

SITE PLAN
FOR
UPLAND
INDUSTRIAL PARK
LOT 2, 3, 4, AND 5

ALACHUA, FLORIDA
SECTION 19, TOWNSHIP 8 SOUTH, RANGE 19 EAST
SUBMITTED TO
CITY OF ALACHUA
SUWANNEE RIVER WATER MANAGEMENT DISTRICT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

OWNER/DEVELOPER

UPLAND PROPERTIES NCF, LLC
3455 SW 42ND AVENUE
GAINESVILLE, FL 32608
PH (352) 377-3204

CIVIL ENGINEER

CHW
11801 RESEARCH DRIVE
ALACHUA, FLORIDA 32615
(352) 331-1976

ARCHITECT

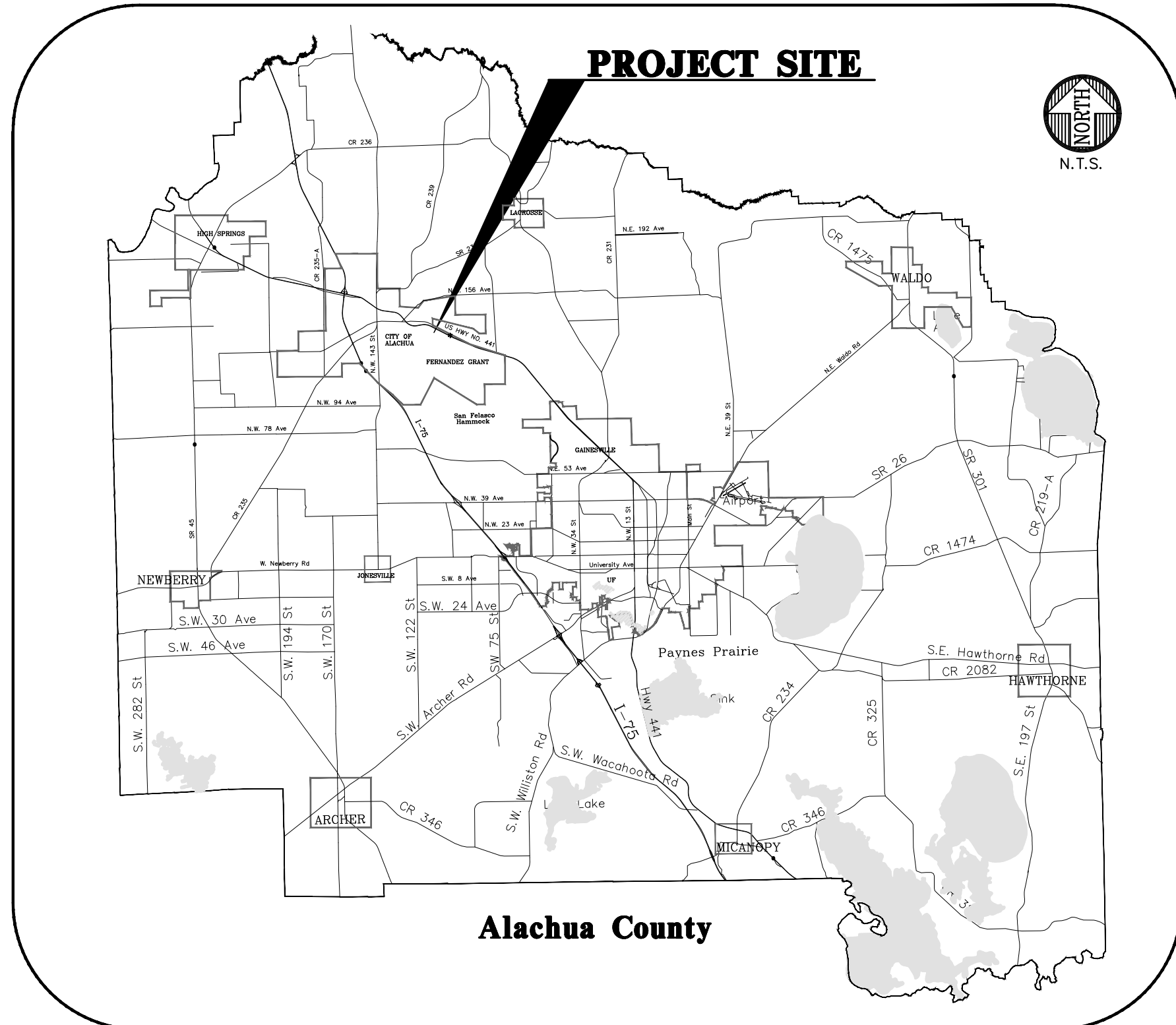
STUDIO MJC, LLC
5206 SOUTHWEST 91ST TERRACE
GAINESVILLE, FLORIDA 32608
(352) 226-8061

LANDSCAPE ARCHITECT

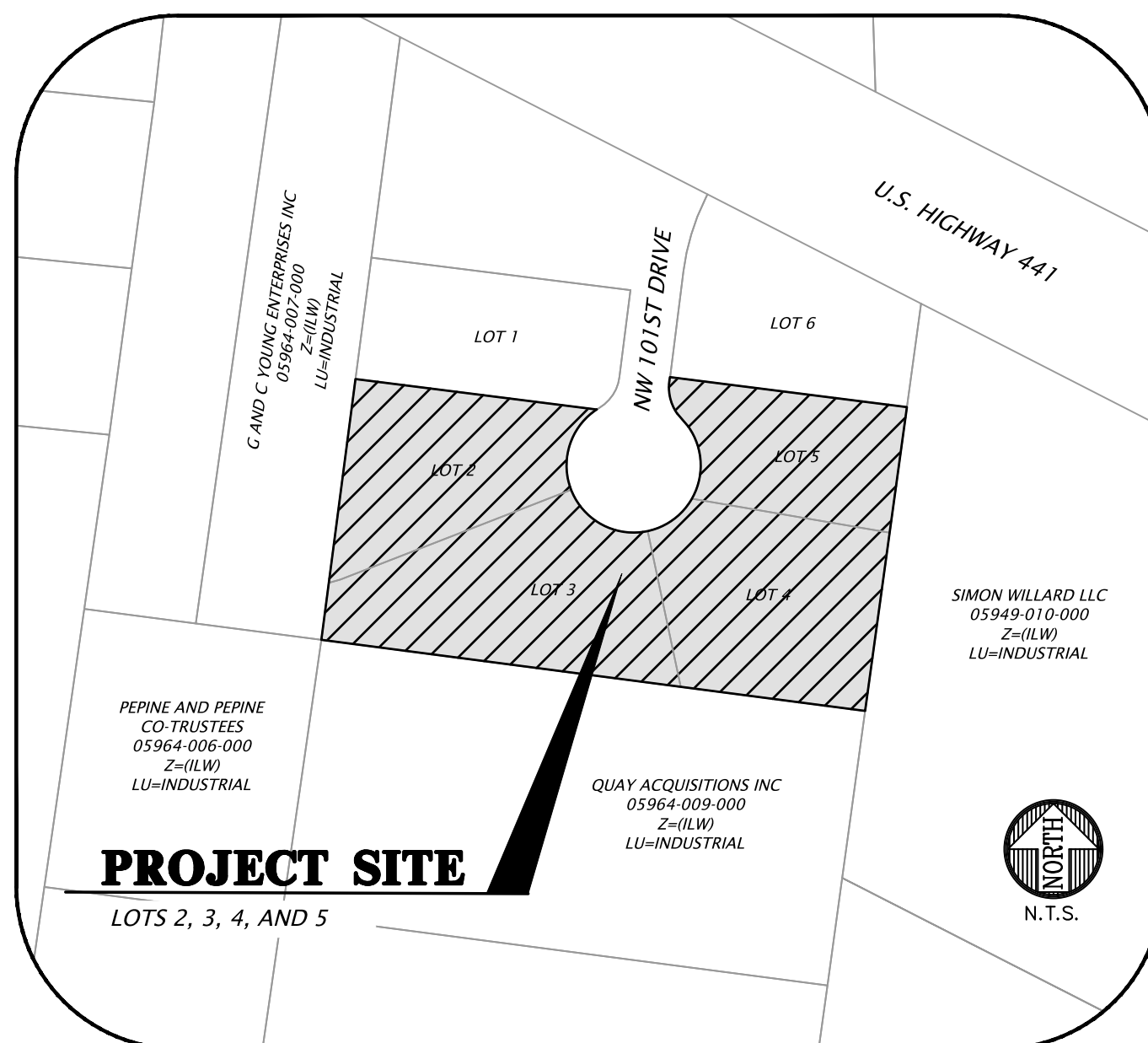
CHW
11801 RESEARCH DRIVE
ALACHUA, FLORIDA 32615
(352) 331-1976

PHOTOMETRIC

HUNTER DESIGN AND CONSULTING
735 ARLINGTON AVE. N, STE 308
ST. PETERSBURG, FLORIDA 33701
(352) 238-6366



VICINITY MAP



LOCATION MAP

GENERAL NOTES

1. DEVELOPMENT DATA:
TOTAL AREA = 209,959 S.F. 100.00% 4.82 ACRES
IMPERVIOUS AREA (ASPHALT PAVEMENT) = 78,477 S.F. 37.34% 1.80 ACRES
IMPERVIOUS AREA (CONCRETE) = 14,374 S.F. 6.85% 0.33 ACRES
OPEN AREA (LANDSCAPE) = 67,274 S.F. 31.95% 1.54 ACRES
EXISTING BUILDINGS = 0 S.F. 0.00%
PROPOSED BUILDINGS = 50,121 S.F. 23.86% 1.15 ACRES
TOTAL IMPERVIOUS AREA = 142,972 S.F. 68.10% 3.28 ACRES
DESCRIPTION: THE PROJECT CONSISTS OF CONSTRUCTION OF A MULTI-TENANT BUILDING AND ASSOCIATED INFRASTRUCTURE.
2. MINIMUM BUILDING REQUIREMENTS PER ILW ZONING ARE AS FOLLOWS:
PRIMARY BUILDING (ILW)
FRONT 20'
SIDE 15'
REAR 15'
MINIMUM LOT AREA = N/A
MINIMUM LOT WIDTH = N/A
MAX BUILDING HEIGHT = 65'
MAX LOT COVERAGE = N/A
FAR = 0.75
3. PARKING CALCULATIONS:
REQUIRED PARKING REQUIRED PORTION OF TOTAL BUILDING FLOOR S.F. SPACES (MIN) SPACES (MAX)**
USE-A
LIGHT MANUFACTURING OFFICE 1 SPACE/350 S.F. 30% 7,332 21 26
SPACE
LIGHT MANUFACTURING SPACE 1 SPACE/1,000 S.F. 70% 17,107 17 21
TOTAL 24,439 38 47
BUILDING LOTS 2-3 (24,439 S.F.)
FLOOR S.F. SPACES (MIN) SPACES (MAX)**
8,005 23 29
18,677 19 23
26,682 42 52
TOTAL BOTH BUILDINGS
FLOOR S.F. SPACES (MIN) SPACES (MAX)
15,336 44 55
35,785 36 44
51,121 80 99
4. DATE OF BOUNDARY SURVEY:
TOPOGRAPHIC SURVEY WAS COMPLETED BY CAUSSEAU, HEWETT, & WALPOLE, INC., REVISION DATED SEPTEMBER 27, 2017.
5. UTILITIES:
POTABLE WATER SERVICE WILL BE PROVIDED TO THE SITE BY EXISTING SERVICE LINE IN NW 101ST DRIVE R/W.
SANITARY SEWER SERVICE WILL BE SERVED FROM AN EXISTING SANITARY SEWER LINE IN NW 101ST DRIVE R/W.
ELECTRIC SERVICE WILL BE PROVIDED AS AN EXTENSION OF THE EXISTING SERVICE TO THE PROPOSED FACILITIES BY THE CITY OF ALACHUA.
PERMITTED THROUGH SRWMD AND THE CITY OF ALACHUA.
6. DRAINAGE:
THE SITE IS SERVED BY AN EXISTING PERMITTED MASTER DRAINAGE BASIN THAT IS PERMITTED THROUGH SRWMD AND THE CITY OF ALACHUA.
7. NATURAL FEATURES:
TOPOGRAPHY SLOPES FROM SOUTH TO NORTHWEST WITH MODERATE SLOPES.
THERE ARE NO NATURAL SITE FEATURES.
8. ZONING/LAND USE INFORMATION AND COMPLIANCE:
LIGHT & WAREHOUSE INDUSTRIAL (ILW) ZONING DESIGNATION.
INDUSTRIAL FUTURE LAND USE MAP DESIGNATION.
9. CONCURRENCY IMPACT ANALYSIS:
SUBMITTED UNDER SEPARATE COVER
10. LEGAL DESCRIPTION:
SEE SURVEY
11. STATEMENT OF PROPOSED USE:
THE PROPOSED USE IS MULTI-TENANT AND SHALL BE CONSISTENT WITH THE LIGHT AND WAREHOUSE INDUSTRIAL (ILW) ZONING DISTRICT'S ALLOWED USES AS PRESCRIBED IN THE CITY OF ALACHUA LDR TABLE 4.1-1, TABLE OF ALLOWED USES.

*USES AND ASSOCIATED AREAS ARE SHOWN FOR PARKING CALCULATION PURPOSES ONLY AND ARE NOT FINAL.
**6.1.4(B)(5) - MAXIMUM OFF-STREET PARKING SPACES ALLOWED IS 125% OF MINIMUM PARKING SPACE REQUIREMENT.

REQUIRED CAR PARKING
BUILDING LOTS 2-3: 38 PARKING SPACES REQUIRED - 47 PARKING SPACES PROVIDED
BUILDING LOTS 4-5: 42 PARKING SPACES REQUIRED - 50 PARKING SPACES PROVIDED

REQUIRED BICYCLE PARKING
BUILDING LOTS 2-3: (38 PARKING SPACES REQUIRED / 10 = 4 SPACES) - 2 RACKS FOR 4 SPACES PROVIDED
BUILDING LOTS 4-5: (42 PARKING SPACES REQUIRED / 10 = 4 SPACES) - 2 RACKS FOR 4 SPACES PROVIDED

LOADING ZONE SPACES
PER DEVELOPMENT STANDARDS 6.1.5, AND TABLE 6.1-2
REQUIRED BUILDING LOTS 2-3 (24,439 SF) - 1 SPACE REQUIRED
REQUIRED BUILDING LOTS 4-5 (26,682 SF) - 2 SPACE REQUIRED

TOTAL PROVIDED
CAR STANDARD PARKING SPACE: LOTS 2-3 = 47 SPACES + LOTS 4-5 = 50 SPACES (97 TOTAL SPACES)
ACCESSIBLE PARKING SPACE: 2 PER BUILDING
BICYCLE: LOTS 2-3 - 2 RACKS, 4 SPACES
BICYCLE: LOTS 4-5 - 3 RACKS, 6 SPACES
LOADING SPACES - LOTS 2-3 - 5 PROVIDED (171'x30')
LOADING SPACES - LOTS 4-5 - 7 PROVIDED (235'x30')

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C0.00	COVER SHEET AND INDEX
C0.10	GENERAL NOTES
C0.11	LEGEND
1 OF 1	TOPOGRAPHIC SURVEY
C0.20	STORMWATER POLLUTION PREVENTION NOTES
C0.21	STORMWATER POLLUTION PREVENTION PLAN
C0.30	DEMOLITION PLAN
C1.00	MASTER HORIZONTAL CONTROL AND SITE PLAN
C1.10 - C1.11	DETAILED HORIZONTAL CONTROL AND SITE PLAN
C1.20	ACCESSIBILITY SITE PLAN AND DETAILS
C2.00	MASTER DRAINAGE AND GRADING PLAN
C2.10 - C2.11	DETAILED DRAINAGE AND GRADING PLAN
C2.30	CONSTRUCTION DETAILS
C2.31	CONSTRUCTION DETAILS
C2.32	CONSTRUCTION DETAILS
C2.33	TYPICAL CROSS SECTIONS
C3.00	MASTER UTILITY PLAN
C3.10 - C3.11	DETAILED UTILITY PLAN
C5.00 - C5.01	DRIVEWAY CONNECTION
LS-1	LANDSCAPE CALCULATIONS AND PLANT SCHEDULE
LS-2	LANDSCAPE PLAN
IR-1	IRRIGATION DIAGRAM
ES-1	SITE PHOTOMETRIC PLAN
A111	ARCHITECTURAL FLOOR PLAN
A112	ARCHITECTURAL FLOOR PLAN
A210	ARCHITECTURAL EXTERIOR ELEVATIONS
A211	ARCHITECTURAL EXTERIOR ELEVATIONS
A310	ARCHITECTURAL DUMPSTER ENCLOSURE DETAILS

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Alachua, Florida 32615
(352) 331-1976
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CHW
Professional Consultants

SCALE: N/A
KEY: SCALE BASED ON ORIGINAL DRAWING
0 = NOT SHOWN ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

CONSTRUCTION/BDI RELEASE

REVISIONS
12/20/17 - CITY OF ALACHUA AND SRWMD
08/06/18 - CITY OF ALACHUA
10/18/18 - CITY OF ALACHUA
12/17/18 - CITY OF ALACHUA

CLIENT: BNW HOLDINGS, LLC
PROJECT: UPLAND INDUSTRIAL PARK LOTS 2, 3, 4, AND 5
SHEET TITLE: COVER SHEET AND INDEX

DESIGNED BY: J. THOMAS
DRAWN BY: J. THOMAS
QUALITY CONTROL: D. YOUNG
PROJECT NUMBER: 17-0357

DANIEL H. YOUNG

FL PE No. 70780

SHEET NO: C0.00

SYMBOLS		N	
°	FEET (WHEN USED WITH LENGTHS)	N	NORTH
'	DEGREES	N/E	NORTHING - EASTING
"	MINUTES (WHEN USED WITH ANGLES)	N/A	NOT APPLICABLE
'	SECONDS	NAVD	NORTH AMERICAN VERTICAL DATUM OF 1988
%	PERCENT	NGVD	NATIONAL GEODETIC VERTICAL DATUM OF 1929
@	AT	NO	NUMBER
A		NPDES	NONH POLLUTANT DISCHARGE
AASHTO	ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	NTS	ELIMINATION SYSTEM NOT TO SCALE
AC	ACRES	O	
ADA	AMERICAN WITH DISABILITIES ACT	OC	ON CENTER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OHW	OVERHEAD WIRE
ARCH	ARCHITECT	ORR	OFFICIAL RECORDS BOOK
ARV	AIR RELEASE VALVE	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	P	
AWWA	AMERICAN WATER WORKS ASSOCIATION	PAVT	PAVEMENT
B		PC	POINT OF CURVATURE
BC	BACK OF CURB	PCC	POINT OF COMPOUND CURVE
BFP	BACKFLOW PREVENTER	PERF	PERFORMED
BLDG	BUILDING	PROP	PROPOSED
BM	BENCHMARK	PT	POINT OF TANGENCY
BMP	BEST MANAGEMENT PRACTICE	PVC	POLYVINYL CHLORIDE
BOC	BACK OF CURB	PVI	POINT OF VERTICAL INTERSECTION
BVCS	BEGIN VERTICAL CURVE STATION	R	
BVCE	BEGIN VERTICAL CURVE ELEVATION	R	RADIUS
BW	BOTTOM OF WALL	RCP	REINFORCED CONCRETE PIPE
BSL	BUILDING SETBACK LINE	RPM	RAISED REFLECTIVE PAVEMENT MARKER
C		RPZ	REDUCED PRESSURE ZONE
CATV	CABLE TELEVISION	RT	RIGHT
CI	CURB INLET	RWM	RECLAIMED WATER MAIN
CIP	CAST IRON PIPE	R/W	RIGHT-OF-WAY
CMP	CORRUGATED METAL PIPE	S	
CO	CLEANOUT	S	SOUTH
CONC	CONCRETE	SAN	SANITARY
COORD	COORDINATE	SHWE	SEASONAL HIGH WATER ELEVATION
CR	COUNTY ROAD	SL	SLOPE
C/O	CLEANOUT	SP	SUPERPAVE
D		SR	STATE ROAD
DBH	DIAMETER AT BREAST HEIGHT	SS	SANITARY SEWER
DE	DRAINAGE EASEMENT	ST	STORM
DEG	DEGREE	STA	STATION
DIA	DIAMETER	STD	STANDARD
DIP	DUCTILE IRON PIPE	T	
DWG	DRAWING	TCE	TEMPORARY CONSTRUCTION EASEMENT
E		TEMP	TEMPORARY
e	RATE OF ELEVATION	TOB	TOP OF BANK
E	EAST	TV	TELEVISION
EA	EACH	TW	TOP OF WALL
EL	ELEVATION	TYP	TYPICAL
ELEV	ELEVATION	U	
EEP	EDGE OF PAVEMENT	USF	UNITED STATES FOUNDRY
ECR	ENGINEER OF RECORD	USGS	UNITED STATES GEOLOGICAL SURVEY
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	UTIL	UTILITY
ESMT	EASEMENT	V	
EVCS	END VERTICAL CURVE STATION	V	VERTICAL
EVCE	END VERTICAL CURVE ELEVATION	VC	VERTICAL CURVE
EX	EXISTING	VCP	VITRIFIED CLAY PIPE
F		W	
FAC	FLORIDA ADMINISTRATIVE CODE	W	WEST
FBR	FLORIDA BEARING RATIO	W	WATER
FC	FRICTION COURSE	W/	WITH
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	WM	WATER MAIN
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	WW	WASTEWATER
FFE	FINISHED FLOOR ELEVATION	WWF	WELDED WIRE FABRIC
FH	FIRE HYDRANT		
FHWA	FLORIDA HIGHWAY ADMINISTRATION		
FIG	FIGURE		
FM	FORCE MAIN		
FOC	FACE OF CURB		
FS	FLORIDA STATUTES		
FT	FEET		
G			
GALV	GALVANIZED		
GM	GAS MAIN		
GV	GATE VALVE		
H			
HDPE	HIGH DENSITY POLYETHYLENE		
HP	HIGH POINT		
I			
ID	IDENTIFICATION		
INV	INVERT		
INV EL	INVERT ELEVATION		
IP	IRON PIPE		
K			
K	VERTICAL CURVE RATE OF CHANGE		
L			
L	LENGTH		
LA	LANDSCAPE ARCHITECT		
LBR	LIMEROCK BEARING RATIO		
LDR	LAND DEVELOPMENT REGULATION		
LF	LINEAR FEET		
LP	LOW POINT		
LT	LEFT		
M			
MAX	MAXIMUM		
ME	MATCH EXISTING		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES		

SIGNS ARE PER FDOT SPECIFICATIONS OR PER MUTCD. SIGN POSTS AND INSTALLATION SHALL BE PER FDOT INDEX NO. 700-101. SIGN PLACEMENT SHALL BE PER FDOT INDEX NO. 700-101.

 FTP 20-06 (12" x 18") PER FDOT INDEX NO. 700-102

 R1-1 "STOP" - SEE PLANS FOR SIZE

 R1-1 "DO NOT ENTER" - SEE PLANS FOR LOCATION

 R1-1 "DO NOT ENTER" - SEE PLANS FOR LOCATION

 R6-1 "ONE WAY" - SEE PLANS FOR LOCATION

	EX. PROPERTY LINE
	LANDSCAPE BUFFER LINE
	BUILDING SETBACK LINE
	WETLAND LIMITS LINE
	WETLAND SETBACK LINE
	CENTER LINE
	EASEMENT LINE
	RIGHT-OF-WAY LINE
SF — SF	SILT FENCE LINE
TB — TB	TREE BARRICADE LINE
	EX. STRUCTURE OR BUILDING
	PROPOSED BUILDING
	PROPOSED ASPHALTIC PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING SURFACE
	DIRECTIONAL TRAFFIC ARROW PER FDOT INDEX NO. 17346
	WATERSHED DIVIDE
	EX. ELEVATION CONTOUR
	PROPOSED CONTOUR
95.2' x	EX. SPOT ELEVATION
93.23 ♦	PROPOSED SPOT ELEVATION
	DIRECTION OF SURFACE DRAINAGE FLOW
	PROPOSED SWALE LINE
x — x	EX. FENCE
	PROPOSED FENCE
12" PINE	EX. TREE (SIZE & TYPE)
1234	EX. TREE (TREE ID)
12" PINE	EX. TREE TO BE REMOVED (SIZE & TYPE)
1234	EX. TREE TO BE REMOVED (TREE ID)
	PROJECT BENCHMARK

THE PROPOSED STORMWATER STRUCTURES DEPICTED BELOW ARE DRAWN PER FDOT SPECIFICATIONS AND TO SCALE WHEN SHOWN ON THE PLAN SHEETS.

ST ST EX. GRAVITY STORMWATER MAIN

TOP/RIM ELEV. LOCATION N/E LOCATION OF A STRUCTURE TO N/E LOCATION OF A STRUCTURE

EX. STORMWATER MANHOLE

PROPOSED 48" DIA. STORMWATER MANHOLE PER FDOT INDEX NO. 425-001 AND 425-010

PROPOSED CIRCULAR AREA DRAIN

PROPOSED SQUARE AREA DRAIN

PROPOSED TYPE 1 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 2 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 3 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 4 CURB INLET TOP PER FDOT INDEX NO. 425-020 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 5 CURB INLET TOP PER FDOT INDEX NO. 425-021 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 6 CURB INLET TOP PER FDOT INDEX NO. 425-021 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 9 CURB INLET TOP PER FDOT INDEX NO. 425-024 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 'C' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)

PROPOSED TYPE 'D' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)

PROPOSED TYPE 'E' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)

PROPOSED TYPE 'F' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-053 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 'G' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-053 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED TYPE 'H' DITCH BOTTOM INLET TOP PER FDOT INDEX NO. 425-052 (SEE PLANS FOR GRATE MATERIAL AND BOTTOM SPECIFICATION)

PROPOSED TYPE 'J' DITCH BOTTOM INLET TOP WITH STEEL GRATE PER FDOT INDEX NO. 425-054 (SEE PLANS FOR BOTTOM SPECIFICATION)

PROPOSED U-TYPE CONCRETE ENDWALLS WITH GRATES PER FDOT INDEX NO. 430-010 (SEE PLANS FOR SIZE)

PROPOSED FLARED END SECTION PER FDOT INDEX NO. 430-020 (SEE PLANS FOR SIZE)

PROPOSED CROSS DRAIN MITERED END SECTION PER FDOT INDEX NO. 430-021 (SEE PLANS FOR SIZE)

PROPOSED SIDE DRAIN MITERED END SECTION PER FDOT INDEX NO. 430-022 (SEE PLANS FOR SIZE)

S-10 PROPOSED STORMWATER STRUCTURE ID TAG

	W		RCW	EX. POTABLE WATER MAIN
	P-W		RCW	PROPOSED POTABLE WATER MAIN
	RCW		RCW	EX. RECLAIMED WATER MAIN
	P-RCW		RCW	PROPOSED RECLAIMED WATER MAIN
	11.25' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE & RCW)			
	22.5' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE & RCW)			
	45' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE & RCW)			
	90' BEND W/ MECHANICALLY RESTRAINED JOINTS (POTABLE & RCW)			
	TEE (POTABLE & RCW)			
	CROSS (POTABLE & RCW)			
	BLOWOFF ASSEMBLY (POTABLE AND RCW)			
	REDUCER (POTABLE AND RCW)			
	EX. GATE VALVE AND BOX (POTABLE AND RCW)			
	PROPOSED GATE VALVE AND BOX (POTABLE AND RCW)			
	EX. AIR RELEASE VALVE (POTABLE AND RCW)			
	PROPOSED AIR RELEASE VALVE (POTABLE AND RCW)			
	EX. FIRE HYDRANT ASSEMBLY			
	PROPOSED FIRE HYDRANT ASSEMBLY			
	PROPOSED SAMPLE POINT			
	EX. WATER METER (POTABLE AND RCW)			
	PROPOSED POTABLE WATER METER			
	PROPOSED POTABLE WATER BACK FLOW PREVENTER			
	PROPOSED RECLAIMED WATER METER			
	EX. WATER WELL			
	EX. HOSE BIB (POTABLE AND RECLAIMED)			
	PROPOSED HOSE BIB (POTABLE AND RECLAIMED)			
	PROPOSED FITTING ID TAG (POTABLE AND RECLAIMED)			

This legend defines the symbols used for various sanitary sewerage system components:

- EX. GRAVITY WASTEWATER MAIN
- PROPOSED GRAVITY WASTEWATER MAIN (PIPE LENGTHS ARE FROM N-E LOCATION OF A STRUCTURE TO N-E LOCATION OF A STRUCTURE)
- EX. WASTEWATER FORCE MAIN
- PROPOSED WASTEWATER FORCE MAIN
- EX. WASTEWATER MANHOLE
- PROPOSED WASTEWATER MANHOLE
- EX. WASTEWATER CLEANOUT
- PROPOSED WASTEWATER CLEANOUT
- PROPOSED WASTEWATER GREASE TRAP
- MH# PROPOSED WASTEWATER MANHOLE ID
- 11.25' BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
- 22.5' BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
- 45° BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
- 90° BEND W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
- WYE W/ MECHANICALLY RESTRAINED JOINTS (WW FORCE MAIN)
- EX. PLUG VALVE AND BOX (WW FORCE MAIN)
- PROPOSED PLUG VALVE AND BOX (WW FORCE MAIN)
- EX. AIR RELEASE VALVE (WW FORCE MAIN)
- PROPOSED AIR RELEASE VALVE (WW FORCE MAIN)

THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR OTHERS FOR EXACT LOCATIONS, DIMENSION, AND DETAILS.

	PROPOSED AT&T LINE
	EX. BURIED CABLE LINE
	PROPOSED BURIED CABLE LINE
	EX. BURIED TELEPHONE LINE
	PROPOSED TELEPHONE LINE
	EX. CABLE TELEVISION LINE
	PROPOSED CABLE/TELEVISION LINE
	EX. FIBER OPTIC LINE
	EX. UNDERGROUND TELEPHONE LINE
	EX. TELEPHONE PEDESTAL
	EX. TELEVISION/CABLE PEDESTAL
	EX. CHILLED WATER MAIN
	PROPOSED CHILLED WATER MAIN
	EX. FIRE MAIN
	PROPOSED FIRE MAIN
	EX. IRRIGATION LINE
	PROPOSED IRRIGATION LINE
	EX. STEAM LINE
	PROPOSED STEAM LINE
	PROPOSED CLAY ELECTRIC LINE
	EX. ELECTRIC LINE
	PROPOSED ELECTRIC LINE
	EX. ENERGY LINE
	PROPOSED PRIVATE LIGHTING LINE
	EX. OVERHEAD WIRE LINE
	EX. UNDERGROUND ELECTRIC LINE
	EX. LIGHT
	EX. UTILITY POLE
	EX. UTILITY POLE
	EX. WOOD POWER POLE
	EX. GUY ANCHOR
	PROPOSED TRANSFORMER
	EX. GAS LINE
	PROPOSED GAS LINE
	EX. GAS MARKER
	EX. GAS MARKER

NOTES:
1. THIS LEGEND IS ALL INCLUSIVE AND MAY INCLUDE ITEMS NOT A PART OF THIS PLAN SET.
2. SYMBOLS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS NOTED OTHERWISE, SYMBOLS IN THESE PLANS MAY NOT BE REPRESENTATIVE OF SIZE.

FL PE No. 70780 SHEET NO. C0.11		PROJECT: UPLAND INDUSTRIAL PARK LOTS 2, 3, 4, AND 5 SHEET TITLE: LEGEND		CLIENT: BNW HOLDINGS, LLC SUBMITTALS: 12/21/17 - CITY OF ALACHUA AND SRMWD 08/06/18 - CITY OF ALACHUA 10/18/18 - CITY OF ALACHUA 12/17/18 - CITY OF ALACHUA		CONSTRUCTION AND REVISIONS:		SCALE: N/A VERY SCALE: 1" = 100' (AS SHOWN ON ORIGINAL DRAWING) IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY		 Professional Consultants		11801 Research Drive Alachua, Florida 32615 (352) 333-1976 www.ch2m-hill.com est. 1988 FLORIDA CA-5075	
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CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD DISTANCE	CHORD BEARING
C5	108.74'	80.00'	77°52'47"	100.56'	N17°13'05"E
C6	112.90'	80.00'	80°51'35"	103.76'	S62°09'06"E
C7	67.41'	80.00'	48°16'50"	65.44'	N53°16'41"E
C8	104.01'	80.00'	74°29'35"	96.84'	S08°06'31"E
C9	45.40'	50.00'	52°01'12"	43.85'	S19°20'42"E

LEGEND

-
- OHW = OVERHEAD WIRE
 - SS = SANITARY SEWER LINE
 - X = FENCE (SIZE AND TYPE AS NOTED)
 - 132 = CONTOUR LINE
 - [Asphalt Symbol] = ASPHALT SURFACE
 - [Concrete Symbol] = CONCRETE SURFACE
 - [Milled Asphalt Symbol] = MILLED ASPHALT SURFACE

THIS PROPERTY IS LOCATED IN FEDERAL FLOOD
ZONE "X", AREAS DETERMINED TO BE OUTSIDE
THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS
INTERPOLATED FROM F.I.R.M. PANEL NO.
12001C0140D, EFFECTIVE JUNE 16, 2006.

Tech:	kenm	Plot Date:	Dec 20, 2018 4:08pm	Filename:	L:\2017\17-0357\Survey\DWG\17-0357 TOPO.dwg
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This map prepared by:

AARON H. HICKMAN

Certificate of Authorization No. LB. 5075

NOT VALID WITHOUT THE SIGNATURE AND
ORIGINAL SEALED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER

Professional Surveyor & Mapper, Exp. License No. 67791

GENERAL NOTES

- ALL OFF-SITE IMPROVEMENTS SHALL MEET FDOT AND CITY OF ALACHUA DESIGN STANDARDS AND SPECIFICATIONS.
- SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHTING FIXTURES. SEE SHEET E-1 FOR DESIGN AND SPECIFICATIONS.
- SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
- REFER TO C0.12 FOR HANDICAP ACCESSIBILITY NOTES.
- REFER TO LS-1 - LS-2 FOR LANDSCAPE PLAN.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT AND ELEVATIONS.
- ALL PARKING LINE MARKINGS SHALL BE 4" WHITE.

LEGEND

- LIMITS OF PROPOSED CONCRETE, SEE SHEET C0.12 FOR DETAIL
- LIMITS OF ASPHALT PAVEMENT, SEE SHEET C0.12 FOR DETAIL
- PROPERTY BOUNDARY LINE
- LIMITS OF PROPOSED BUILDING
- BUILDING SETBACK
- AutoTURN SIMULATION

20'x 10' DUMPSTER ENCLOSURE LOCATION, REFER TO ARCHITECTURAL PLANS FOR DETAIL, (TYP)

50' INGRESS AND EGRESS EASEMENT LINE

LIMITS OF EXISTING DIRT ROAD

30' BUILDING SETBACK LINE

TAX PARCEL NO. 05964-007-000 GAC ENTERPRISES, INC. (O.R. BOOK 3079, PAGE 1134)

25' INGRESS/EGRESS AND DRAINAGE EASEMENT LINE

PROPERTY BOUNDARY LINE

UNPLATTED LANDS TAX PARCEL 05964-006-000 PEPINE & PEPINE 2.19 ACRES ±

RETAINING WALL, SEE SHEET C2.33 FOR CROSS SECTION, (TYP)

UNPLATTED LANDS TAX PARCEL 05964-009-000 QUAY ACQUISITIONS 5.0 ACRES ±

10' DRAINAGE EASEMENT LINE

PROPERTY BOUNDARY LINE

15' BUILDING SETBACK LINE

PROPERTY BOUNDARY LINE

15' BUILDING SETBACK LINE

R/W LINE

EXISTING BUILDING, (TO REMAIN)

EXISTING STORMWATER MANAGEMENT FACILITY

U.S. HIGHWAY 441

NW 101ST DRIVE

R/W LINE

EXISTING BUILDING, (TO REMAIN)

20' BUILDING SETBACK LINE

PROPERTY BOUNDARY LINE

20'x 10' DUMPSTER ENCLOSURE LOCATION, REFER TO ARCHITECTURAL PLANS FOR DETAIL, (TYP)

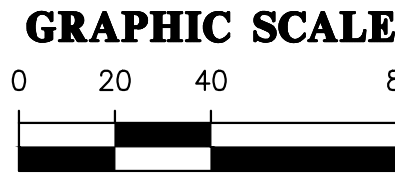
AutoTURN SIMULATION VEHICLE, (TYP)

PROPERTY BOUNDARY LINE

20' PUE AND DRAINAGE EASEMENT LINE

25' BUILDING SETBACK LINE

TAX PARCEL 05949-010-000 SHOWN WILLARD LLC 20.0 ACRES ±



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est. 1988 FLORIDA CA-5075

CHW
Professional Consultants

SCALE: 1"=40'
VERTICAL SCALE: 1"=4'-0"
HORIZONTAL SCALE: 1"=40'-0"
THIS SHEET, AND ANY SCALES ACCORDINGLY.

CONSTRUCTION AND REVISIONS

DATE: 12/21/17 - CITY OF ALACHUA AND SRWMD
08/06/18 - CITY OF ALACHUA
10/18/18 - CITY OF ALACHUA
12/17/18 - CITY OF ALACHUA

CLIENT: BNW HOLDINGS, LLC
PROJECT: INDUSTRIAL PARK LOTS 2, 3, 4, AND 5
SHEET TITLE: MASTER HORIZONTAL CONTROL AND SITE PLAN

DESIGNED BY: J. THOMAS
DRAWN BY: J. THOMAS
CHECKED BY: D. YOUNG
PROJECT NUMBER: 17-0357

DANIEL H. YOUNG
REGISTERED PROFESSIONAL ENGINEER
FLORIDA
No. 70780
JAN 14 2019

FL PE No. 70780

SHEET NO. C1.00

1. SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHTING FIXTURES. SEE SHEET E-1 FOR DESIGN AND SPECIFICATIONS.
2. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
4. REFER TO C2.30 FOR HANDICAP ACCESSIBILITY NOTES.
5. REFER TO LS-1 - LS-2 FOR LANDSCAPE PLAN.
6. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT AND ELEVATIONS.
7. ALL PARKING LINE MARKINGS SHALL BE 4" WHITE.



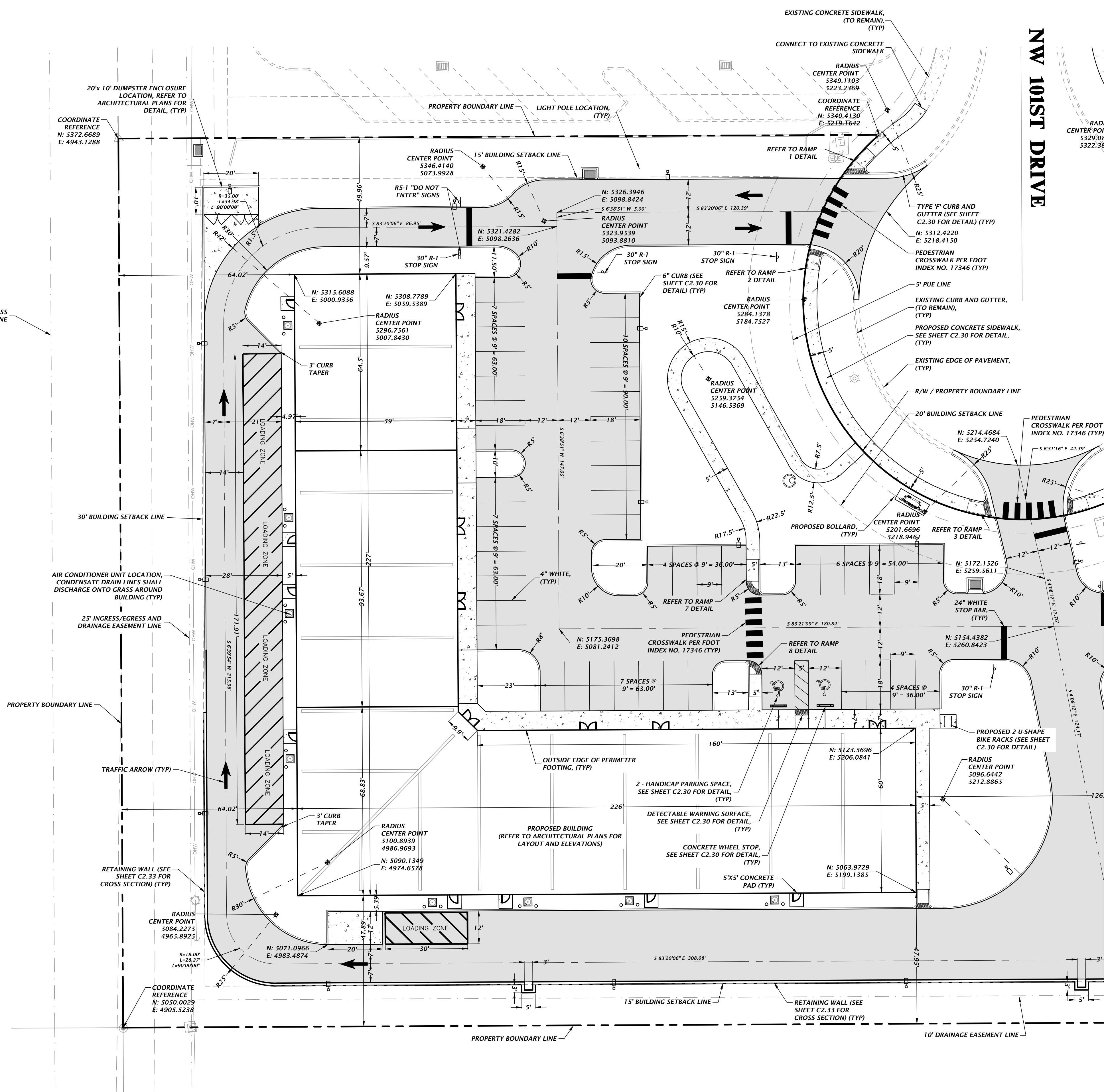
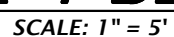
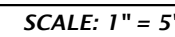
 LIMITS OF PROPOSED CONCRETE,
SEE SHEET C2.30 FOR DETAIL

 LIMITS OF ASPHALT PAVEMENT,
SEE SHEET C2.30 FOR DETAIL

 PROPERTY BOUNDARY LINE

 LIMITS OF PROPOSED BUILDING

 BUILDING SETBACK



SEE SHEET CL.02 FOR CONTINUATION



FL PE No. 70780

SHEET NO.: C1.10

GENERAL NOTES

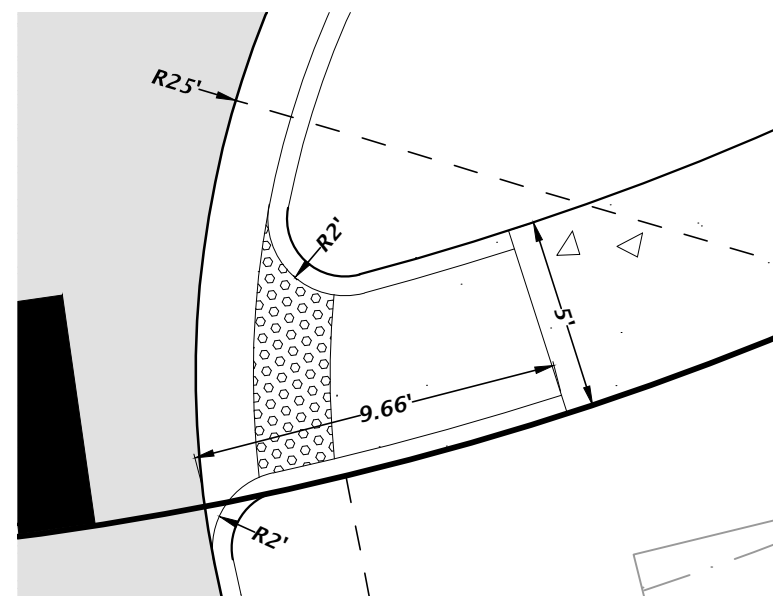
1. SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHTING FIXTURES. SEE SHEET E-1 FOR DESIGN AND SPECIFICATIONS.
2. SEE GEOTECHNICAL ENGINEERING REPORT (BY GSE ENGINEERING AND CONSULTING, INC.) FOR GENERAL REQUIREMENTS AND RECOMMENDATIONS.
4. REFER TO C2.30 FOR HANDICAP ACCESSIBILITY NOTES.
5. REFER TO LS-1 - LS-2 FOR LANDSCAPE PLAN.
6. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT AND ELEVATIONS.
7. ALL PARKING LINE MARKINGS SHALL BE 4" WHITE.

LEGEND

- LIMITS OF PROPOSED CONCRETE, SEE SHEET C2.30 FOR DETAIL
- LIMITS OF ASPHALT PAVEMENT, SEE SHEET C2.30 FOR DETAIL
- PROPERTY BOUNDARY LINE
- LIMITS OF PROPOSED BUILDING
- BUILDING SETBACK

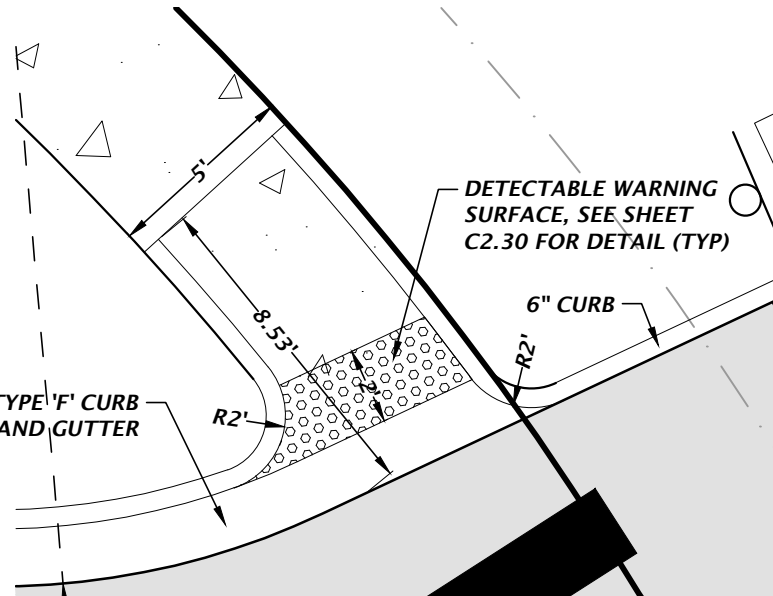


GRAPHIC SCALE



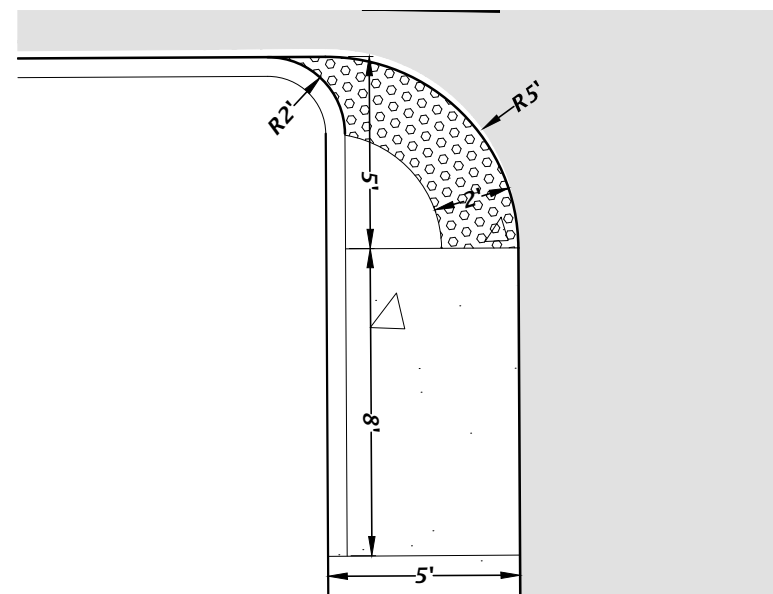
RAMP 4 DETAIL

SCALE: 1" = 5'



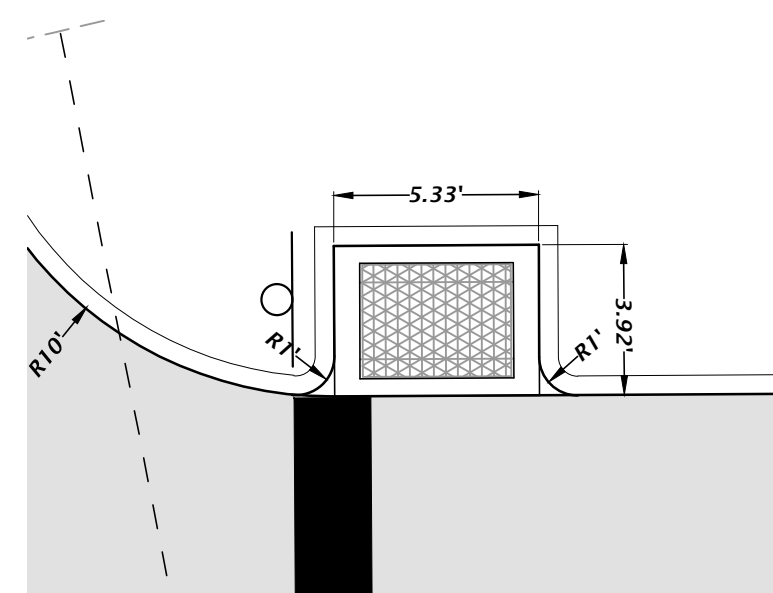
RAMP 6 DETAIL

SCALE: 1" = 5'



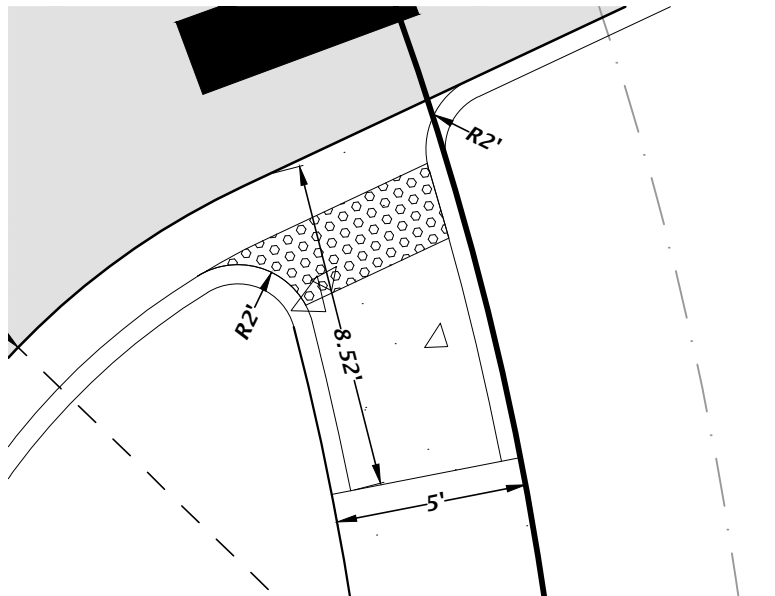
RAMP 10 DETAIL

SCALE: 1" = 5'



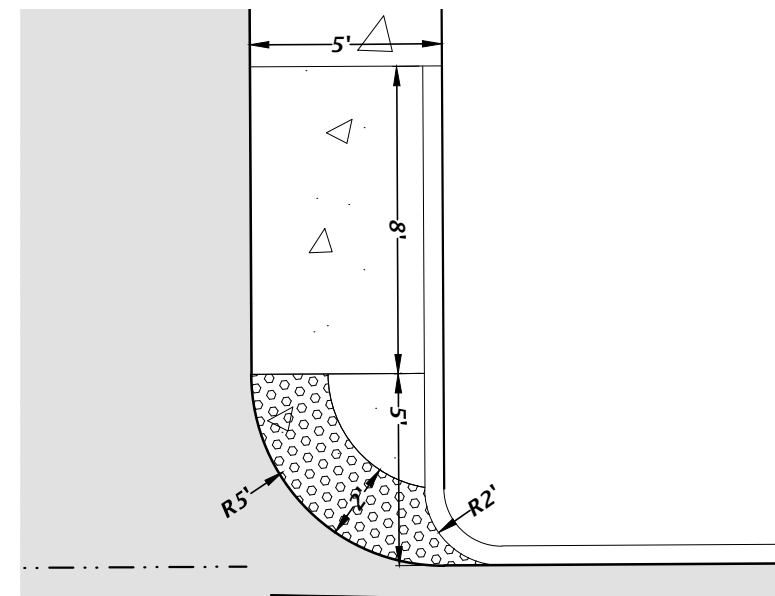
S-10 CURB DETAIL

SCALE: 1" = 5'



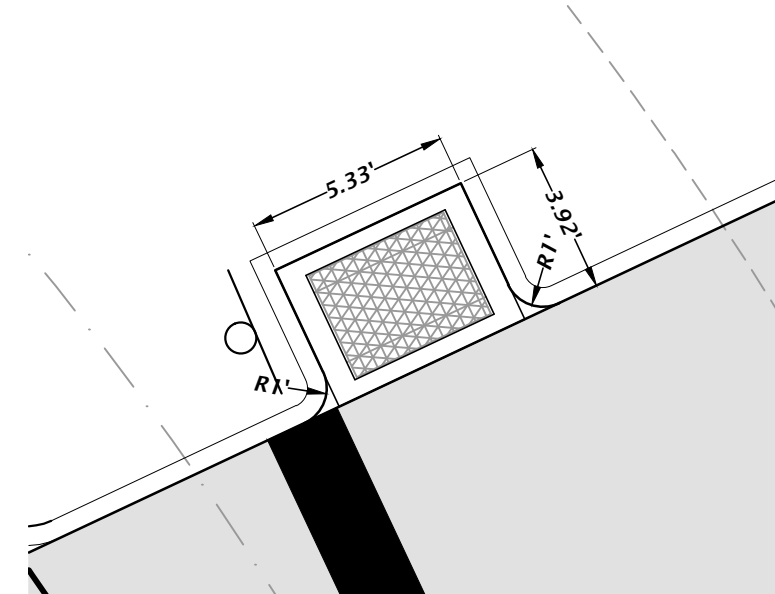
RAMP 5 DETAIL

SCALE: 1" = 5'



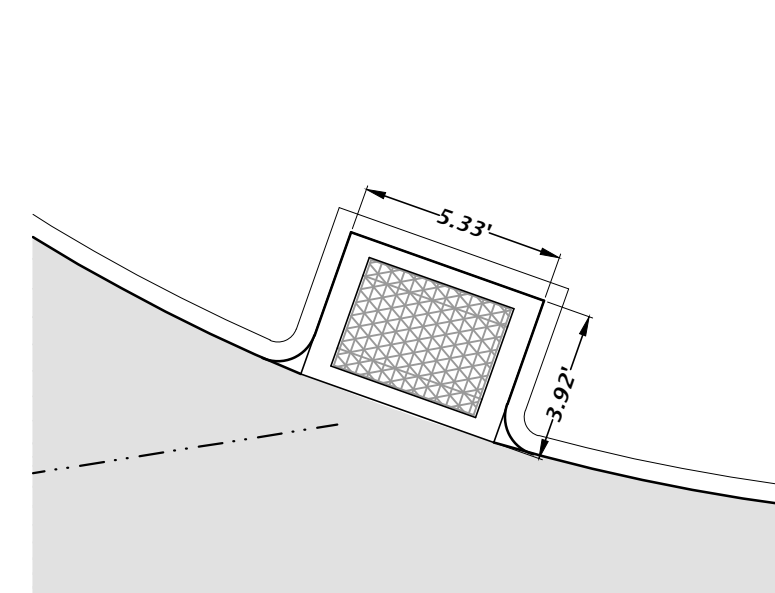
RAMP 9 DETAIL

SCALE: 1" = 5'



S-13 CURB DETAIL

SCALE: 1" = 5'

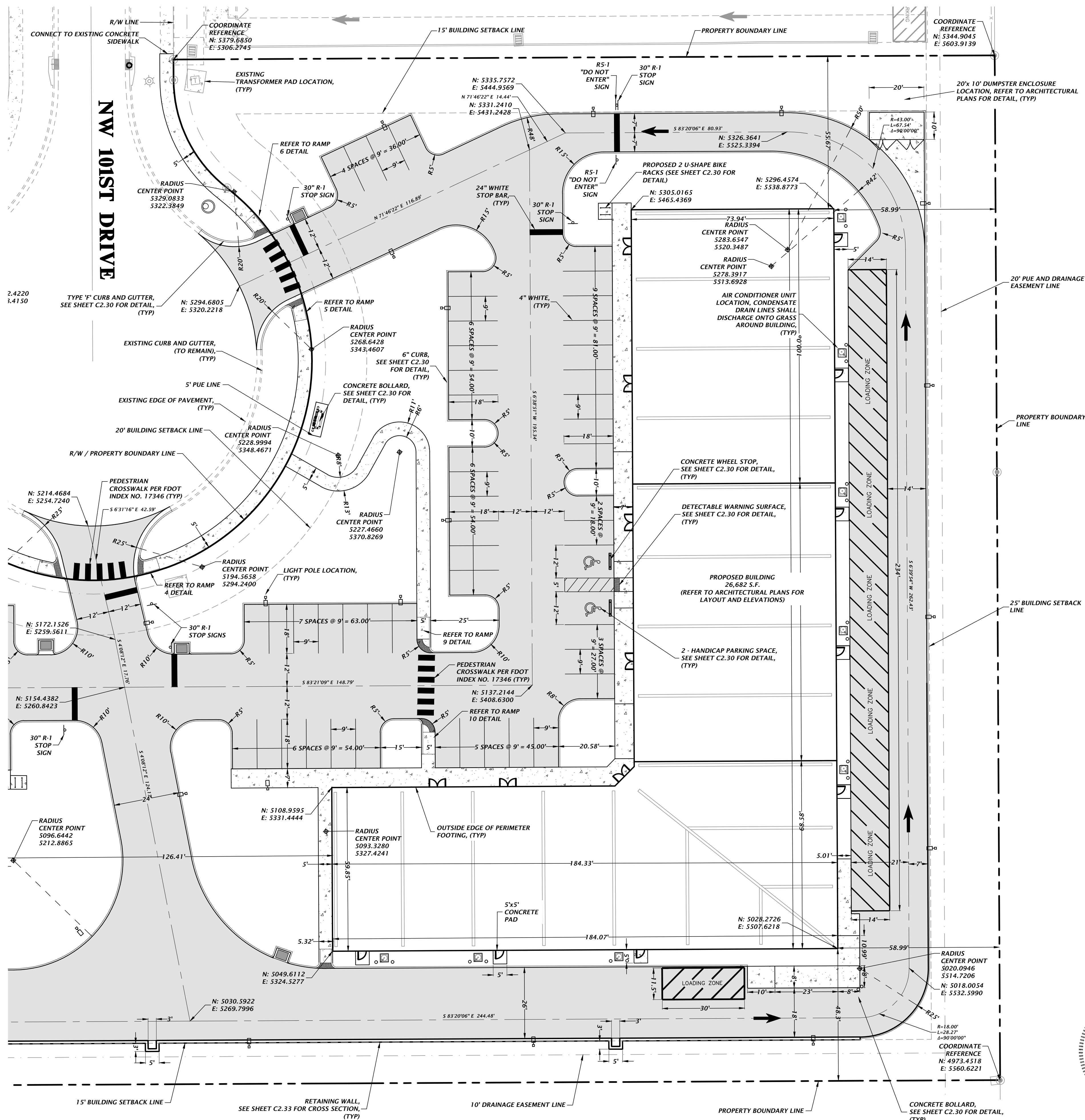


S-11 CURB DETAIL

SCALE: 1" = 5'

SEE SHEET C1.01 FOR CONTINUATION

SEE SHEET C1.01 FOR CONTINUATION



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est. 1988
FLORIDA
CA-5075

CHW
Professional Consultants

SCALE: 1" = 20'
VERIFY SCALE
BASED ON
ORIGINAL DRAWING
0
DO NOT SCALE
THIS SHEET, ADJUST
SIZES ACCORDINGLY.

CONSTRUCTION/REV. SHEETS

SUBMITTALS
12/21/17 - CITY OF ALACHUA AND SRWMD
08/06/18 - CITY OF ALACHUA
10/18/18 - CITY OF ALACHUA
12/17/18 - CITY OF ALACHUA

CLIENT: BNW HOLDINGS, LLC
PROJECT: INDUSTRIAL PARK LOTS
SHEET NO.: 17-0357

DESIGNED BY: J. THOMAS
DRAWN BY: J. THOMAS
QUALITY CONTROL: D. YOUNG
PROJECT NUMBER: 17-0357

DATE: Jan 14, 2019
STATE OF FLORIDA
PROFESSIONAL ENGINEER

FL PE No. 70780
SHEET NO.: C1.11

