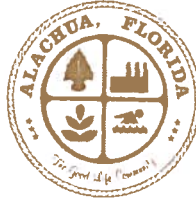


12. No water main is shown along the east boundary line on the survey. Verify that there is an existing water main at this location to connect to.
13. List the finished floors on the proposed buildings to demonstrate that the buildings are higher than the adjacent sanitary sewer manhole top.

If you have any questions, please contact my office at 352-373-3541.

Sincerely,

Sergio Reyes, P.E.
President / Principal



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

April 11, 2018

VIA HAND DELIVERY

Mr. Sergio Reyes, P.E.
EDA Engineers, Surveyors, Planners, Inc.
2404 NW 43rd Street
Gainesville, FL 32606

RE: Review of Upland Industrial Park, Lots 2 – 5 Minor Subdivision / Final Plat (Replat) & Site Plan

Dear Mr. Reyes:

The City of Alachua Planning & Community Development Department requests your firm conduct a **surveying review** of the referenced final plat (replat) and an **engineering review** of the referenced Site Plan. The Minor Subdivision / Final Plat application proposes to replat Lots 2 – 5 of Upland Industrial Park, as per the plat thereof recorded in Plat Book 28, Page 61, of the Official Records of Alachua County, reconfiguring the ±4.82 acre subject property into a total of two (2) lots. The Site Plan application proposes to construct a ±23,439 square foot building and a ±26,682 square foot building, with associated drainage, paving, grading and infrastructure improvements on the subject property.

Please provide comments by **5:00 PM on Wednesday, April 18, 2018**, so that your comments may be incorporated into the City's review of this application.

If you have any questions regarding these applications, please contact me at 386-418-6100 x 107.

Sincerely,

Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director
Project Files



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

April 4, 2018

Also sent by electronic mail to johnnm@chw-inc.com

John Maxfield
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Conditional Application Acceptance: Upland Industrial Park, Lots 2 – 5 Site Plan

Dear Mr. Maxfield:

On March 29, 2018, the City of Alachua received your revised application and materials for the Site Plan of Upland Industrial Park Lots 2 – 5, which proposes two (2) new buildings and associated parking, drainage, paving, grading, and infrastructure improvements on Lots 2 – 5 of Upland Industrial Park (Tax Parcel Numbers 05964-002-002 – 05964-002-005), consisting of a ± 4.82 acre subject property. The revised application and materials were submitted to address completeness review comments provided in a letter dated March 26, 2018.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness, and finds the aforementioned application to be complete, conditional upon submission of certain materials. Review of the application may commence upon satisfaction of the following comments.

The comments below are based solely on a preliminary review of your application for completeness. Detailed comments will be provided at a Development Review Team (DRT) Meeting, which will be scheduled under separate cover.

Please address the following:

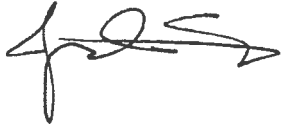
1. Compliance with Recorded Plat

Issue: Proposed buildings are located within building setback areas as depicted on the plat of Upland Industrial Park, as recorded in Plat Book 28, Page 61, of the Official Records of Alachua County, Florida. Proposed configuration will require replatting the lots. Such replat may qualify for Minor Subdivision review. Reference Section 2.4.10(F)(1).

Action to Address Deficiency: Submit an application to replat the subject property, or reconfigure development proposal to comply with lot / setback requirements per the recorded plat.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Justin Tabor', with a stylized flourish at the end.

Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director *(by electronic mail)*
Adam Hall, AICP, Planner *(by electronic mail)*
Project File



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

March 26, 2018

Also sent by electronic mail to johnm@chw-inc.com

John Maxfield
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Completeness Review #3: Upland Industrial Park, Lots 2 – 5 Site Plan Application

Dear Mr. Maxfield:

On March 19, 2018, the City of Alachua received your revised application and materials for the Site Plan of Upland Industrial Park Lots 2 – 5, which proposes two (2) new buildings and associated parking, drainage, paving, grading, and infrastructure improvements on Lots 2 – 5 of Upland Industrial Park (Tax Parcel Numbers 05964-002-002 – 05964-002-005), consisting of a ± 4.82 acre subject property. The revised application and materials were submitted to address completeness review comments provided in a letter dated February 1, 2018.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. **The time frame and cycle for review shall be based upon the date the application is determined to be complete.** If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the application shall be considered withdrawn.

The comments below are based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will be performed, and the findings of the in-depth review will be discussed at a Development Review Team (DRT) Meeting, which will be scheduled after the application is determined to be complete.

In order to provide a complete application, you must address the following:

1. Compliance with Recorded Plat

Issue: Proposed buildings are located within building setback areas as depicted on the plat of Upland Industrial Park, as recorded in Plat Book 28, Page 61, of the Official Records of Alachua County, Florida. Proposed configuration will require replatting the lots. Such replat may qualify for Minor Subdivision review. Reference Section 2.4.10(F)(1).

Action to Address Deficiency: Submit an application to replat the subject property, or reconfigure development proposal to comply with lot / setback requirements per the recorded plat.

3. **Site Plan Attachment #7:** Neighborhood Meeting Materials, including:
- ii. Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice

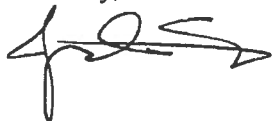
Action Needed to Address Deficiency: Confirm that, as required by Section 2.2.4(D) of the LDRs, those persons/organizations registered with the City to receive notices of Neighborhood Meetings were provided such notice of the Neighborhood Meeting for the project.

4. **Site Plan Attachment #8:** Legal description with tax parcel number, separate from all other documentation on 8.5" x 11" paper.

Action Needed to Address Deficiency: Legal description references a map attached herewith; however, no map is attached to legal description.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director (*by electronic mail*)
Adam Hall, AICP, Planner (*by electronic mail*)
Project File

RE: Upland Industrial Park - Response to insufficiency report

From : John Maxfield <JohnM@chw-inc.com>
Subject : RE: Upland Industrial Park - Response to insufficiency report
To : Justin Tabor <jtabor@cityofalachua.org>
Cc : kwinburn <kwinburn@cityofalachua.org>

Mon, Mar 19, 2018 05:13 PM

 1 attachment

Sounds good. I'll come over tomorrow to do that.

From: Justin Tabor [mailto:jtabor@cityofalachua.org]
Sent: Monday, March 19, 2018 5:12 PM
To: John Maxfield <JohnM@chw-inc.com>
Cc: kwinburn <kwinburn@cityofalachua.org>
Subject: Re: Upland Industrial Park - Response to insufficiency report

John,

After reviewing the completeness review comments in the 2/1/18 letter, you are correct that the items noted therein were for additional information. For purposes of review by other City Staff, however, I would ask that the information be added to the packets already submitted. This can be done at our office. If the waste receptacle screening is on a new sheet, please provide copies of just that sheet.

If you'd like to give me a call I can explain how we review materials for completeness and distribute for review by others in advance of the DRT Meeting. It is easier to explain verbally as to why a single package is preferable.

Sincerely,

Justin Tabor, AICP
Principal Planner
City of Alachua
15100 NW 142nd Terrace | PO Box 9
Alachua, Florida 32616
386.418.6100 x 107 | fax: 386.418.6130
jtabor@cityofalachua.com

City Hall Hours of Operation
Monday - Thursday, 7:30 AM - 6:00 PM

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From: "John Maxfield" <JohnM@chw-inc.com>
To: "Justin Tabor" <jtabor@cityofalachua.org>
Cc: "kwinburn" <kwinburn@cityofalachua.org>
Sent: Monday, March 19, 2018 1:10:11 PM
Subject: RE: Upland Industrial Park - Response to insufficiency report

The only thing I think you could reasonably want to add to a specific spot in the previous submittal is the sheet with the waste receptacle enclosure. The other materials are simply providing additional documentation you requested. I had intended to provide you with 9 copies of a package with a response letter and the additional data attached (along with a single CD with the just the added information). From a records standpoint, that provides a clearer documentation of the history of this submittal. Please let me know if that is sufficient.

John

From: Justin Tabor [mailto:jtabor@cityofalachua.org]
Sent: Monday, March 19, 2018 11:55 AM
To: John Maxfield <JohnM@chw-inc.com>
Cc: Kathy Winburn <kwinburn@cityofalachua.org>
Subject: Re: Upland Industrial Park - Response to insufficiency report

John,

We will need 9 copies of materials. To reduce the amount of printing required you are welcome to have someone from your office pick up the previously submitted materials (received 1/23/18) to remove and replace documents as needed. Please let me know if you'd like us to return the previously submitted application packages and I'll place them at the Planning Dept. counter.

Please note, however, that Comment #1 of the 2/1/18 completeness letter addresses compliance with the recorded plat. The site plan application will remain incomplete until this comment is addressed, either by adjusting the proposed development to meet the required setbacks and any other pertinent requirements of the recorded plat, or by submitting a replat to reconfigure the lot lines.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

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From: "John Maxfield" <JohnM@chw-inc.com>

To: "Justin Tabor" <jtabor@cityofalachua.org>

Sent: Monday, March 19, 2018 11:31:50 AM

Subject: Upland Industrial Park - Response to insufficiency report

Justin – we finally have all the information to respond to the City's insufficiency report (although we still aren't ready to submit the replat) for the Upland Industrial Park. Do you need 9 copies? I can drop them off up front today or we can meet if you want to go over them. Let me know your preference.

JOHN MAXFIELD, PE | Director of Land Development

t: (352) 331-1976 ext 955 | c: (352) 672-0227

e: johnm@chw-inc.com

w: www.chw-inc.com



JACKSONVILLE.GAINESVILLE.OCALA

t: (904) 619-6521 | 8563 Argyle Business Loop, Suite 3, Jacksonville, FL 32244

t: (352) 331-1976 | 11801 Research Drive, Alachua, FL 32615

t: (352) 414-4621 | 101 NE 1st Avenue, Ocala, FL 34470

PLANNING DESIGN SURVEYING ENGINEERING CONSTRUCTION

Upland Industrial Park

From : John Maxfield <JohnM@chw-inc.com>

Thu, Mar 01, 2018 02:47 PM

Subject : Upland Industrial Park

 1 attachment

To : Justin Tabor <jtabor@cityofalachua.org>

Justin – after an extended time to get things scheduled, the Fire Flow test is scheduled for 3/5. Rodolfo confirmed that a fire flow test was sufficient for this project.

Regarding the replat – We are still waiting on one document from the underwriter. We continue to push them to get this cleared up.

I will provide the fire flow information as soon as I have it. Thanks for your patience.

CHW's Gainesville office has moved to **PROGRESS PARK IN ALACHUA!** Visit us at our new address below.

JOHN MAXFIELD | Director of Land Development

t: (386) 518-5142 | c: (352) 672-0227

e: johnm@chw-inc.com

w: www.chw-inc.com



JACKSONVILLE GAINESVILLE OCALA

t: (904) 619-6521 | 8563 Argyle Business Loop, Ste., 3, Jacksonville, FL 32244

t: (352) 331-1976 | 11801 Research Drive, Alachua, FL 32615

t: (352) 414-4621 | 101 NE 1st Ave., Ocala, FL 34470

PLANNING DESIGN SURVEYING ENGINEERING CONSTRUCTION

RE: Revised Application - Upland Industrial Park, Lots 2 - 5 Site Plan**From :** John Maxfield <JohnM@chw-inc.com>

Wed, Feb 21, 2018 11:29 AM

Subject : RE: Revised Application - Upland Industrial Park, Lots 2 - 5 Site Plan**To :** Justin Tabor <jtabor@cityofalachua.org>**Cc :** kwinburn <kwinburn@cityofalachua.org>, Adam Hall <ad_hall@cityofalachua.org>, Kristy Adkins <kristya@chw-inc.com>

Sorry for the continued delays. I have a request in with Gator Fire to get a fire flow test at the site. They are coordinating with the Fire Department. The replat submittal is still waiting on a title opinion letter that seems to be hung up due to delays from the underwriter. We will submit info as soon as we get it.

JOHN MAXFIELD, PE | Director of Land Development
t: (386) 518-5142 | c: (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]**Sent:** Wednesday, February 07, 2018 4:22 PM**To:** John Maxfield <JohnM@chw-inc.com>**Cc:** kwinburn <kwinburn@cityofalachua.org>; Adam Hall <ad_hall@cityofalachua.org>; Kristy Adkins <kristya@chw-inc.com>**Subject:** Re: Revised Application - Upland Industrial Park, Lots 2 - 5 Site Plan

Thanks for the update.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com**City Hall Hours of Operation**

Monday - Thursday, 7:30 AM - 6:00 PM

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From: "John Maxfield" <JohnM@chw-inc.com>**To:** "Justin Tabor" <jtabor@cityofalachua.org>**Cc:** "kwinburn" <kwinburn@cityofalachua.org>, "Adam Hall" <ad_hall@cityofalachua.org>, "Kristy Adkins" <kristya@chw-inc.com>**Sent:** Wednesday, February 7, 2018 11:26:48 AM**Subject:** RE: Revised Application - Upland Industrial Park, Lots 2 - 5 Site Plan

Just another update. We are completing the replat application and are just waiting on a letter from one of the attorney's. We should be submitting the replat very soon to your office.

JOHN MAXFIELD, PE | Director of Land Development
t: (386) 518-5142 | c: (352) 672-0227
e: johnm@chw-inc.com
w: www.chw-inc.com

From: Justin Tabor [mailto:jtabor@cityofalachua.org]**Sent:** Thursday, February 01, 2018 1:09 PM**To:** John Maxfield <JohnM@chw-inc.com>**Cc:** kwinburn <kwinburn@cityofalachua.org>; Adam Hall <ad_hall@cityofalachua.org>; Kristy Adkins <kristya@chw-inc.com>**Subject:** Re: Revised Application - Upland Industrial Park, Lots 2 - 5 Site Plan

John,

Thank you for the update in reference to the replat.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

386.418.6100 x 107 | fax: 386.418.6130

jtabor@cityofalachua.com

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From: "John Maxfield" <JohnM@chw-inc.com>

To: "Justin Tabor" <jtabor@cityofalachua.org>

Cc: "kwinburn" <kwinburn@cityofalachua.org>, "Adam Hall" <ad_hall@cityofalachua.org>, "Kristy Adkins" <kristya@chw-inc.com>

Sent: Thursday, February 1, 2018 1:08:40 PM

Subject: RE: Revised Application - Upland Industrial Park, Lots 2 - 5 Site Plan

Thanks, Justin. We will review the comments and provide the additional information requested as soon as we can. Regarding the replat, we have requested some title information from the owner and are still waiting on that information. We should be submitting the replat around the middle of next week if we get the title information this week. I'll keep you updated on the status as I learn more.

JOHN MAXFIELD, PE | Senior Engineer

t: (386) 518-5142 | c: (352) 672-0227

e: johnm@chw-inc.com

w: www.chw-inc.com

From: Justin Tabor [<mailto:jtabor@cityofalachua.org>]

Sent: Thursday, February 01, 2018 11:58 AM

To: John Maxfield <JohnM@chw-inc.com>

Cc: Kathy Winburn <kwinburn@cityofalachua.org>; Adam Hall <ad_hall@cityofalachua.org>; Kristy Adkins <kristya@chw-inc.com>

Subject: Revised Application - Upland Industrial Park, Lots 2 - 5 Site Plan

John,

Please see the attached letter in reference to the revised application and materials received on January 23 for the Site Plan application for Upland Industrial Park, Lots 2 - 5.

Sincerely,

Justin Tabor, AICP

Principal Planner

City of Alachua

15100 NW 142nd Terrace | PO Box 9

Alachua, Florida 32616

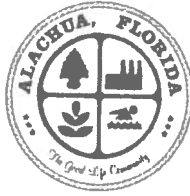
386.418.6100 x 107 | fax: 386.418.6130

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City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

February 1, 2018

Also sent by electronic mail to johnnm@chw-inc.com

John Maxfield
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Completeness Review of Upland Industrial Park, Lots 2 – 5 Site Plan Application

Dear Mr. Maxfield:

On January 23, 2018, the City of Alachua received your revised application submittal for the Site Plan of Upland Industrial Park Lots 2 – 5, which proposes two (2) new buildings and associated parking, drainage, paving, grading, and infrastructure improvements on Lots 2 – 5 of Upland Industrial Park (Tax Parcel Numbers 05964-002-002 – 05964-002-005), consisting of a ± 4.82 acre subject property. The revised application was submitted to address completeness review comments provided in a letter dated January 2, 2018.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. **The time frame and cycle for review shall be based upon the date the application is determined to be complete.** If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the application shall be considered withdrawn.

The comments below are based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will be performed, and the findings of the in-depth review will be discussed at a Development Review Team (DRT) Meeting, which will be scheduled after the application is determined to be complete.

In order to provide a complete application, you must address the following:

1. Compliance with Recorded Plat

Issue: Proposed buildings are located within building setback areas as depicted on the plat of Upland Industrial Park, as recorded in Plat Book 28, Page 61, of the Official Records of Alachua County, Florida. Proposed configuration will require replatting the lots. Such replat may qualify for Minor Subdivision review. Reference Section 2.4.10(F)(1).

Action to Address Deficiency: Submit an application to replat the subject property, or reconfigure development proposal to comply with lot / setback requirements per the recorded plat.

2. **Site Plan Attachment #1:** Site Plan including but not limited to:

- o. Location of waste receptacles and detail of waste receptacle screening.

Issue: Civil plans direct to architectural plans for waste receptacle screening detail. Waste receptacle screening detail not included within architectural plans submitted with application.

Action Needed to Address Deficiency: Provide waste receptacle screening detail.

3. **Site Plan Attachment #3:** Fire Department Access and Water Supply: The design criteria shall be Chapter 18 of the Florida Fire Prevention Code. Plans must be on separate sealed sheets and must be prepared by a professional Fire engineer licensed in the State of Florida. Fire flow calculations must be provided for each newly constructed building. When required, fire flow calculations shall be in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (ISO) and /or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater. All calculations must be demonstrated and provided. All calculations and specifications must be on the plans and not on separate sheets. All fire protection plans are reviewed and approved by the Alachua County Fire Marshal.

Issue: Applicant has not provided fire flow calculations (i.e., needed fire flow to serve the buildings) or demonstration of available flow.

Action Needed to Address Deficiency: (1) Provide fire flow calculations in accordance with applicable code standards. (2) Coordinate with potable water purveyor – City of Alachua Public Services – to determine available flow.

4. **Site Plan Attachment #6:** *For Site Plans for Buildings Less than 80,000 Square Feet in Area:* One (1) set of labels for all property owners within 400 feet of the subject property boundaries – even if property within 400 feet falls outside of City limits (obtain from the Alachua County Property Appraiser's web site) – and all persons/organizations registered to receive notice of development applications.

Issue: One (1) set of mailing labels of the property owners within 400 feet of the subject property boundary has been provided, however, a set of mailing labels of persons/organizations registered to receive notice of development applications was not submitted.

Action Needed to Address Deficiency: Provide one (1) set of mailing labels of persons/organizations registered to receive notice of development applications. List is accessible at:

<http://www.cityofalachua.com/index.php/planning-and-zoning/53-city-departments/planning-a-community-development/503-applications-attachments-a-agreements>

5. **Site Plan Attachment #7:** Neighborhood Meeting Materials, including:

- ii. Copy of written notice (letter) sent to all property owners within 400 feet and to all persons/organizations registered with the City to receive notice, and mailing labels or list of those who received written notice

Issue: Mailing labels or list of those who received written notice of the Neighborhood Meeting has not provided.

Action Needed to Address Deficiency: Provide mailing labels or list of those who received written notice of the Neighborhood Meeting.

6. **Site Plan Attachment #8:** Legal description with tax parcel number, separate from all other documentation on 8.5" x 11" paper.

Issue: Legal description with tax parcel numbers on 8.5" x 11" paper not provided.

Action Needed to Address Deficiency: Provide legal description with tax parcel numbers on 8.5" x 11" paper.

7. **Site Plan Attachment #9:** Proof of ownership (i.e., copy of deed.)

Issue: Proof of ownership, i.e., copy of deed, for each not provided.

Action Needed to Address Deficiency: Provide proof of ownership. **Note:** proof of ownership may be a copy of a deed that describes the land before Upland Industrial Park was subdivided, such deed is the most recently recorded.

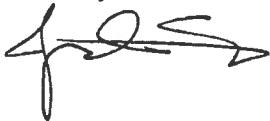
8. **Site Plan Attachment #10:** Environmental Resource Permit (or Letter of Exemption) from the Suwannee River Water Management District or Self-Certification for a Stormwater Management System in Uplands Serving Less than 10 Acres of Total Project Area and Less than 2 Acres of Impervious Surfaces from the Florida Department of Environmental Protection pursuant to Section 403.814(12), Florida Statutes.

Issue: ERP, Modification, or confirmation of exemption from SRWMD not provided.

Action Needed to Address Deficiency: Provide documentation from SRWMD evidencing the project is exempt from any permitting and / or permit modifications.

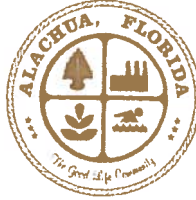
If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

c: Kathy Winburn, AICP, Planning & Community Development Director *(by electronic mail)*
Adam Hall, AICP, Planner *(by electronic mail)*
Project File



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 2, 2018

Also sent by electronic mail to johnm@chw-inc.com

John Maxfield
Causseaux, Hewett, & Walpole, Inc.
11801 Research Drive
Alachua, FL 32615

RE: Completeness Review of Upland Industrial Park, Lots 2 – 5 Site Plan Application

Dear Mr. Maxfield:

On December 26, 2017, the City of Alachua received your application for the Site Plan of Upland Industrial Park Lots 2 – 5, which proposes two (2) new buildings and associated parking, drainage, paving, grading, and infrastructure improvements on Lots 2 – 5 of Upland Industrial Park (Tax Parcel Numbers 05964-002-002 – 05964-002-005), consisting of a ± 4.82 acre subject property.

According to Section 2.2.6 of the Land Development Regulations (LDRs), upon receipt of an application, a completeness review shall be conducted to determine that the application contains all the necessary information and materials, is in proper form and of sufficient detail, and is accompanied by the appropriate fee. The Planning Department has reviewed the aforementioned application for completeness and finds that the following information is needed.

In accordance with Section 2.2.6(B) of the LDRs, the applicant must correct the deficiencies and resubmit the application for completeness determination. **The time frame and cycle for review shall be based upon the date the application is determined to be complete.** If the applicant fails to respond to the identified deficiencies within forty-five (45) calendar days, the application shall be considered withdrawn.

The comments below are based solely on a preliminary review of your application for completeness. An in-depth review of the content of the application will be performed, and the findings of the in-depth review will be discussed at a Development Review Team (DRT) Meeting, which will be scheduled after the application is determined to be complete.

In order to provide a complete application, you must address the following:

1. Compliance with Recorded Plat

Issue: Proposed buildings are located within building setback areas as depicted on the plat of Upland Industrial Park, as recorded in Plat Book 28, Page 61, of the Official Records of Alachua County, Florida.

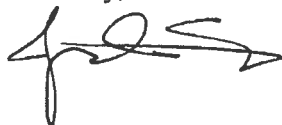
- a. Proposed configuration will require replatting the lots. Such replat may qualify for Minor Subdivision review. Reference Section 2.4.10(F)(1).
- b. Additional completeness review comments concerning the Site Plan application will be provided upon satisfaction of the preceding.

2. Submittal Requirements

- a. Plans not provided in PDF format.
- b. All electronic documents must be provided in a PDF format.
- c. Application materials not collated into application packets. Application materials may be picked up at City Hall, collated, and resubmitted.
- d. Printed copies of plans are not bound. Plans may be picked up at City Hall, bound, and resubmitted.

If you have any questions regarding the information above, please contact me at 386-418-6100 x 107 or via e-mail at jtabor@cityofalachua.com. We look forward to receiving your revised application.

Sincerely,



Justin Tabor, AICP
Principal Planner

- c: Kathy Winburn, AICP, Planning & Community Development Director (*by electronic mail*)
Adam Hall, AICP, Planner (*by electronic mail*)
Project File

Completeness Review - Upland Industrial Park, Lots 2 - 5 Site Plan

From : Justin Tabor <jtabor@cityofalachua.com>
Subject : Completeness Review - Upland Industrial Park, Lots 2 - 5 Site Plan
To : John Maxfield <JohnM@chw-inc.com>
Cc : Kathy Winburn <kwinburn@cityofalachua.com>, Adam Hall
<ad_hall@cityofalachua.org>

Tue, Jan 02, 2018 11:54 AM

 1 attachment

Mr. Maxfield,

Please see the attached letter in reference to the completeness review for the site plan application for the proposed development of Upland Industrial Park, Lots 2 - 5. You may recall that during the Pre-Application Conference for the proposed development, it was noted that the development as presented would require replatting the lots, as the proposed buildings would be within side setback areas as depicted on the recorded plat of Upland Industrial Park. This replat may qualify to be reviewed as a Minor Subdivision, however, such application must be submitted before review of the Site Plan may occur.

Please feel free to contact me if you have any questions.

Sincerely,

Justin Tabor, AICP
Principal Planner
City of Alachua
15100 NW 142nd Terrace | PO Box 9
Alachua, Florida 32616
386.418.6100 x 107 | fax: 386.418.6130
jtabor@cityofalachua.com

City Hall Hours of Operation

Monday - Thursday, 7:30 AM - 6:00 PM

Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

 **Upland_Lots_2-5_SP_Completeness_Review_Letter_2018_01_02.pdf**
598 KB



City of Alachua

TRACI L. GRESHAM
CITY MANAGER

PLANNING & COMMUNITY DEVELOPMENT
DIRECTOR KATHY WINBURN, AICP

January 2, 2018

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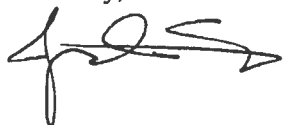
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