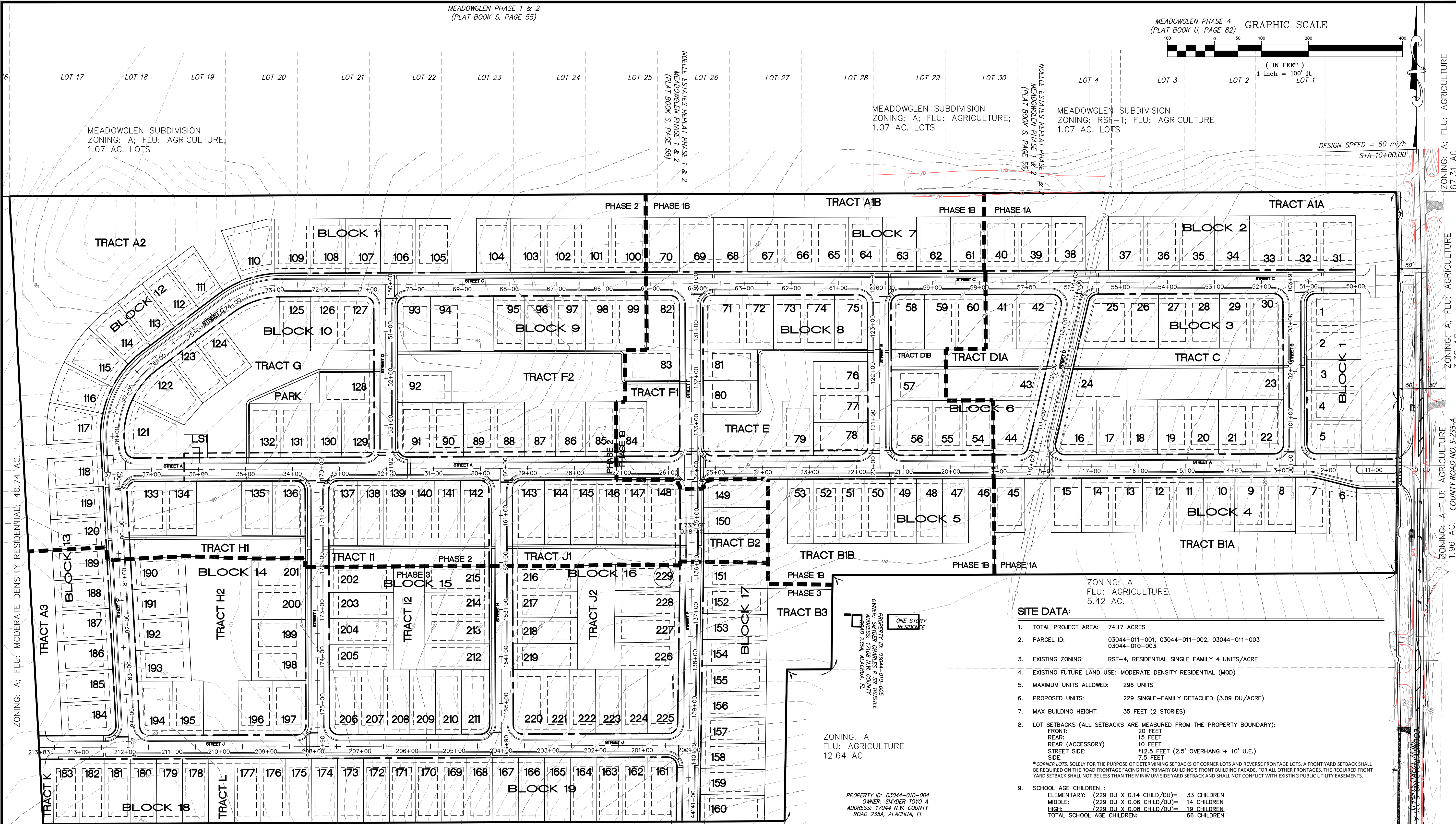


MEADOWGLEN PHASE 1 & 2
(PLAT BOOK S, PAGE 55)

MEADOWGLEN PHASE 4
(PLAT BOOK U, PAGE 82) GRAPHIC SCALE



MEADOWGLEN SUBDIVISION
ZONING: A; FLU: AGRICULTURE;
1.07 AC. LOTS

MEADOWGLEN SUBDIVISION
ZONING: A; FLU: AGRICULTURE;
1.07 AC. LOTS

MEADOWGLEN SUBDIVISION
ZONING: RSF-1; FLU: AGRICULTURE
1.07 AC. LOTS

DESIGN SPEED = 60 mi/h
STA 10+00.00

ZONING: A; FLU: AGRICULTURE
67.31 AC.

ZONING: A; FLU: AGRICULTURE
3.36 AC.

ZONING: A; FLU: AGRICULTURE
1.96 AC. COUNTY ROAD NO. 5-235-A

ZONING: A
FLU: AGRICULTURE
5.42 AC.

ZONING: RMF-8
FLU: MEDIUM DENSITY RESIDENTIAL
38.05 AC.

PROPERTY ID: 03044-010-002
OWNER: FLORIDA TIMBER CO
ADDRESS: NONE

RECREATION AREA CALCULATION:
229 LOTS X 2.5 PERSONS/LOT X 5 ACRES/1,000 PERSONS = 2.86 ACRES

SITE DATA:

- TOTAL PROJECT AREA: 74.17 ACRES
- PARCEL ID: 03044-011-001, 03044-011-002, 03044-011-003, 03044-010-003
- EXISTING ZONING: RSF-4, RESIDENTIAL SINGLE FAMILY 4 UNITS/ACRE
- EXISTING FUTURE LAND USE: MODERATE DENSITY RESIDENTIAL (MOD)
- MAXIMUM UNITS ALLOWED: 296 UNITS
- PROPOSED UNITS: 229 SINGLE-FAMILY DETACHED (3.09 DU/ACRE)
- MAX BUILDING HEIGHT: 35 FEET (2 STORIES)
- LOT SETBACKS (ALL SETBACKS ARE MEASURED FROM THE PROPERTY BOUNDARY):
FRONT: 20 FEET
REAR: 15 FEET
REAR (ACCESSORY): 10 FEET
STREET SIDE: *12.5 FEET (2.5' OVERHANG + 10' U.E.)
SIDE: 7.5 FEET
*CORNER LOTS, SOLELY FOR THE PURPOSE OF DETERMINING SETBACKS OF CORNER LOTS AND REVERSE FRONTAGE LOTS, A FRONT YARD SETBACK SHALL BE REQUIRED ON THE ROAD FRONTAGE FACING THE PRIMARY BUILDING'S FRONT BUILDING FACADE. FOR ALL OTHER FRONTAGES, THE REQUIRED FRONT YARD SETBACK SHALL NOT BE LESS THAN THE MINIMUM SIDE YARD SETBACK AND SHALL NOT CONFLICT WITH EXISTING PUBLIC UTILITY EASEMENTS.
- SCHOOL AGE CHILDREN:
ELEMENTARY: (229 DU X 0.14 CHILD/DU) = 33 CHILDREN
MIDDLE: (229 DU X 0.06 CHILD/DU) = 14 CHILDREN
HIGH: (229 DU X 0.08 CHILD/DU) = 19 CHILDREN
TOTAL SCHOOL AGE CHILDREN: 66 CHILDREN
- THE SUBJECT PROPERTY CONTAINS 0 AC. OF WETLANDS. AREAS ARE SUBJECT TO CHANGE BASED ON SRWMD APPROVAL.
- PER FEMA FIRM PANEL NO. 12001C0110D AND 12001C0120D, DATED JUNE 16, 2006, THE SUBJECT PROPERTY IS DESIGNATED ZONE X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
- WATER AND SEWER SERVICE WILL BE PROVIDED BY THE CITY OF ALACHUA.
- NO RECLAIMED WATER SERVICE IS AVAILABLE.
- UTILITY EASEMENTS DEDICATED TO THE CITY OF ALACHUA SHALL BE PROVIDED OVER ALL WATER MAINS AND FORCE MAINS LOCATED OUTSIDE THE PUBLIC RIGHT OF WAY.
- ALL UTILITY LINES WILL BE DESIGNED TO MEET THE CITY OF ALACHUA REQUIREMENTS.
- THE PROPOSED ROADS WILL BE PUBLIC. ROADS ARE DESIGNED TO STREET TYPE STANDARD B PER LDC 7.3.1(A)(2).
- THE STORMWATER SYSTEM WILL BE DESIGNED TO MEET THE CITY OF ALACHUA AND SRWMD REQUIREMENTS.
- FIRE PROTECTION WILL BE PROVIDED AND DESIGNED IN ACCORDANCE WITH ALL APPLICABLE CITY OF ALACHUA CODES AND REGULATIONS.
- A MANDATORY HOMEOWNERS ASSOCIATION SHALL BE CREATED TO PROVIDE FOR MANAGEMENT OF ALL COMMON AREAS AND FACILITIES AND WILL BE RESPONSIBLE FOR THE STORMWATER SYSTEM INCLUDING THE TRANSFER PIPING INSTALLED UNDER ROADS.
- PROJECT SIGNAGE WILL COMPLY WITH THE CITY OF ALACHUA LAND DEVELOPMENT CODE.
- PROJECT TO BE CONSTRUCTED IN FOUR PHASES.
- NO CHAMPION, HERITAGE OR REGULATED TREES EXIST ON SITE. A TREE SURVEY IN ACCORDANCE WITH SECTION 6.2.1(G) IS NOT REQUIRED.
- ELECTRIC SERVICE WILL BE PROVIDED BY CLAY ELECTRIC IN 10 FOOT PUBLIC UTILITY EASEMENTS.

PROPERTY ID: 03044-010-005
OWNER: SWYDER CHARLES & SR TRUSTEE
ADDRESS: 2704 N.W. COUNTY ROAD 235A, ALACHUA, FL

PROPERTY ID: 03044-010-004
OWNER: SWYDER TOYO A
ADDRESS: 17044 N.W. COUNTY ROAD 235A, ALACHUA, FL

SPRUCE CREEK
Civil Engineering, Inc.
1982 STATE ROAD 44
SUITE 360
NEW SMYRNA BEACH, FLORIDA 32168
(407) 325-5575

OVERALL SITE PLAN
FOR
BRIARWOOD SUBDIVISION
CITY OF ALACHUA, FLORIDA

CLIENT:
TRON DEVELOPMENT, LLC
405 CINNAMON OAK CT.
LAKE MARY, FL 32746
(407) 756-0058

ENGINEER IN CHARGE:
DAVID F. GLUNT, P.E. #57459
CERTIFICATE OF AUTHORIZATION NO. 33151

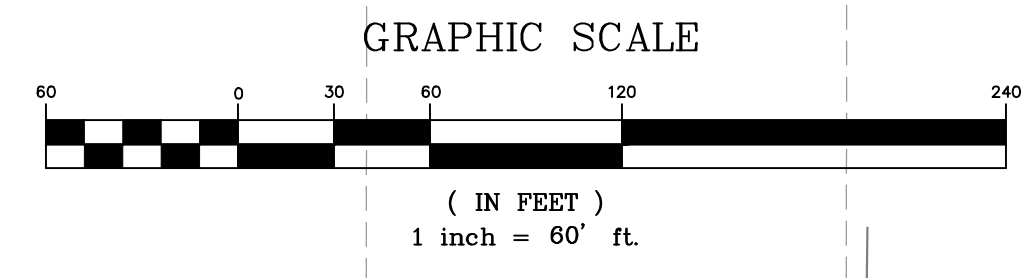
NO.	DATE	REVISIONS
1	06/30/19	PER CITY COMMENTS DATE 6/29/19
2	09/19/19	REVISION PER CITY COMMENTS DATE 9/17/19
3	10/27/19	REVISION LOT WIDTHS IN BLOCKS 2, 3, 11, 15 AND 16
4		
5		
6		
7		
8		
9		
10		
11		

JOB # 2019-001
DATE: 06/30/19
SCALE: 1" = 100'
DESIGNED BY: DFG
DRAWN BY: DFG
APPROVED BY: DFG

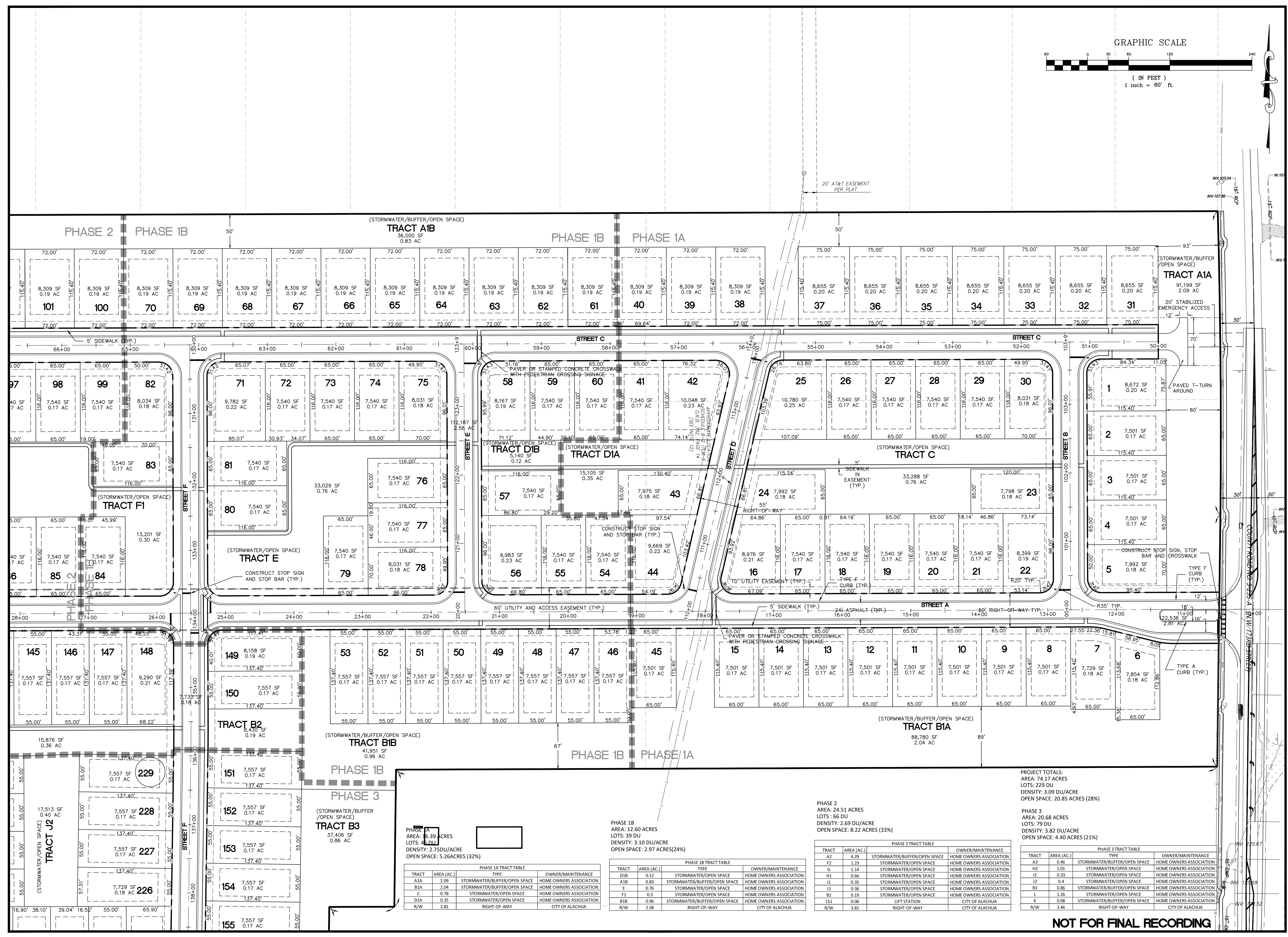
C-002

NOT FOR FINAL RECORDING

C:\Projects\Benton Hills\Drawings\Sheets\Site PLAN_OVERALL.dwg Oct 22, 2019-10:33:41 am



NO.	DATE	REVISIONS
1	08/05/19	REVISED PER CITY COMMENTS DATED 8/20/19
2	09/17/19	REVISED PER CITY COMMENTS DATED 09/17/19
3	09/20/19	REVISED PER CITY COMMENTS DATED 09/20/19
4	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16
5	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16
6	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16
7	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16
8	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16
9	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16
10	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16
11	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16



PHASE 1A TRACT TABLE

TRACT	AREA (AC.)	TYPE	OWNER/MAINTENANCE
A1A	2.09	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
B1A	2.04	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
C	0.78	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
D1A	0.35	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
R/W	2.81	RIGHT-OF-WAY	CITY OF ALACHUA

PHASE 1B TRACT TABLE

TRACT	AREA (AC.)	TYPE	OWNER/MAINTENANCE
D1B	0.12	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
A1B	0.83	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
E	0.76	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
F1	0.3	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
B1B	0.96	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
R/W	2.58	RIGHT-OF-WAY	CITY OF ALACHUA

PHASE 2 TRACT TABLE

TRACT	AREA (AC.)	TYPE	OWNER/MAINTENANCE
A2	4.29	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
F2	1.23	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
G	1.14	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
H1	0.66	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
I1	0.35	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
J1	0.36	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
B2	0.19	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
L51	0.06	LIFT STATION	CITY OF ALACHUA
R/W	3.81	RIGHT-OF-WAY	CITY OF ALACHUA

PROJECT TOTALS:
AREA: 74.17 ACRES
LOTS: 229 DU
DENSITY: 3.09 DU/ACRE
OPEN SPACE: 20.85 ACRES (28%)

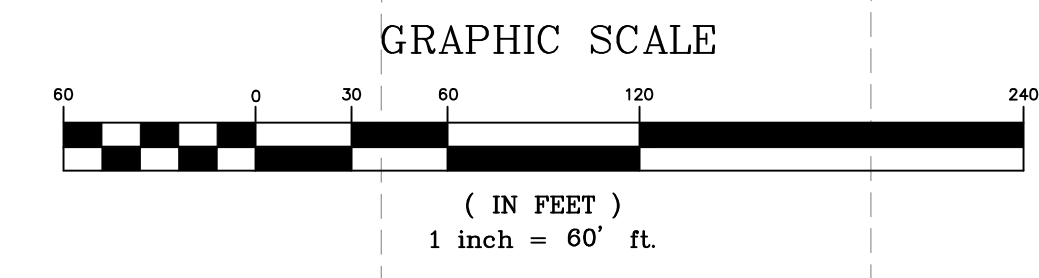
PHASE 3 TRACT TABLE

TRACT	AREA (AC.)	TYPE	OWNER/MAINTENANCE
A3	0.46	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
H2	1.01	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
I2	0.33	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
J2	0.4	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
B3	0.86	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
L	1.26	STORMWATER/OPEN SPACE	HOME OWNERS ASSOCIATION
K	0.08	STORMWATER/BUFFER/OPEN SPACE	HOME OWNERS ASSOCIATION
R/W	3.46	RIGHT-OF-WAY	CITY OF ALACHUA

PHASE 3 AREA: 24.51 ACRES
LOTS: 66 DU
DENSITY: 2.69 DU/ACRE
OPEN SPACE: 8.22 ACRES (33%)

PHASE 3 AREA: 20.68 ACRES
LOTS: 79 DU
DENSITY: 3.82 DU/ACRE
OPEN SPACE: 4.40 ACRES (21%)

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SPRUCE CREEK
 Civil Engineering, Inc.
 1982 STATE ROAD 44
 SUITE 360
 NEW SMYRNA BEACH, FLORIDA 32168
 (407) 325-5575

BRIARWOOD SUBDIVISION
 CITY OF ALACHUA, FLORIDA

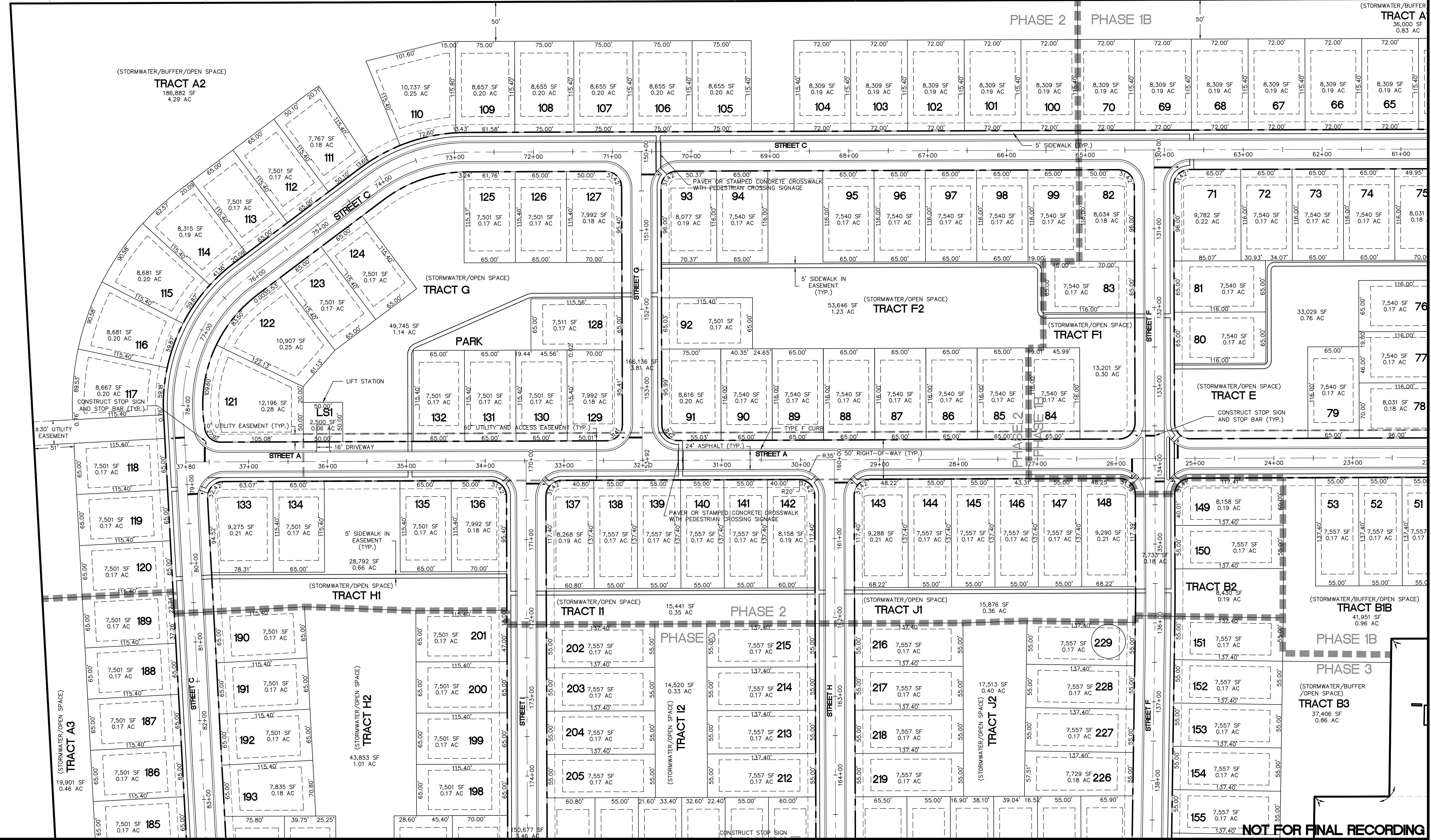
CLIENT: **TROON DEVELOPMENT, LLC**
 405 CINNAMON OAK CT.
 LAKE MARY, FL 32746
 (407) 756-0058

ENGINEER IN CHARGE: **DAVID F. GLUNT, P.E. #57459**
 CERTIFICATE OF AUTHORIZATION NO. 33151

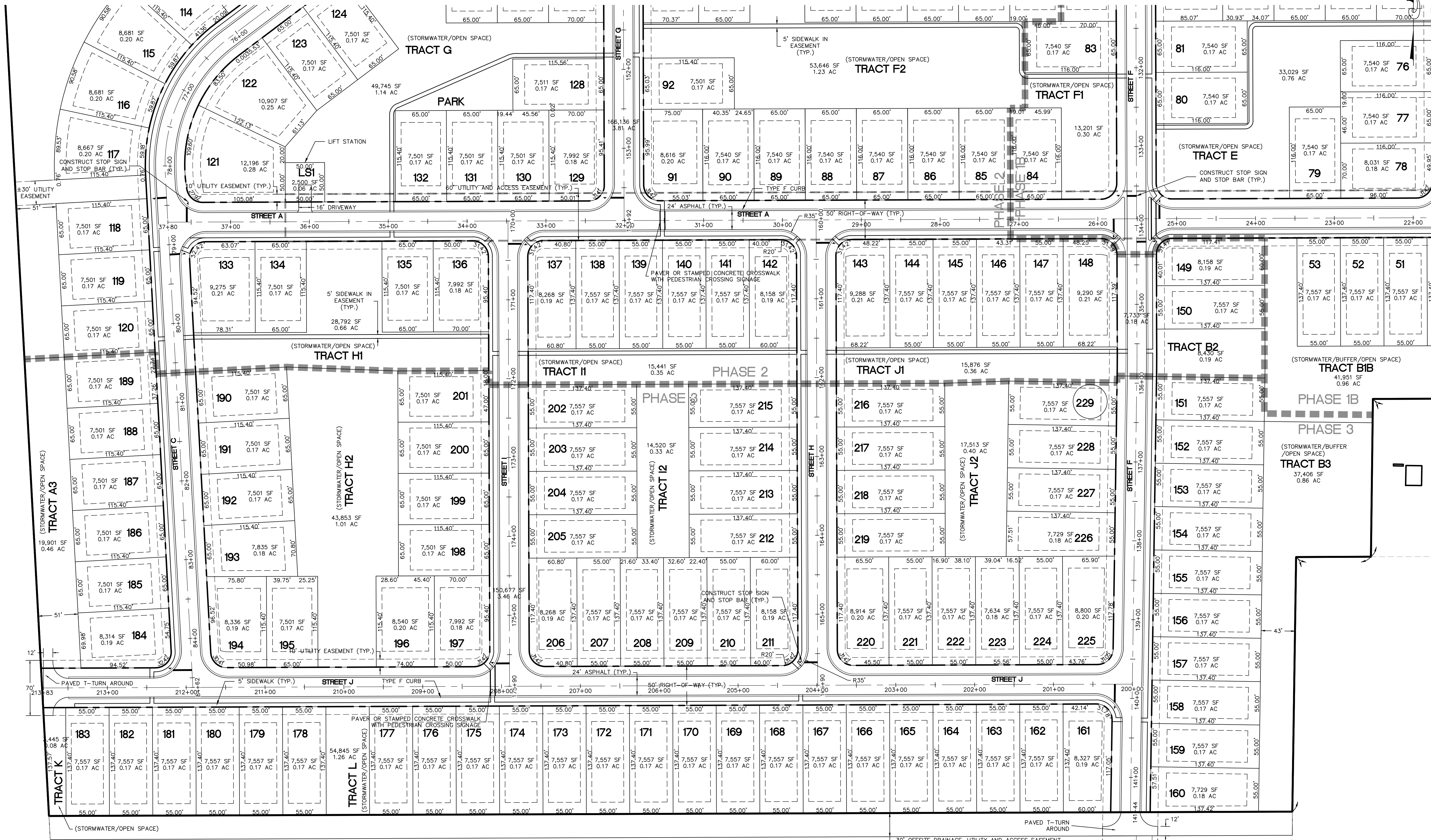
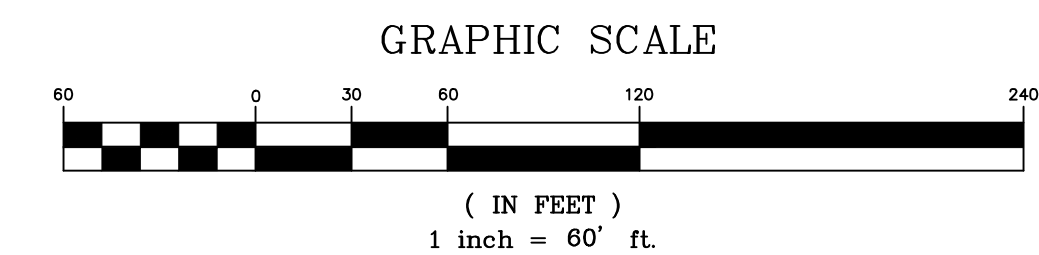
NO.	DATE	REVISIONS
1	08/20/19	PER CITY COMMENTS DATED 08/20/19
2	09/17/19	REVISED CROSSWALKS
3	09/19/19	REVISED PER CITY COMMENTS DATED 09/17/19
4	10/21/19	REVISED LOT WIDTHS IN BLOCKS 2, 7, 11, 15, AND 16

JOB # 2019-001
 DATE: 06/30/19
 SCALE: 1" = 50'
 DESIGNED BY: DFG
 DRAWN BY: DFG
 APPROVED BY: DFG

C-004



NOT FOR FINAL RECORDING



SPRUCE CREEK
Civil Engineering, Inc.
1982 STATE ROAD 44
SUITE 360
NEW SMYRNA BEACH, FLORIDA 32168
(407) 325-5575

SITE PLAN
FOR
BRIARWOOD SUBDIVISION
FLORIDA
CITY OF ALACHUA

CLIENT:
TRON DEVELOPMENT, LLC
405 CANNON OAK CT.
LAKE MARY, FL 32746
(407) 756-0058

ENGINEER IN CHARGE:
DAVID F. GLUNT, P.E. #57459
CERTIFICATE OF AUTHORIZATION NO. 33151

NO.	REVISIONS	DATE
1	ISSUE PERMITS PER CITY COMMENTS DATED 09/22/19	
2	09/19/19 REVISIONS PER CITY COMMENTS DATE 09/17/19	
3	09/19/19 REVISIONS PER CITY COMMENTS DATE 09/17/19	
4	10/21/19 REVISIONS PER CITY COMMENTS DATE 10/11/19	
5	10/21/19 REVISIONS PER CITY COMMENTS DATE 10/11/19	
6	10/21/19 REVISIONS PER CITY COMMENTS DATE 10/11/19	
7	10/21/19 REVISIONS PER CITY COMMENTS DATE 10/11/19	
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9	10/21/19 REVISIONS PER CITY COMMENTS DATE 10/11/19	
10	10/21/19 REVISIONS PER CITY COMMENTS DATE 10/11/19	
11	10/21/19 REVISIONS PER CITY COMMENTS DATE 10/11/19	

JOB # 2019-001
DATE: 06/30/19
SCALE: 1" = 50'
DESIGNED BY: DFG
DRAWN BY: DFG
APPROVED BY: DFG

C-005

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