

_	

1. DEVELOPMENT DATA:	PROPOSED DEVEL	.OPMENT	
TOTAL AREA =	209,959 S.F	100.00%	4.82 ACRE
IMPERVIOUS AREA (ASPHALT PAVEMENT) =	78,477 S.F.	37.34%	1.80 ACRE
IMPERVIOUS AREA (CONCRETE) =	14,374 S.F.	6.85%	0.33 ACRE
OPEN AREA (LANDSCAPE) =	67,274 S.F.	31.95%	1.54 ACRE
EXISTING BUILDINGS =	0 S.F.	0.0%	
PROPOSED BUILDINGS =	50,121 S.F.	23.86%	1.15 ACRE
TOTAL IMPERVIOUS AREA =	142,972 S.F.	68.10%	3.28 ACRE
 BUILDING AND ASSOCIATED INFRASTRUCT MINIMUM BUILDING REQUIREMENTS PER ILW 	ZONING ARE AS FOLLO	DWS:	
PRIMARY BUILDING (ILW)	201		
FKUNI	20		
	1 5		
SIDE	15		
SIDE REAR MINIMUM LOT AREAN/A	15'		

MINIMUM LOT WIDTH = MAX BUILDING HEIGHT =	N/A 65'			
MAX LOT COVERAGE = FAR =	N/A 0.75			
. PARKING CALCULATIONS: <u>REQUIRED</u>		PARKING REQUIRED	<u>PORTION OF TOTAL</u> BUILDING	-

		201221110		
USE:* LIGHT MANUFACTURING OFFICE SPACE	1 SPACE/350 S.F.	30%	7,332	2
LIGHT MANUFACTURING SPACE	1 SPACE/1,000 S.F.	70%	17,107	1.
TOTAL		100%	24,439	3
			<u>BUILDING L</u>	0
			<u>FLOOR S.F.</u> <u>SP</u>	AC
			8,005	
			18.677	

26,682 TOTAL BOTH BUILDINGS FLOOR S.F. <u>SPACES (MIN)</u> <u>SPACES (MAX)</u> 15,336 44 55 35,785 36 44 51,121 80 99

*USES AND ASSOCIATED AREAS ARE SHOWN FOR PARKING CALCULATION PURPOSES ONLY AND ARE NOT FINAL. **6.1.4(B)(5) - MAXIMUM OFF-STREET PARKING SPACES ALLOWED IS 125% OF MINIMUM PARKING SPACE REQUIREMENT. REQUIRED CAR PARKING

BUILDING LOTS 2-3: 38 PARKING SPACES REQUIRED - 47 PARKING SPACES PROVIDED BUILDING LOTS 4-5: 42 PARKING SPACES REQUIRED - 50 PARKING SPACES PROVIDED REQUIRED BICYCLE PARKING

BUILDING LOTS 2-3: (38 PARKING SPACES REQUIRED / 10 = 4 SPACES) - 2 RACKS FOR 4 SPACES PROVIDED BUILDING LOTS 4-5: (42 PARKING SPACES REQUIRED / 10 = 4 SPACES) - 2 RACKS FOR 4 SPACES PROVIDED

LOADING ZONE SPACES PER DEVELOPMENT STANDARDS 6.1.5. AND TABLE 6.1-2 REQUIRED BUILDING LOTS 2-3 (24,439 SF) - 1 SPACE REQUIRED

REQUIRED BUILDING LOTS 4-5 (26,682 SF) - 2 SPACE REQUIRED

TOTAL PROVIDED

CAR STANDARD PARKING SPACE: LOTS 2-3 = 47 SPACES + LOTS 4-5 = 50 SPACES (97 TOTAL SPACES) ACCESSIBLE PARKING SPACE: 2 PER BUILDING

BICYCLE: LOTS 2-3 - 2 RACKS, 4 SPACES BICYCLE: LOTS 4-5 - 3 RACKS, 6 SPACES

LOADING SPACES - LOTS 2-3 -5 PROVIDED (171'x30') LOADING SPACES - LOTS 4-5 -7 PROVIDED (235'x30')



GENERAL NOTES

	TOPOGRAPHIC SURVEY WAS COMPLETED BY CAUSSEAUX, HEWETT, & WALPOLE, INC., REVISION DATED SEPTEMBER 27, 2017.
	5. UTILITIES: POTABLE WATER SERVICE WILL BE PROVIDED TO THE SITE BY EXISTING SERVICE LINE IN NW 101ST DRIVE R/W. SANITARY SEWER SERVICE WILL BE SERVED FROM AN EXISTING SANITARY SEWER LINE IN NW 101ST DRIVE R/W.
	ELECTRIC SERVICE WILL BE PROVIDED AS AN EXTENSION OF THE EXISTING SERVICE TO THE PROPOSED FACILITIES BY THE CITY OF ALACHUA, PERMITTED THROUGH SRWMD AND THE CITY OF ALACHUA.
	6. DRAINAGE: THE SITE IS SERVED BY AN EXISTING PERMITTED MASTER DRAINAGE BASIN THAT IS PERMITTED THROUGH SRWMD AND THE CITY OF ALACHUA.
	7. NATURAL FEATURES: TOPOGRAPHY SLOPES FROM SOUTH TO NORTHWEST WITH MODERATE SLOPES. THERE ARE NO NATURAL SITE FEATURES.
	8. ZONING/LAND USE INFORMATION AND COMPLIANCE: LIGHT & WAREHOUSE INDUSTRIAL (ILW) ZONING DESIGNATION. INDUSTRIAL FUTURE LAND USE MAP DESIGNATION.
	9. CONCURRENCY IMPACT ANALYSIS: SUBMITTED UNDER SEPARATE COVER
1 <u>39 S.F.)</u>	10. LEGAL DESCRIPTION: SEE SURVEY
PALES IVIAX I""	JLL JUNYLI

4. DATE OF BOUNDARY SURVEY:

11. STATEMENT OF PROPOSED USE:

THE PROPOSED USE IS MULTI-TENANT AND SHALL BE CONSISTENT WITH THE LIGHT AND WAREHOUSE INDUSTRIAL (ILW) ZONING DISTRICT'S ALLOWED USES AS PRESCRIBED IN THE CITY OF ALACHUA LDR TABLE 4.1-1. TABLE OF ALLOWED USES.

BUILDING LOTS 2-3 (24,4 FLOOR S.F. SPACES (MIN) SPACES (MAX)**

	26	
	21	
	47	
<u> 5 4-5 (26</u>	<u>,682 S.F.)</u>	
ES (MIN)	SPACES (MAX)**	
?3	29	
9	23	
<i>‡2</i>	52	

SHEET NILIMRED	ΠΕςΩΙΦΤΙΩΝΙ
CO OO	
<u> </u>	COVER SHEET AND INDEX
<i>C0.10</i>	GENERAL NOTES
20.11	
1 OF 1	TOPOGRAPHIC SURVEY
C0.20	STORMWATER POLLUTION PREVENTION NOTES
C0.21	STORMWATER POLLUTION PREVENTION PLAN
<i>C0.30</i>	DEMOLITION PLAN
C1.00	MASTER HORIZONTAL CONTROL AND SITE PLAN
C1.10 - C1.11	DETAILED HORIZONTAL CONTROL AND SITE PLAN
C1.20	ACCESSIBILITY SITE PLAN AND DETAILS
C2.00	MASTER DRAINAGE AND GRADING PLAN
C2.10 - C2.11	DETAILED DRAINAGE AND GRADING PLAN
C2.30	CONSTRUCTION DETAILS
C2.31	CONSTRUCTION DETAILS
C2.32	CONSTRUCTION DETAILS
<i>C2.33</i>	TYPICAL CROSS SECTIONS
<i>C3.00</i>	MASTER UTILITY PLAN
C3.10 - C3.11	DETAILED UTILITY PLAN
C5.00 - C5.01	DRIVEWAY CONNECTION
LS-1	LANDSCAPE CALCULATIONS AND PLANT SCHEDULE
LS-2	LANDSCAPE PLAN
IR-1	IRRIGATION DIAGRAM
ES-1	SITE PHOTOMETRIC PLAN
A111	ARCHITECTURAL FLOOR PLAN
A112	ARCHITECTURAL FLOOR PLAN
A210	ARCHITECTURAL EXTERIOR ELEVATIONS
A211	ARCHITECTURAL EXTERIOR ELEVATIONS
A310	ARCHITECTURAL DUMPSTER ENCLOSURE DETAILS





	GENERAL NOTES
	1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WERE TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY CAUSSEAUX, HEWETT, & WALPOLE, INC., AND DATED SEPTEMBER 27, 2017.
	2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
	3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
	4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
	5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
	6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
	7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
	8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
	9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
	10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
	11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
	12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
	13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
	14. ALL TREE BARRICADES AND SILT FENCING SHALL BE INSTALLED AND INSPECTED BY LANDSCAPE ARCHITECT FOR THE PROJECT PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
	15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
	16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
	17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
	18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
	19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. 20. THE GOVERNING STANDARDS AND SPECIFICATIONS. UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION
	STANDARD PLANS (FY 2018-19 ROAD CONSTRUCTION), AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JANUARY 2018, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
	21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
	22. ALL STRIPING WITHIN THE FDOT RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.
	23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTORS EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
	24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITY'S ACT.
	A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT PRIOR TO INITIATION OF SITE CONSTRUCTION.
	26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. 27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL PROJECT ACTIVITIES. DEWATERING SHALL BE DONE IN
	ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, JANUARY 2018 EDITION, SECTION 455-28. 28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT
	LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.). 29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.
	MAINTENANCE OF TDAFFIC (MOT) NOTES
	IVALUATION OF IRAFFIC UVICE UNULY INVERS 1. THE CONTRACTOR IS RESPONSIBLE FOR CREATING A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR CONSTRUCTION ACTIVITY THAT OCCURS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO SIDEWALK WORK AND ACTIVITIES THAT REQUIRE A LANE (OR ROAD) CLOSURE, SUCH AS CONNECTION TO SEWER MANHOLES AND WATER MAINS. THE MOT PLAN MUST BE CREATED BY A REGISTERED PROFESSIONAL ENGINEER WHO IS CERTIFIED TO DO SO BY THE FDOT MOT CERTIFICATION TRAINING. THE MOT PLAN MUST ALSO BE IN ACCORDANCE WITH FDOT DESIGN STANDARDS AND FDOT STANDARD SPECIFICATIONS REQUIREMENTS AND MUST BE REVIEWED AND APPROVED BY THE FDOT.
	2. THE CONTRACTOR SHALL SUBMIT THE MOT TO THE APPROPRIATE REGULATORY AUTHORITY PRIOR TO WORK REQUIRING THE MOT FOR APPROVAL. NO WORK IN THE ROW SHALL OCCUR UNTIL THE MOT IS APPROVED.
I	
,	

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.

2. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.

3. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.

4. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.

5. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITH SOIL BY THE END OF THE WORKING DAY.

6. ALL ASPHALT AND LIMEROCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:

A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REOUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.

NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.

B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.

D. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.

E. ALL SLOPES 1:3 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.

F. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.

G. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.

2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.

3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.

4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.

5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.

6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.

7. CONTRACTOR IS TO SUBMIT FDOT APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.

8. AS DETERMINED NECESSARY AND DIRECTED BY CITY OF ALACHUA PUBLIC SERVICE DEPARTMENT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMEROCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX NO. 120-001 AND 120-002.

9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.

10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:

A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.

B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE.

C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"X60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS SHALL BE SHOWN ON THE SITE PLAN.

11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.

12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.

13. ALL CONCRETE USED SHALL BE 2,500 PSI MINIMUM.

14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.

15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT. 16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY THE FDOT INDEX NO. 281. ALL OTHER DISTURBED AREAS SHALL BE SEEDED

AND MULCHED.

17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.

18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS I SURFACE FINISH.

19. ALL HDPE FITTINGS AND CONNECTORS SHALL BE SOIL TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.

20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MODE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OR RECORD.

2615 2615 1976 com 075 WATER AND WASTEWATER GENERAL NOTES 1. MATERIALS AND CONSTRUCTION METHODS FOR WATER AND WASTEWATER SYSTEMS SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY CODES, PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL UTILITY EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.

2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES TO DISCONNECT OR REMOVE THEIR FACILITIES PRIOR TO REMOVING OR DEMOLISHING ANY EXISTING STRUCTURES FROM THE SITE.

5. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES US THE CONTRACTOR'S RESPONSIBILITY.

6. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

8. F.A.C. 62-555 REQUIRES "NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER. WASTEWATER FORCE MAIN. OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

9. WHEN POTABLE WATER MAINS CROSS OTHER PIPES, THE TWO PIPES SHALL HAVE JOINTS A MINIMUM OF SIX FEET FROM THE CROSSING. WHEN POTABLE WATER MAINS CROSS UNDERNEATH OTHER PIPES, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE PRESSURE WASTEWATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, THE MINIMUM VERTICAL SEPARATION IS TWELVE INCHES. WHEN POTABLE WATER MAINS CROSS ABOVE GRAVITY AND VACUUM WASTEWATER MAINS, STORM SEWERS, AND STORMWATER FORCE MAINS, THE PREFERRED VERTICAL SEPARATION IS TWELVE INCHES AND THE THE MINIMUM VERTICAL SEPARATION IS SIX INCHES.

10. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.

14. ALL SANITARY SEWER SERVICE LATERALS SHALL BE 4" PVC SDR 35 OR 6" PVC SDR 35 WITH A CLEAN-OUT LOCATED PER THE PLANS. MINIMUM SLOPE FOR 4" LATERALS SHALL BE 1.0% AND A MINIMUM CLEANOUT SPACING OF 75 FEET ON-CENTER AND MINIMUM SLOPE FOR 6" LATERALS SHALL BE 0.6% AND A MINIMUM CLEANOUT SPACING OF 100 FEET ON-CENTER.

3. THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY UTILITY FIELD LOCATION AND RELOCATION AS REQUIRED.

4. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.

7. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.

11. RESTRAINED IOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS IN ACCORDANCE WITH AWWA STANDARDS.

12. ALL PVC WATER SERVICE LINES SHALL BE SCH 40 PVC.

13. THE SITE WORK CONTRACTOR SHALL ENGAGE THE SERVICES OF A LICENSED UNDERGROUND UTILITY AND EXCAVATION CONSTRACTOR TO INSTALL THE NEW WATER SERVICE LINE.

15. PUBLIC UTILITY EASEMENTS WILL BE PROVIDED AS REQUIRED FOR ALL UTILITIES SHOWN HEREON BY METES AND BOUND DESCRIPTION AND IN ACCORDANCE WITH THE REGULATORY AGENCY DEPARTMENT FOR PUBLIC UTILITIES.

ELECTRIC SERVICE GENERAL NOTES

1. ALL ELECTRICAL UTILITIES AND INFORMATION SHOWN ON THE CIVIL PLANS ARE FOR LOCATION AND COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS BY OTHERS FOR THE ELECTRICAL DESIGN AND DETAILS.

		11801 Research D	Alachua, Florida 3	(352) 331-	WWW.ChW-Inc.		CA-E		
						Professional Consultants			
	SCALE:	N/A		VERIFY SCALE BAR IS ONE INCH ON	ORIGINAL DRAWING		THIS SHEET, ADJUST	SCALES ACCORDINGLY.	
	CONSTRUCTION/BID REVISIONS:								
	SUBMITTALS:	12/21/17 - CITY OF ALACHUA AND SRWMD	08/06/18 - CITY OF ALACHUA	10/18/18 - CITY OF ALACHUA	12/11/718 - CITY OF ALACHUA				
	CLIENT:	BNW HOLDINGS, LLC		PROJECT: I IPI AND INDI ISTRIAL PARK I OTS	2, 3, 4, AND 5	SHEET TITI F:	GENERAL NOTES		
	TECHNICIAN:	D. THOMAS	DESIGNER:	J. THOMAS	T QUALITY CONTROL:	D. YOUNG	DI PROJECT NUMBER:	7/30 - 1/2	
WINNING H LOUDE.	SH	FL EE (PIO 210	₹ 780	COBINE COBINE	NO/ONAL ENT

	ABBKEV		luns
ı	SYMBOLS FEET (WHEN USED WITH LENGTHS)	N	N NORTH
•	DEGREES	N-E	NORTHING - EASTING
•	MINUTES (WHEN USED WITH ANGLES)	N/A	NOT APPLICABLE
"	SECONDS	NAVD	NORTH AMERICAN VERTICAL DATUM OF 198
% @	AT	NGVD	1929
		NO	NUMBER
	Α	NPDES	NATIONAL POLLUTANT DISCHARGE
AASHTO	ASSOCIATION OF STATE HIGHWAY AND	NTS	ELIMINATION SYSTEM
AC	ACRES	1115	NOT TO SCALE
ADA	AMERICAN WITH DISABILITIES ACT		0
ANSI	AMERICAN NATIONAL STANDARDS	ОС	ON CENTER
ABCU		OHW	OVERHEAD WIRE
ARCH ARV	ARCHITECT AIR REFEASE VALVE	ОКБ ОЅНА	OCCUPATIONAL SAFFTY AND HEALTH
ASTM	AMERICAN SOCIETY FOR TESTING AND	USIA	ADMINISTRATION
	MATERIALS		
AWWA	AMERICAN WATER WORKS ASSOCIATION	DAVT	P
	В	PC	POINT OF CURVATURE
ВС	BACK OF CURB	PCC	POINT OF COMPOUND CURVE
BFP	BACKFLOW PREVENTER	PERF	PERFORATED
BLDG	BUILDING	PROP	PROPOSED
BM RMD	BENCHMARK REST MANACEMENT PRACTICE	PI PVC	POINT OF TANGENCY POLYVINYL CHLORIDE
ымг ВОС	BACK OF CURB	PVI	POINT OF VERTICAL INTERSECTION
BVCS	BEGIN VERTICAL CURVE STATION		
BVCE	BEGIN VERTICAL CURVE ELEVATION		R
BW	BOTTOM OF WALL	R	RADIUS
BSL	BUILDING SETBACK LINE	RCP	REINFORCED CONCRETE PIPE
	C	RPM RP7	RAISED REFLECTIVE PAVEMENT MARKER
CATV	CABLE TELEVISION	RT	RIGHT
СІ	CURB INLET	RWM	RECLAIMED WATER MAIN
СІР	CAST IRON PIPE	R/W	RIGHT-OF-WAY
СМР	CORRUGATED METAL PIPE		c.
	CLEANUU I CONCRETE	ç	s SOUTH
COORD	COORDINATE	SAN	SANITARY
CR	COUNTY ROAD	SHWE	SEASONAL HIGH WATER ELEVATION
C/0	CLEANOUT	SL	SLOPE
		SP	SUPERPAVE
	D	SR	STATE ROAD
DBH	DIAMETER AT BREAST HEIGHT	SS ST	SANITARY SEWER
DEG	DEGREE	STA	STATION
DIA	DIAMETER	STD	STANDARD
DIP	DUCTILE IRON PIPE		
DWG	DRAWING		Τ
	F	I CE TEMP	TEMPORARY CONSTRUCTION EASEMENT
e	RATE OF ELEVATION	ТОВ	TOP OF BANK
Ε	EAST	τν	TELEVISION
EA	EACH	TW	TOP OF WALL
EL	ELEVATION	ТҮР	TYPICAL
ELEV	ELEVATION EDGE OF PAVEMENT		Ш
EOP FOR	EDGE OF PAVEMENT FNGINFFR OF RECORD	USF	UNITED STATES FOUNDRY
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	USGS	UNITED STATES GEOLOGICAL SURVEY
ESMT	EASEMENT	UTIL	UTILITY
EVCS	END VERTICAL CURVE STATION		
EVCE	END VERTICAL CURVE ELEVATION	V	V
EX	EXISTING	v	VERTICAL CURVE
	F	VCP	VITRIFIED CLAY PIPE
FAC	FLORIDA ADMINISTRATIVE CODE		
FBR	FLORIDA BEARING RATIO		W
FC	FRICTION COURSE	W	WEST
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL	W W//	WATER WITH
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	WM	WATER MAIN
FFE	FINISHED FLOOR ELEVATION	ww	WASTEWATER
FH	FIRE HYDRANT	WWF	WELDED WIRE FABRIC
FHWA	FLORIDA HIGHWAY ADMINISTRATION		
FIG FM	FIGURE FORCE MAIN		
FOC	FACE OF CURB		
FS	FLORIDA STATUTES		
FT	FEET		
	C		
GALV	GALVANIZED		
GM	GAS MAIN		
GV	GATE VALVE		
UDDE			
HP	HIGH POINT		
	1		
ID	IDENTIFICATION		
INV			
INV EL IP	INVERT ELEVATION IRON PIPF		
	К		
К	VERTICAL CURVE RATE OF CHANGE		
	_		
	L		
	LENGTA LANDSCAPE ARCHITECT		
LBR	LIMEROCK BEARING RATIO		
LDR	LAND DEVELOPMENT REGULATION		
	LINEAR FEET		
LF	LOW POINT		
LF LP	LEFT		
LF LP LT			
LF LP LT			
LF LP LT	M MAXIMIM		
LF LP LT MAX MF	M MAXIMUM MATCH EXISTING		
LF LP LT MAX ME MH	M MAXIMUM MATCH EXISTING MANHOLE		
LF LP LT MAX ME MH MIN	M MAXIMUM MATCH EXISTING MANHOLE MINIMUM		
LF LP LT MAX ME MH MIN MISC	M MAXIMUM MATCH EXISTING MANHOLE MINIMUM MISCELLANEOUS		
LF LP LT MAX ME MH MIN MISC MUTCD	M MAXIMUM MATCH EXISTING MANHOLE MINIMUM MISCELLANEOUS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES		

SIGNS ARE PER FDO POSTS AND INSTAL 700-010. SIGN PLAC 700-101. PARKING BY DISABLED PERMIT ONLY FTI 700 N T (M R1 / do not ` R5-

ONE WAY R6

2			3
SIGNAGE	SITE	INFORMATION	STORMWA
DT SPECIFICATIONS OR PER MUTCD. SIGN LLATION SHALL BE PER FDOT INDEX NO.		EX. PROPERTY LINE	THE PROPOSED STORMWATER STRUCTURES DEPICTED SPECIFICATIONS AND TO SCALE WHEN SHOWN ON TH
CEMENT SHALL BE PER FDOT INDEX NO.	<u> </u>	LANDSCAPE BUFFER LINE	ST ST ST EX. GRAVITY STORMU
	·	BUILDING SETBACK LINE	PROPOSED GRAVITY S
P-20-06 (12" X 18") PER FDOT INDEX NO.	· · · ·	WETLAND LIMITS LINE	A STRUCTURE)
-102	· · ·	WETLAND SETBACK LINE	N-E LOCATION
		CENTER LINE	NELICATION PROPOSED 48" DIA. S INDEX. NO. 425-001 A
		EASEMENT LINE	
T STOP - SEE FLANS FOR SIZE	· ·	RIGHT-OF-WAY LINE	N-E LOCATION TOP/GRATE ELEV. LOCATION
		SILT FENCE LINE	N-FLOCATION
	—— тв —— тв ——	TREE BARRICADE LINE	TOP ELEV. LOCATION PROPOSED TYPE 1 CU
1 "DO NOT ENTER" - SEE PLANS FOR LOCATION		EX. STRUCTURE OR BUILDING	N-E LOCATION
		PROPOSED BUILDING	PROPOSED TYPE 2 CU 425-020 (SEE PLANS F
<i>1R "ONE WAY" - SEE PLANS FOR LOCATION</i>		PROPOSED ASPHALTIC PAVEMENT	N-E LOCATION TOP ELEV. LOCATION 425-020 (SEE PLANS F
		PROPOSED CONCRETE PAVEMENT	N-E LOCATION TOP ELEV. LOCATION PROPOSED TYPE 4 CU
		PROPOSED DETECTABLE WARNING SURFACE	N-E LOCATION
	\rightarrow	DIRECTIONAL TRAFFIC ARROW PER FDOT INDEX NO. 17346	TOP ELEV. LOCATION N-E LOCATION TOP ELEV. LOCATION
		WATERSHED DIVIDE	PROPOSED TYPE 6 CU 425-021 (SEE PLANS F
	99	EX. ELEVATION CONTOUR	TOP/GRATE ELEV. LOCATION PROPOSED TYPE 9 CU 425-024 (SEE PLANS F
	99	PROPOSED CONTOUR	N-E LOCATION TOP/GRATE ELEV. LOCATION INDEX NO. 425-052 (S
	93.2×	EX. SPOT ELEVATION	BOTTOM SPECIFICATI
	93.23 _•	PROPOSED SPOT ELEVATION	N-E LOCATION
	R	DIRECTION OF SURFACE DRAINAGE FLOW	INDEX NO. 425-052 (S BOTTOM SPECIFICATI
		PROPOSED SWALE LINE	N-E LOCATION
	x x	EX. FENCE	TOP/GRATE ELEV. LOCATION PROPOSED TYPE 'E' DI INDEX NO. 425-052 (S
	-00	PROPOSED FENCE	BOTTOM SPECIFICATI
	12" PINE	EX. TREE (SIZE & TYPE)	N-E LOCATION TOP/GRATE ELEV. LOCATION GRATE PER FDOT IND GRATE PER FDOT IND
	1234 (m)	EX. TREE (TREE ID)	BOITOM SPECIFICATI
	12" PINE	EX. TREE TO BE REMOVED (SIZE & TYPE)	TOP/GRATE ELEV. LOCATION PROPOSED TYPE 'G' D

EX. TREE TO BE REMOVED (TREE ID)

PROJECT BENCHMARK

1234

BOTTOM SPECIFICATION) PIPE INV. LOCATION -N-E LOCATION N-E LOCATION

N-E LOCATION

TOP/GRATE ELEV. LOCATION -

INV. ELEV. LOCATION **PROPOSED FLARED END SECTION PER FDOT INDEX** NO. 430-020 (SEE PLANS FOR SIZE) N-E LOCATION PIPE INV. ELEV. LOCATION \nearrow INDEX NO. 430-021 (SEE PLANS FOR SIZE) N-E LOCATION PIPE INV. ELEV. LOCATION \nearrow

PO

PIPE INV. ELEV. LOCATION	E E E EX. ELECTRIC LINE
PROPOSED SIDE DRAIN MITERED END SECTION PER FDOT INDEX NO. 430-022 (SEE PLANS FOR SIZE)	P-E PROPOSED ELECTRIC LINE
	EN EX. ENERGY LINE
(S-10) proposed stormwater structure id tag	P-LIGHT PROPOSED PRIVATE LIGHTING LINE
	OHW OHW OHW OHW EX. OVERHEAD WIRE LINE
POTABLE AND RECLAIMED	UGE UGE UGE EX. UNDERGROUND ELECTRIC LINE
WATER	🌣 EX. LIGHT
	🐑 EX. UTILITY POLE
	C EX. UTILITY POLE
	EX. WOOD POWER POLE
RCW RCW RCW EX. RECLAIMED WATER MAIN	\longrightarrow EX. GUY ANCHOR
PROPOSED RECLAIMED WATER MAIN	T PROPOSED TRANSFORMER
JOINTS (POTABLE AND RCW)	—— GAS ——— GAS —— EX. GAS LINE
جم 22.5° BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE AND RCW)	P-GAS PROPOSED GAS LINE
45° BEND W/ MECHANICALLY RESTRAINED	© EX. GAS MARKER
JOINTS (POTABLE AND RCW) T 90° REND W/ MECHANICALLY RESTRAINED	G EX. GAS MARKER
JOINTS (POTABLE AND RCW)	
TEE (POTABLE AND RCW)	
中 CROSS (POTABLE AND RCW)	
OII BLOWOFF ASSEMBLY (POTABLE AND RCW)	
REDUCER (POTABLE AND RCW)	
Image: EX. GATE VALVE AND BOX (POTABLE AND RCW)	
► PROPOSED GATE VALVE AND BOX (POTABLE AND RCW)	
⊕ EX. AIR RELEASE VALVE (POTABLE AND RCW)	
PROPOSED AIR RELEASE VALVE (POTABLE AND RCW)	
EX. FIRE HYDRANT ASSEMBLY	
PROPOSED FIRE HYDRANT ASSEMBLY	
PROPOSED SAMPLE POINT	
EX. WATER METER (POTABLE AND RCW)	
PROPOSED POTABLE WATER METER	
ROPOSED POTABLE WATER BACK FLOW PREVENTER	
PROPOSED RECLAIMED WATER METER	NOTES:
W EX. WATER WELL	PART OF THIS PLAN SET.
$\displaystyle $	2 SYMPOLS SHOWN ON THIS SHEET ARE FOR HUUSTRATIN'S
ϕ proposed hose bib (potable and reclaimed)	2. STMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE
(1) PROPOSED FITTING ID TAG (POTABLE AND RECLAIMED)	PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

_		_
רי	ן הי	D
	Π,	ĸ

- ED BELOW ARE DRAWN PER FDOT THE PLAN SHEETS. IWATER MAIN STORMWATER MAIN (PIPE LENGTHS ARE N OF A STRUCTURE TO N-E LOCATION OF
- ANHOLE STORMWATER MANHOLE PER FDOT
- AND 425-010 AREA DRAIN
- AREA DRAIN
- CURB INLET TOP PER FDOT INDEX NO. S FOR BOTTOM SPECIFICATION)
- CURB INLET TOP PER FDOT INDEX NO. FOR BOTTOM SPECIFICATION)
- CURB INLET TOP PER FDOT INDEX NO. FOR BOTTOM SPECIFICATION)
- CURB INLET TOP PER FDOT INDEX NO. FOR BOTTOM SPECIFICATION)
- CURB INLET TOP PER FDOT INDEX NO.
- S FOR BOTTOM SPECIFICATION) CURB INLET TOP PER FDOT INDEX NO. FOR BOTTOM SPECIFICATION)
- CURB INLET TOP PER FDOT INDEX NO. FOR BOTTOM SPECIFICATION)
- DITCH BOTTOM INLET TOP PER FDOT (SEE PLANS FOR GRATE MATERIAL AND ΓΙΟΝ)
- DITCH BOTTOM INLET TOP PER FDOT (SEE PLANS FOR GRATE MATERIAL AND 'ION)
- DITCH BOTTOM INLET TOP PER FDOT (SEE PLANS FOR GRATE MATERIAL AND ION)
- DITCH BOTTOM INLET TOP WITH STEEL NDEX NO. 425-053 (SEE PLANS FOR ΓΙΟΝ)
- TOP/GRATE ELEV. LOCATION PROPOSED TYPE 'G' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-053 (SEE PLANS FOR BOTTOM SPECIFICATION)
- N-E LOCATION TOP/GRATE ELEV. LOCATION PROPOSED TYPE 'H' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)
 - PROPOSED TYPE 'J' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-054 (SEE PLANS FOR
 - **T** PROPOSED U-TYPE CONCRETE ENDWALLS WITH GRATES PER
 - PROPOSED CROSS DRAIN MITERED END SECTION PER FDOT

4

ARE FROM N-E LOCATION OF A STRUCTURE TO N-E

WASTEWATER

💿 EX. WASTEWATER MANHOLE

🕺 EX. WASTEWATER CLEANOUT

JOINTS (WW FORCE MAIN)

MISCELLANEOUS UTILITIES

THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR

COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR EXACT

الم WYE W/ MECHANICALLY RESTRAINED

PROPOSED WASTEWATER MANHOLE

• PROPOSED WASTEWATER CLEANOUT

PROPOSED WASTEWATER GREASE TRAP

MH# PROPOSED WASTEWATER MANHOLE ID

11.25" BEND W/ MECHANICALLY RESTRAINED

∠ 22.5° BEND W/ MECHANICALLY RESTRAINED

د 45° BEND W/ MECHANICALLY RESTRAINED

ъ 90° BEND W/ MECHANICALLY RESTRAINED

EX. PLUG VALVE AND BOX (WW FORCE MAIN)

🐵 EX. AIR RELEASE VALVE (WW FORCE MAIN)

► PROPOSED PLUG VALVE AND BOX (WW FORCE MAIN)

◎ PROPOSED AIR RELEASE VALVE (WW FORCE MAIN)

LOCATION OF A STRUCTURE)

----- WW ------ EX. GRAVITY WASTEWATER MAIN

----- FM ------ FM ----- EX. WASTEWATER FORCE MAIN

N-E LOCATION

 $\neg \circ \land \neg$

LOCATIONS, DIMENSION, AND DETAILS.

P-ATT PROPOSED AT&T LINE

BC BC BC EX. BURIED CABLE LINE

P-BC PROPOSED BURIED CABLE LINE

BTEL EX. BURIED TELEPHONE LINE

P-TEL PROPOSED TELEPHONE LINE

CATV — EX. CABLE TELEVISION LINE

— F0 — F0 — **EX. FIBER OPTIC LINE**

----- CHW ------ CHW ----- EX. CHILLED WATER MAIN

FIRE **EX. FIRE MAIN**

______ STEAM ______ EX. STEAM LINE

P-FIRE PROPOSED FIRE MAIN

----- IRR ------ IRR ----- EX. IRRIGATION LINE

PROPOSED STEAM PROPOSED STEAM LINE

P-IRR PROPOSED IRRIGATION LINE

P-CLAY PROPOSED CLAY ELECTRIC LINE

PROPOSED CHILLED WATER MAIN

P-TV PROPOSED CABLE/TELEVISION LINE

UGTEL — EX. UNDERGROUND TELEPHONE LINE

te EX. TELEPHONE PEDESTAL

🕅 EX. TELEVISION/CABLE PEDESTAL

RIM ELEV. LOCATION

P-FM PROPOSED WASTEWATER FORCE MAIN

		11801 Research Drive	Alachua, Florida 32615	(352) 331-1976		est. 1988 FLORIDA	CA-5075	
				X		Professional Consultants		
	SCALE:	N/A		VERIFY SCALE BAR IS ONE INCH ON	ORIGINAL DRAWING	IF NOT ONE INCH ON	THIS SHEET, ADJUST SCALES ACCORDINGLY.	
	CONSTRUCTION/BID REVISIONS:							
	SUBMITTALS:	12/21/17 - CITY OF ALACHUA AND SRWMD	US/UD/ 18 - CILT UF ALACHUA	10/18/18 - CITY OF ALACHUA 12/17/18 - CITY OF ALACHUA				
	CLIENT:	BNW HOLDINGS, LLC		PROJECT: UPLAND INDUSTRIAL PARK LOTS 2,	3, 4, AND 5	SHEET TITLE:	TEGEND	
	TECHNICIAN:	D J. THOMAS	Esigner:	J. THOMAS	- QUALITY CONTROL:	D. YOUNG	D PROJECT NUMBER:	
AND H. V.		E MARTINE REVENSE	NO 70780	Jan 14 2019	× 110	STATE OF		VONAL EN

*C*0.11



	I. INTR		ON	
	THIS DOCUM	MENT WAS PRE	EPARED IN ORDER TO ILLUSTRATE COMPLIANCE	WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO
	THE GENERI DEPARTMEN	C PERMIT FOR	STORMWATER DISCHARGE FROM LARGE AND SM NMENTAL PROTECTION (FDEP) THE AUTHORITY 1	1ALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA FO REGULATE POINT SOURCE DISCHARGE OF STORMWATER FROM CONSTRUCTION SITES. THIS
	DOCUMENT ORGANIZED	ESTABLISHES	A STORMWATER POLLUTION PREVENTION PLAN OND TO 62-621.300(4)(a) GENERIC PERMIT FOR S	FOR THE SITE USING STANDARD PRACTICE AND BEST MANAGEMENT PRACTICES (BMPs) AND IS TORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FDEP FORM
	62-621.300(SIGN THIS S	(4)(b) IS TO BE HEET (REFER T	SUBMITTED IN CONJUNCTION WITH THIS DOCUL TO SIGNATURE TABLE THIS SHEET) AND RETAIN 7	MENT. CONTRACTOR(S) MUST FILL IN THE ACTIVITIES SEQUENCE (SECTION II. B. BELOW) AND THIS SHEET AND ALL FOLLOWING SWPPP SHEETS ON SITE. ALTERNATIVELY, CONTRACTOR(S)
	ON THIS SH	RE AND SIGN T EET, THE CON	HEIR OWN SWPP PLAN MEETING THE REQUIREME TRACTOR MUST PREPARE AN ALTERNATIVE OR A	NTS. IF THE SITE OR CONTRACTOR ACTIVITIES REQUIRE ANY BMPS THAT ARE NOT DESCRIBED ADDITIONAL SWPPP DOCUMENT CONTAINING THE NECESSARY BMPs.
	II. SITE	DESCRI	PTION	
Δ	COUNTY: SECTION T	ΟWNSHIP RAN	ALACHUA COUNTY, FLORIDA	ANGE 19 FAST
	COUNTY PA STREET ADI	RCEL NO.: DRESS:	05964-002-002, 05964-002-003, 0596 TBD, NW 101ST DRIVE, ALACHUA, FL	64-002-004, & 05964-002-005 ORIDA
	PROJECT AF SITE LOCAT	REA: FION MAP:	4.82 ACRES SEE COVER SHEET OF CONSTRUCTION	N DRAWINGS
	A. NAT	URE OF	CONSTRUCTION ACTIVITY	
	THE PRO	OPOSED DEVEL	OPMENT IS THE CONSTRUCTION OF TWO MULTI	-TENANT BUILDINGS WITH ASSOCIATED PAVEMENT FOR DRIVEWAYS AND PARKING AND UTILITY
	INFKASI	RUCTURE. IF	TE PROJECT SITE IS LOCATED NW TOTST DRIVE I	N ALACHUA, FLORIDA. THE PROJECT SITE TOTAL AREA IS APPROXIMATELT 4.82 ACRES.
	B. SEQ	UENCE C	OF MAJOR SOIL DISTURBING	G ACTIVITIES - CONTRACTOR MUST FILL IN DAYS
	<u></u> FROM	<u>JAYS</u> TO PI	RIOR TO CONSTRUCTION, SILT FENCING AND TR	EE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE
	FROM	то т	SWALE AND INLETS SHALL BE PROTECTED IN 7 AND REVIEWER MANUAL, DATED JULY 2013, 7	ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND THESE PLANS. IF STABLIZED TO MINIMUSE THE CREATION OF DUST AND OFF SITE TRACKING OF
	FROM	το ο	SEDIMENTS.	E STABILIZED TO MINIMIZE THE CREATION OF DOST AND OFF-SITE TRACKING OF
	FROM	то о	VEGETATION.	RMWATER MANAGEMENT FACILITI(S) SHALL BE CLEARED AND GRUBBED OF UNWANTED
	FROM	TO IF	SUITABLE, THE EXCAVATED SOIL FROM THE FAI CONSTRUCTION PLANS. THE CONTRACTOR S	CILITY(S) MAY BE USED AS FILL FOR ON-SITE GRADING THAT IS DEPICTED IN THESE HALL DISPOSE OF ALL UNSUITABLE MATERIAL ON-SITE OR OFF-SITE TO A PERMITTED
	FROM_	TO TI	LOCATION. HE REMAINING PORTION OF THE SITE THAT IS T	REATED BY THE CONSTRUCTED STORMWATER MANAGEMENT FACILITY(S) SHALL BF
		TO TI	CLEARED AND GRUBBED. HE PERMANENT ROADWAYS/DRIVEWAYS SHALL	BE ROUGHLY GRADED.
	FROM		HE UNDERGROUND UTILITIES INFRASTRUCTURE / SHALL BE DIVERTED TO THE ASSOCIATED ST	AND STORMWATER PIPING SYSTEM SHALL BE INSTALLED. ANY DE-WATERING (PUMPED) ORMWATER MANAGEMENT FACILITY(S).
	FROM	TO TI	HE PERMANENT ROADWAY/DRIVEWAY SUBGRADI FOLLOWED BY AN OVERLAY OF ASPHALT.	E SHALL BE COMPACTED, A LIMEROCK BASE SHALL BE ESTABLISHED, AND THEN
	FROM	יייים UI	PON SIGNIFICANT COMPLETION OF CONSTRUCTI ACCUMULATED DEBRIS AND SEDIMENT.	UN, THE STORMWATER PIPING SYSTEM SHALL BE FLUSHED OUT TO REMOVE
	FKOM	10 A	LL REMAINING DISTURBED AREAS WITHIN THE CO TO THESE PLANS. TURF ESTABLISHMENT SHA RE RESENT RRIOR TO REMOVAL OF SILT EEN.	UNSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED ACCORDING ILL BE PER FDOT STANDARD SPECIFICATIONS SECTION 570. EVIDENCE OF GROWTH MUST
			be present prior to removal of sill fend	LING AND OTHER ERUSION CONTROL APPLICATIONS.
	C. SITE	: DEVEL	OPMENT DATA:	
	TOTAL F	PROJECT SITE	AREA: BE DISTURBED:	4.82 ACRES 4.82 ACRES
	TOTAL I	MPERVIOUS AF	REA (AS SHOWN IN CONSTRUCTION DRAWINGS):	3.28 ACRES 0.00 ACREFEET
	TOTAL	OPEN AREA:	/LOML.	1.54 ACRES
	D. SOII	L CONDI	TIONS AND STORMWATER (QUALITY
	THE NRC	CS DATA FOR T	THE SITE REVEALS THAT THE SITE SOILS ARE CO	MPRISED OF NORFOLK LOAMY FINE SAND, ARREDONDO FINE SAND AND KENDRICK SAND.
	AN EXIS STORMV	TING STORMW NATER RUNOFI	'ATER MANAGEMENT FACILITY WAS DESIGNED T(F RESULTING FROM THE POST-DEVELOPMENT SIT	O PROVIDE RATE AND VOLUME CONTROL AND WATER QUALITY TREATMENT OF THE TE UNDER 100-YEAR CRITICAL STORM EVENT RAINFALL CONDITIONS.
	t stte	7 35 4 D		
	PLEASE	SEE THE STOR	MWATER POLIUTION PREVENTION PLAN (CO.21)	FOR DETAILS.
	F. STC)PMWAT	TER OUTFALL LOCATION AN	ID RECEIVING WATER RODY
	THE EXIS	TING STORMWA	TER MANAGEMENT FACILITY OUTFALL STRUCTURE IS	LOCATED NORTHEAST OF THE PROJECT (29'46'49" N, 82'27'19" W) AND THE ASSOCIATED RECEIVING
	WAT	FER BODY IS THE	EXISTING DRAINAGE SYSTEM ON US HWY 441.	
	III. CONT	rols t	O REDUCE POLLUTION	
	AS OUTLINE	ED IN THE SUW	VANNEE RIVER WATER MANAGEMENT DISTRICT (S	SJRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO
	NOT VIOLA [.] CONTROL M	TE STATE WAT MEASURES REQ	TER QUALITY STANDARDS. PRIOR TO CONSTRUC UIRED TO RETAIN SEDIMENT ON-SITE. IF SITE CO	TION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT ONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED OTHER THAN
	WHAT IS SPI THESE MEAS	ECIFIED IN THE SURES MUST B	E EROSION AND SEDIMENTATION CONTROL PLAN E INSPECTED AND MAINTAINED THROUGHOUT T	N, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES. HE CONSTRUCTION PHASE AND UNTIL AS DIRECTED BY THESE PLANS. THE STORMWATER
Ð	POLLUTION	PREVENTION	PLAN (C0.21) AND SECTION IV BELOW PROVIDE I	DETAILS ON THE SPECIFIC CONTROL MEASURES TO REDUCE STORMWATER POLLUTION.
PN.d≰	IV. EROS	ION ANI	D SEDIMENT CONTROLS	
0_SWF	A. STA	BILIZAT	ION PRACTICES	
C0.2	EXISTIN PREVEN	G TREES AND N TION PI AN (CC	VATURAL VEGETATION TO REMAIN ON-SITE SHAI ().21), TYPE III SII T FENCING SHALL PROTECT AL	LL BE PROTECTED BY TREE BARRICADE FENCING AS DEPICTED ON THE STORMWATER POLLUTION L DRAINAGE STRUCTURES AND SHALL BUFFER AREAS WITH POTENTIAL TO CONTRIBUTE OFFICIE
-0357.	RUNOFF	AND AS SPECI	IFICALLY DEPICTED ON THE STORMWATER POLL ROL ON DISTURRED AREAS AS SOON AS PRACTIC	UTION PREVENTION PLAN (CO.21). STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION CAL. BUT IN NO CASE MORE THAN 7 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION WAS
ss∕17.	TEMPOR SHALL R	ARILY OR PERI	MANENTLY CEASED. AS SPECIFIED IN SECTION II EAN OF ACCUMULATED SEDIMENT AFTER THE C	.B. ABOVE, UPON COMPLETION OF CONSTRUCTION, ALL STORMWATER MANAGEMENT FACILITIES OMPLETION OF CONSTRUCTION. ALL TURF ESTABLISHMENT SHALL RE PERFORMED MEETING THE
n File	REQUIRE	MENTS OF SECT	TION 570 OF THE STANDARD SPECIFICATIONS. EVIDE	ENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
oductic	B. STR	UCTURE	PRACTICES	
3s/Prc	AS DEPI	CTED IN THE S	STORMWATER POLLUTION PREVENTION PLAN (C).21), A STORMWATER CONVEYANCE SYSTEM WILL BE CONSTRUCTED AND WILL CONNECT TO AN
.wd∕₿	EXISTING INSTALL	G DRY RETENT	ION FACILITY AND A STORM PIPE CONVEYANCE CATIONS SHOWN ON THE PLANS. ALL EXISTING	SYSTEM. TO PREVENT EROSION DURING CONSTRUCTION, TYPE III SILT FENCING WILL BE AND PROPOSED STORM DRAINS AND DRAINAGE SWALES SHALL BE PROTECTED ACCORDING TO
ineerin	THE STA CONSTR	TE OF FLORID	A EROSION AND SEDIMENT CONTROL DESIGNER MPLETE. THE STORM PIPE CONVEYANCE SYSTEM	AND REVIEWER MANUAL, DATED JULY 2013 OR PER DETAILS PROVIDED ON SHEET CO.21 UNTIL 1 SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON
r∕ Engì	COMPLE	TION OF CONS	STRUCTION.	
-0357	(IN A CTP T		FAQ WITH I DOG THAN 16 DIGTIDDED ACIDES
17/17		ITAGE L	SEQUENCE OF MAIOR SOIL DISTURBING ACTIVITY	ES." THE SME(S) WILL BE CONSTRUCTED PRIOR TO CLEARING AND GRURRING OUTSIDE OF THE
L:\20	SMF(S) Al	REAS AND CON	VSTRUCTION OF THE PERMANENT PAVED AREAS. TELY 7.99 ACRES AND WILL CONSIST OF ADDOM	THE TOTAL CONTRIBUTING DRAINAGE AREA TO THE EXISTING STORMWATER MANAGEMENT
ame:	SEDIMEN PREVENT	T TRAP BASINS	S ARE NECESSARY TO PROVIDE SEDIMENT STORA 21). THE STORMWATER MANAGEMENT SYSTEM 1	AGE ON-SITE DURING CONSTRUCTION. AS SHOWN ON THE STORMWATER POLLUTION
Filenc	SHOWN	T CONTROLS S	SHALL BE INSTALLED AT SIDE SLOPE AND DOWN	I SLOPE BOUNDARIES, INLET LOCATION, OUTLET LOCATIONS, AND OTHER LOCATIONS AS UIRED. BY COMPLETION OF CONSTRUCTION THE SIDE SLOPES SWALES AND ALL DISTURBED
8am	AREAS SI	HALL BE STABI	LIZED WITH GRASS AND LANDSCAPING AS SPECI	FIED ON THE CONSTRUCTION DRAWINGS.
8 8:1:	D. DRA	INAGE L	OCATIONS THAT SERVE AR	EAS WITH MORE THAN 10 DISTURBED ACRES
19,201	NOT APP	LICABLE, SEE S	SECTION C, ABOVE.	
Dec				
Date:				
Plot				
gup/				
Å,				

A. BEST MANAGEMENT PRACTICES

AFTER CONSTRUCTION, THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFIED STORMWATER MAINTENANCE NOTES IN THE INCLUDED CONSTRUCTION DRAWINGS AND/OR RESPECTIVE MAINTENANCE REPORTS. SPECIFICALLY, THE PROPOSED SMF(S) SHALL BE MOWED REGULARLY IN THE SPECIFIED AREAS, STORM PIPES AND STRUCTURES WILL BE INSPECTED SEMI-ANNUALLY AND CLEANED ANNUALLY, SMF(S) SIDE SLOPES SHALL BE MAINTAINED TO PREVENT EROSION, AND LANDSCAPING AND GRASS THAT PREVENTS EROSION SHALL BE MAINTAINED. ADDITIONALLY, REMEDIAL ACTIONS SHALL BE TAKEN SHOULD THE SMF(S) NOT PERFORM AS DESIGNED.

B. VEGETATED SWALES

WHEN VEGETATED SWALES ARE UTILIZED. SILT FENCING OR EQUIVALENT SEDIMENT CONTROLS SHALL BE INSTALLED AT ADEQUATE INTERVALS TO COLLECT SEDIMENT ALONG THE SWALE. THE SEDIMENT SHALL BE REMOVED WHEN SEDIMENT REACHES ONE-THIRD OF THE HEIGHT OF THE SILT FENCING. SEE THE STORMWATER POLLUTION PREVENTION PLAN (C0.21) FOR DETAILS AND LOCATIONS, AS REQUIRED.

C. VELOCITY DISSIPATION DEVICES AT DISCHARGE POINTS

WHEN DISCHARGE POINTS ARE NOT LOCATED UNDER WATER, RIP RAP PADS HAVE BEEN PROVIDED AT LOCATIONS WHERE NECESSARY DUE TO ANTICIPATED DISCHARGE VELOCITIES. PLEASE SEE THE CONSTRUCTION PLANS FOR DETAILS AND LOCATIONS, AS NEEDED.

VI. CONTROLS FOR OTHER POTENTIAL POLLUTANTS

A. WASTE DISPOSAL

THE CONTRACTOR SHALL PROVIDE LITTER COLLECTION CONTAINERS WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIALS AND CONSTRUCTION DEBRIS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.

B. DUST CONTROL

TO PREVENT OFF-SITE VEHICULAR TRACKING OF SEDIMENTS AND DUST GENERATION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED BY THE SITE CONTRACTOR. PLEASE SEE THE STORMWATER POLLUTION PREVENTION PLAN (C0.21) FOR DETAILS AND LOCATION(S).

C. EXISTING VERSUS PROPOSED POTABLE AND SANITARY SEWER SYSTEMS

THERE ARE EXISTING SANITARY SEWER AND POTABLE WATER SYSTEMS LOCATED ON THE PROJECT SITE. EXTENSION AND UPGRADES ARE PROPOSED. IF TEMPORARY SANITARY SYSTEMS ARE UTILIZED DURING CONSTRUCTION, THE CONTRACTOR SHALL PROPERLY CONTROL AND DISCHARGE ANY SANITARY WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

D. FERTILIZER & PESTICIDES

THE USE OF FERTILIZERS. HERBICIDES. AND PESTICIDES ON THE PROJECT SITE. WILL BE DIRECTED BY THE LANDSCAPE PLAN AND THE FDOT STANDARD SPECIFICATIONS SECTION 570. TO SUPPORT THE GROWTH OF THE PROPOSED VEGETATION. ESTABLISHING THIS VEGETATION WILL AID IN THE STABILIZATION OF THE PROJECT SITE AND REDUCE EROSION. APPLICATION RATES FOR THE FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO GUARD AGAINST OVER-USE, WHICH CAN LEAD TO VIOLATIONS OF STATE WATER QUALITY STANDARDS.

E. TOXIC MATERIAL

THE CONSTRUCTION SITE WILL BE IN FULL COMPLIANCE WITH STATE AND FEDERAL REQUIREMENTS. A PLASTIC MAT, TAR PAPER, OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED UNDER AREAS WHERE TOXIC LIQUIDS ARE TO BE OPENED AND STORED.

F. HAZARDOUS MATERIALS

ALL HAZARDOUS MATERIALS SHALL BE STORED IN A SECURE LOCATION, UNDER COVER, AND IN APPROPRIATE TIGHTLY, SEALED CONTAINERS WHEN NOT IN USE. ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.

ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH THE INSTRUCTIONS ON THE PRODUCT LABEL.

SUFFICIENT EQUIPMENT AND/OR MATERIALS SHALL BE KEPT ONSITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

CONTRACTOR TO CONTAIN AND CLEAN UP ANY SPILLS IMMEDIATELY AFTER THEY OCCUR. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA, STATE, OR LOCAL AGENCY REGULATIONS SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE OWNER IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL.

ALL EXCESS, USED, OR SPILLED PRODUCTS, INCLUDING CONTAMINATED SOIL, SHALL BE DISPOSED OF BY THE CONTRACTOR IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND ALL APPLICABLE REGULATIONS.

VII. APPROVED STATE AND LOCAL PLANS

THE CONSTRUCTION DRAWINGS FOR THE PROJECT WERE APPROVED AND PERMITTED BY THE FOLLOWING AGENCIES:

* CITY OF ALACHUA * FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

* SUWANNEE RIVER WATER MANAGEMENT DISTRICT

VIII. CONSTRUCTION ACTIVITY DISCHARGES

IN ACCORDANCE WITH THIS PLAN, THERE ARE NO ANTICIPATED DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

IX. CHANGES TO THE POLLUTION PREVENTION PLAN

THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED TO REFLECT ANY APPLICABLE CHANGE IN A STATE. REGIONAL. OR LOCAL PERMIT FOR WHICH THE PERMITTEE RECEIVES WRITTEN NOTICE. WHEN WRITTEN NOTICE IS RECEIVED, THE PERMITTEE SHALL PROVIDE A RE-CERTIFICATION OF THIS POLLUTION PREVENTION PLAN, WHICH HAS BEEN REVISED TO ADDRESS SUCH CHANGES. AMENDMENTS TO THE PLAN SHALL BE PREPARED, SIGNED, DATE, AND KEPT AS ATTACHMENTS TO THE ORIGINAL PLAN.

X. ALTERNATIVE PERMIT REQUIREMENTS

NO ALTERNATIVE PERMIT REQUIREMENTS ARE REQUESTED.

XI. MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE. INSPECTION SCHEDULE. AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE. IN ADDITION TO THE TIMES MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE SMF(S) DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE. UPON FINAL COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY BOTH THE CITY AND OWNER, THE OPERATION AND MAINTENANCE ENTITY WILL BE UPLAND PROPERTIES NCF, LLC.

XII. INSPECTIONS

THE CONTRACTOR SHALL INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR ALL DISTURBED AREAS ON THE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.50 INCHES OR GREATER. FOR POINTS OF DISCHARGE INTO SURFACE WATERS OF THE STATE OR AN MS4, A QUALIFIED INSPECTOR (PROVIDED BY THE OPERATOR) SHALL PERFORM THE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS 0.50 INCHES OR GREATER. LOCATIONS WHERE THE SITE IS COMPLETELY CONSTRUCTED AND STABILIZED, SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE A MONTH. ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM. THE CONTRACTOR MAY USE THEIR OWN FORM (MEETING FDEP SWPPP REQUIREMENTS) OR A SAMPLE FORM FROM FDEP. A SAMPLE CONSTRUCTION FORM IS AVAILABLE AT: "HTTPS://FLORIDADEP.GOV/WATER/STORMWATER/DOCUMENTS/CONSTRUCTION-SWPPP". MORE SPECIFICALLY, THE INSPECTION SHALL ENSURE THE FOLLOWING CATEGORIES.

A. DISTURBED AREAS

ALL DISTURBED AREAS AND AREAS USED FOR MATERIAL STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

B. MAINTENANCE PERFORMANCE

BASED ON THE RESULTS OF THE INSPECTION, ALL MAINTENANCE OPERATIONS NEEDED TO ASSURE PROPER COMPLIANCE WITH THIS PLAN SHALL BE DONE IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION.

C. REPORTING REQUIREMENTS

ALL INSPECTIONS SHALL BE RECORDED ON THE CONSTRUCTION INSPECTION FORM, A COPY OF WHICH IS PROVIDED ON THIS SHEET. THIS FORM IS CREATED TO SUMMARIZE THE SCOPE OF THE INSPECTION, THE NAME(S) AND QUALIFICATION OF THE INSPECTOR(S), THE DATE OF INSPECTION, RAINFALL DATA, OBSERVATIONS, THE ACTIONS TAKEN TO CORRECT INCIDENTS OF NON-COMPLIANCE WITH THE PROVISIONS OF THIS PLAN. IF NO INCIDENTS OF NON-COMPLIANTS ARE OBSERVED, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE ASSOCIATED PFRMIT.

THE CONTRACTORS OR SUB-CONTRACTORS SHALL PHOTOCOPY AND COMPLETE THE FORM ON THIS PAGE. IT SHALL BE PROVIDED TO THE OWNER AND KEPT ON FILE PURSUANT TO SECTION XV REGARDING PROJECT RECORDS.

XV. RETENTION OF RECORDS

THE PERMITTEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS REOUIRED BY THIS PERMIT. AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED. THE PERMITTEE SHALL RETAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REPORTS, RECORDS, AND DOCUMENTATION REQUIRED BY THIS

NOTICE OF TERMINATION:

- **FI IMINATED**
- DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 2600 BI AIR STONF ROAD

TALLAHASSEE, FLORIDA 32399-2400

XIII. NON-STORMWATER DISCHARGES

IN ADDITION TO STORMWATER RUNOFF, THIS PLAN APPLIES TO RUNOFF FROM IRRIGATION OPERATIONS AND CONSTRUCTION PRACTICES. THIS PLAN DOES NOT PERTAIN TO DISCHARGES FROM FIRE FIGHTING ACTIVITIES.

XIV. CONTRACTORS CERTIFICATION

PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION

XVI. NOTICE OF TERMINATION

1. WHERE A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES AUTHORIZED BY THIS PERMIT ARE ELIMINATED, THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION (DEP FORM 62-621.300(6)), SIGNED IN ACCORDANCE WITH PART VII.C OF DEP DOCUMENT NO. 62-621.300(4)(a), WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE TO TERMINATE COVERAGE UNDER THIS PERMIT. ELIMINATION OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY MEANS THAT ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME, OR THAT ALL STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE THAT ARE AUTHORIZED BY THIS GENERIC PERMIT HAVE OTHERWISE BEEN 3. FOR CONSTRUCTION ACTIVITIES WHERE THE OPERATOR CHANGES, THE EXISTING OPERATOR SHALL FILE AN N.O.T. IN ACCORDANCE WITH THIS PART WITHIN 14

THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER. MS# 2510

PROJECTS THAT DISCHARGED STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4) SHALL SUBMIT A COPY OF THE N.O.T. TO THE OPERATOR OF THE MS4.

Contractor/Subcontractor Certification Statement Stormwater Pollution Prevention Plan

Site Name: Upland Industrial Park - Lots 2, 3, 4, and 5 Site Location: Alachua County, Florida

DATE

THE CONTRACTOR(S) OR SUB-CONTRACTOR(S) RESPONSIBLE FOR COMPLYING WITH THIS STORMWATER POLLUTION PREVENTION PLAN SHALL SIGN THE CERTIFICATION STATEMENT BELOW. MULTIPLE COPIES OF THIS CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING ON THE NUMBER OF SUB-CONTRACTORS ASSOCIATED WITH THE PROJECT I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUN

RESPONSIBLE INDIVIDUAL'S NAME	RESPONSIBLE INDIVIDUAL'S SIGNATURE	TITLE	COMPANY NAME, ADDRESS, AND PHONE NUMBER



EROISION CONTROL INLET PROTECTI (DANDY SACK), SEE SHEET C2.31 FOR DET.
INSTALL TYP SILT FENCE EROSION CONTR SEE SHEET C2.30 FOR DET
EXISTING STORMWATER NETWOR (TO REMAIN (TY EROISION CONTROL INLET PROTECTIO (DANDY SACK), SEE SHEET C2.31 FOR DETA
PROPERTY BOUNDARY L
INSTALL TYPE I SILT FENCE EROSION CONTROL SEE SHEET C2.30 FOR DETAI
0357/Engineering/DWGs/Production File
1018 2:10pm Flename: L-\2017\17
lot Date: Dec 20,



Α			
В			
С	17-0357_C0.30_DM.dwg		
D	ang Plot Date: Dec 19,2018 8:18am Filename: L:\2017\17-0357\Engineering\DWGs\Production Files\	GENERAL NOTES: 1. CONTRACTOR SHAL INSTALLED PRIOR T 2. CONTRACTOR SHAL DISTURBED AREAS T CONDITIONS.	L HAVE A SILT FENCE O ANY SITE WORK. L REPAIR/RESTORE ANY TO EXISTING OR BETTER



1. ALL OFF-SITE IMPROVEMENTS SHALL MEET FDOT AND CITY OF ALACHUA DESIGN

2. SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHTING FIXTURES.

SEE SHEET E-1 FOR DESIGN AND SPECIFICATIONS. 3. SEE GEOTECHNICAL ENGINEERNG REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS. 4. REFER TO CO.12 FOR HANDICAP ACCESSIBILITY NOTES. 5. REFER TO LS-1 - LS-2 FOR LANDSCAPE PLAN. 6. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT AND ELEVATIONS. 7. ALL PARKING LINE MARKINGS SHALL BE 4" WHITE. LEGEND-LIMITS OF PROPOSED CONCRETE, SEE SHEET CO.12 FOR DETAIL LIMITS OF ASPHALT PAVEMENT, SEE SHEET CO.12 FOR DETAIL ----- PROPERTY BOUNDARY LINE LIMITS OF PROPOSED BUILDING BUILDING SETBACK ____

STANDARDS AND SPECIFICATIONS.

AutoTURN SIMULATION

<u>GENERAL NOTES</u> -

20'x 10' DUMPSTER ENCLOSURE LOCATION, REFER TO ARCHITECTURAL PLANS FOR DETAIL,—









	А
	В
ACCESSIBI RUNNING SLOPE OF SHALL NOT BE STEE AND CROSS SLOPE OF SHALL NOT BE STEE	С
	D



