

Test: bryang Plot Date: Aug 05,2019 11:33am Filename: \\A:\2018\18-0421\Engineering\DWG\Production Files\18-0421 Production Files\18-0421.dwg

SERVICE ENTRANCE PANELBOARD SCHEDULE PBD. NO. P1									
FOR 208/120 VOLT, SINGLE-PHASE, 3-WIRE SERVICE. FURNISH ALL SPARE BREAKERS. PROVIDE GROUND BAR, 22,000 AIR SYMMETRICAL, 100 AMP MAIN BREAKER WITH FULLY RATED BRANCH BREAKERS FOR 22K AIR APPLICATION.									
SERVING	WIRE	BREAKER	OR	CONNECTED	OR	BREAKER	WIRE	SERVING	
	HOT	NEUT/GRD	AMP	POLES	NO	POLES	AMP	HOT	
TIME CLOCK	12	12	12	20	1	1	100	2	
LIGHTING (6002VA)	8	8	20	2	3	3	372	4	
	5							6	
LIGHTING (10062VA)	8	8	20	2	7	7	620	8	
	9							10	
	11							12	
	13							14	
	15							16	
	17							18	
	19							20	
	21							22	
	23							24	
	25							26	
	27							28	
	29							30	

LIGHTING 992 X 1.25
TIME CLOCK
PANEL TOTAL

1,240 VA
100 VA
1,340 VA (6 AMPS)
PROVIDE 100 AMP SERVICE

SERVICE ENTRANCE PANELBOARD SCHEDULE PBD. NO. P2									
FOR 208/120 VOLT, SINGLE-PHASE, 3-WIRE SERVICE. FURNISH ALL SPARE BREAKERS. PROVIDE GROUND BAR, 22,000 AIR SYMMETRICAL, 100 AMP MAIN BREAKER WITH FULLY RATED BRANCH BREAKERS FOR 22K AIR APPLICATION.									
SERVING	WIRE	BREAKER	OR	CONNECTED	OR	BREAKER	WIRE	SERVING	
	HOT	NEUT/GRD	AMP	POLES	NO	POLES	AMP	HOT	
TIME CLOCK	12	12	12	20	1	1	100	2	
LIGHTING (6002VA)	8	8	20	2	3	3	372	4	
	5							6	
LIGHTING (40062VA)	8	8	20	2	7	7	248	8	
	9							10	
	11							12	
	13							14	
	15							16	
	17							18	
	19							20	
	21							22	
	23							24	
	25							26	
	27							28	
	29							30	

LIGHTING 620 X 1.25
TIME CLOCK
PANEL TOTAL

775 VA
100 VA
875 VA (4 AMPS)
PROVIDE 100 AMP SERVICE

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	Total Lamp Lumens	LLF	Description
	26	T3	SINGLE	6715	N.A.	1.0	Signify ECF-S-32L-530-NW-G2-SF-3-UNV-FP2 208-BK
Filename							
ECF-S-32L-530-NW-G2-3.ies							

Area	CalcType	Units	Max	Min	Max/Min	Description
PARKING AREAS AND DRIVES	Illuminance	Fc	4.6	0.5	9.2:1	readings taken at grade
ENTIRE SITE	Illuminance	Fc	4.6	0.0	N/A	readings taken at grade

WILLIAM T. STORMANT PE
ELECTRICAL ENGINEER
5304 NW 173 STREET
ALACHUA, FLORIDA 32615
STORMANTWT@COX.NET
(352) 665-1426

VERIFY SCALE
BASED ON THE
ORIGINAL DRAWING
0 INCHES = 1 FOOT
IF NOT SHOWN, ADJUST
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

SCALE

CONSTRUCTION/BD RELEASE

DATE: 06/27/19 CITY OF ALACHUA, SRWMD, & FDOT

CLIENT: NATURAL VALLEY HARVEST LTD
PROJECT: THE GOLF PLAZA

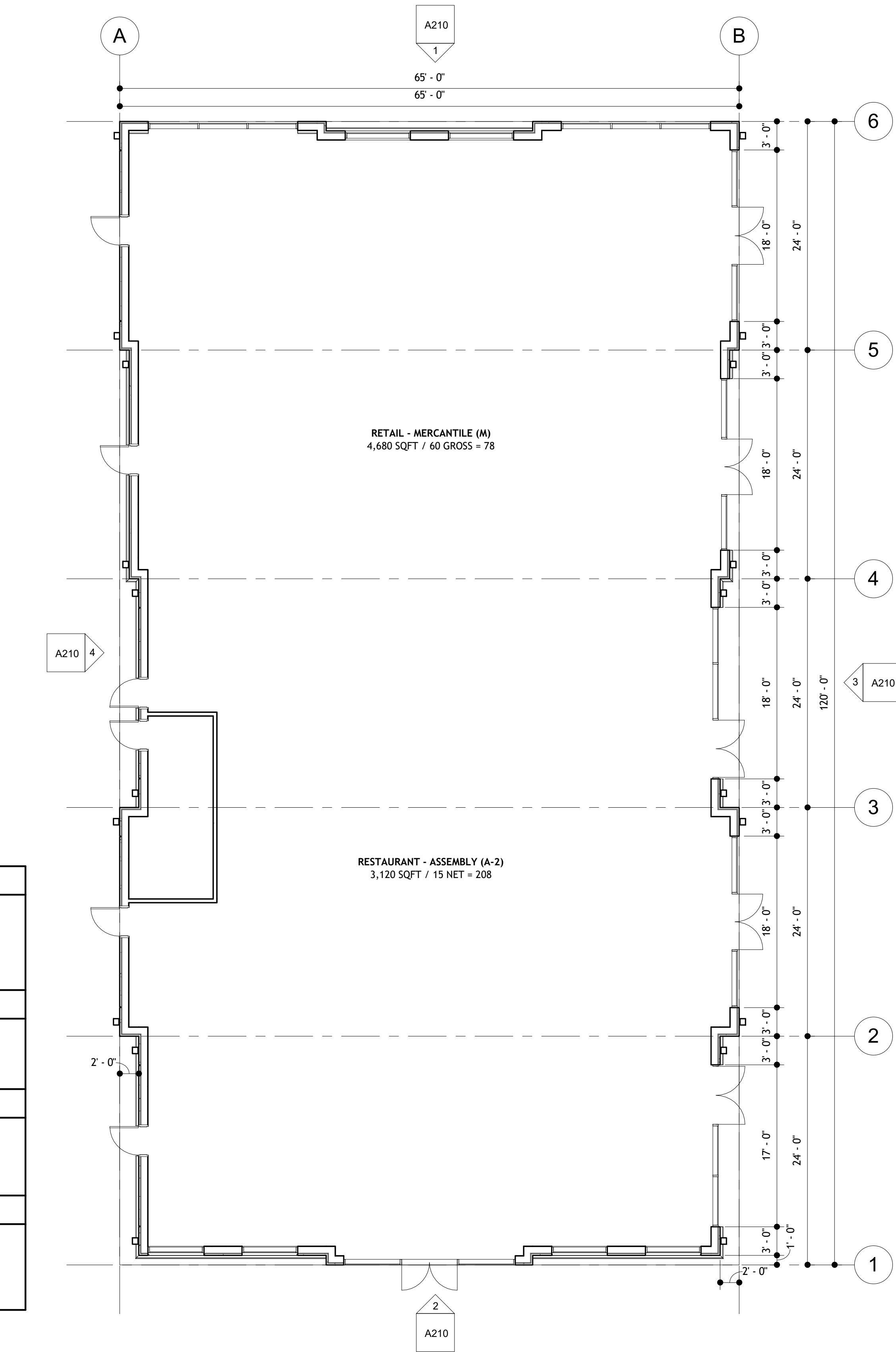
DESIGNED BY: E. GILLESPIE
DRAWN BY: W. STORMANT
QUALITY CONTROL: W. STORMANT
PROJECT NUMBER: 18-0431

WILLIAM T. STORMANT

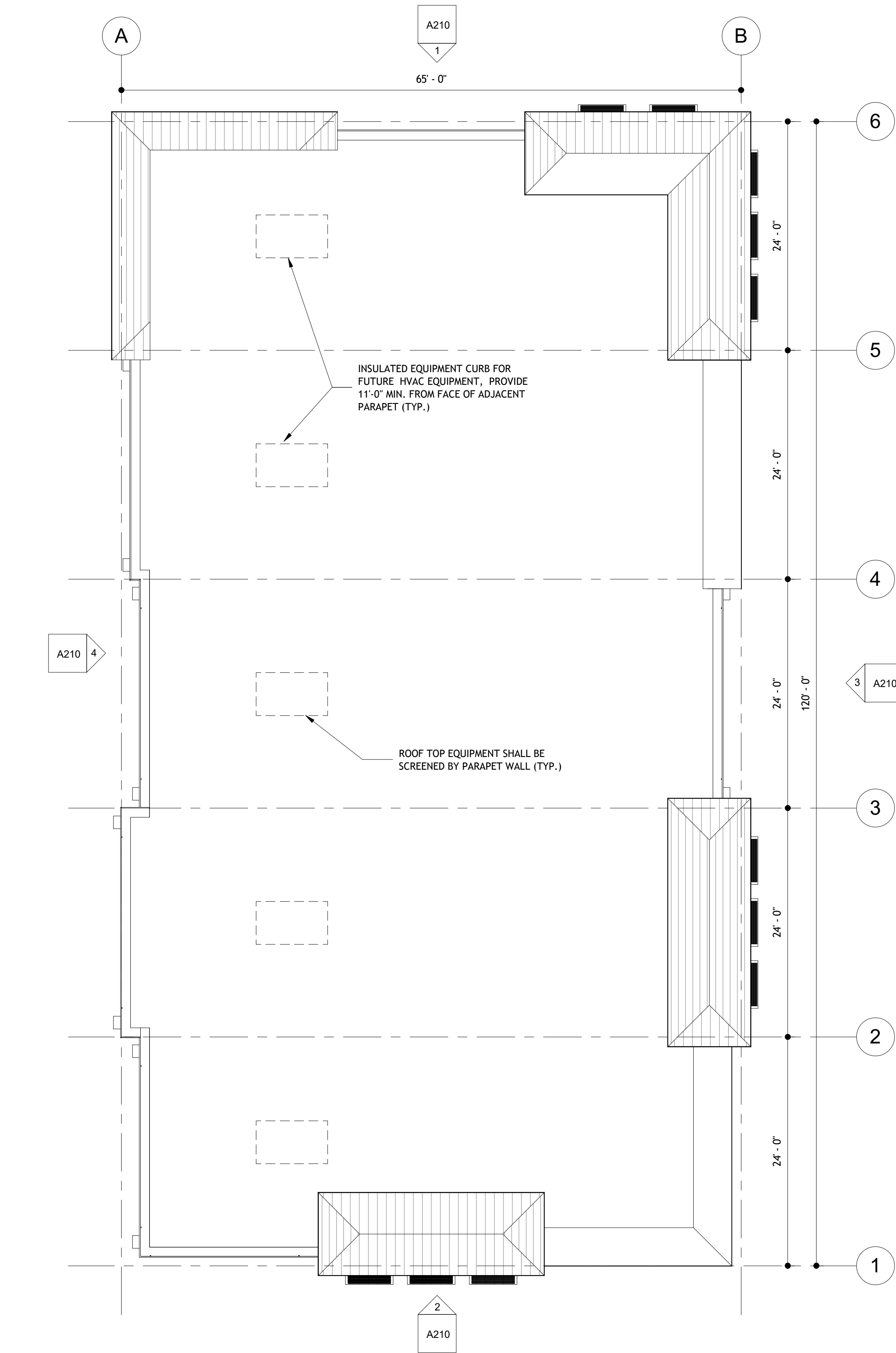
FL PE No. 44156
SHEET NO:

E3

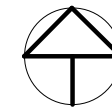
BUILDING CODE SUMMARY:	
OCCUPANCY CLASSIFICATION	OCCUPANCY = ASSEMBLY (A-2) AND MERCANTILE (M)
EXISTING CONSTRUCTION TYPE	BUILDING TYPE = TYPE II B
FIRE SUPPRESSION SYSTEM	SPRINKLERED
PORTABLE FIRE EXTINGUISHERS	PROVIDE 75 FT. MAX.
PROJECT SQUARE FOOTAGE	
MERCANTILE	4,680 SQFT
ASSEMBLY (A-2)	3,120 SQFT
TOTAL PROJECT AREA = 7,800 SQFT	
OCCUPANT LOAD	
MERCANTILE	4,680 SQFT / 60 GROSS = 78
ASSEMBLY (A-2)	3,120 SQFT / 15 NET = 208
TOTAL 1ST FLOOR OCC. LOAD = 286	
EGRESS REQUIREMENTS	
MINIMUM CORRIDOR WIDTH	286 OCC. X 0.2 INCH = 57.2 (44" MIN.)
MAXIMUM TRAVEL DISTANCE	250' (SPRINKLERED)
COMMON PATH OF TRAVEL	75' (SPRINKLERED)
MAXIMUM DEAD END CORRIDOR	20' (SPRINKLERED)



1 ARCHITECTURAL FLOOR PLAN
1/8" = 1'-0"



2 ARCHITECTURAL ROOF PLAN
1/8" = 1'-0"



STUDIO MJG, LLC
5206 SW 91ST TERRACE, SUITE A
GAINESVILLE, FLORIDA 32608
WWW.STUDIOMJG.COM

Golf Plaza Commercial Development - Bldgs - 1, 2 & 3

Enter address here

Design Development

Michael J. Gilfilen
AR94453

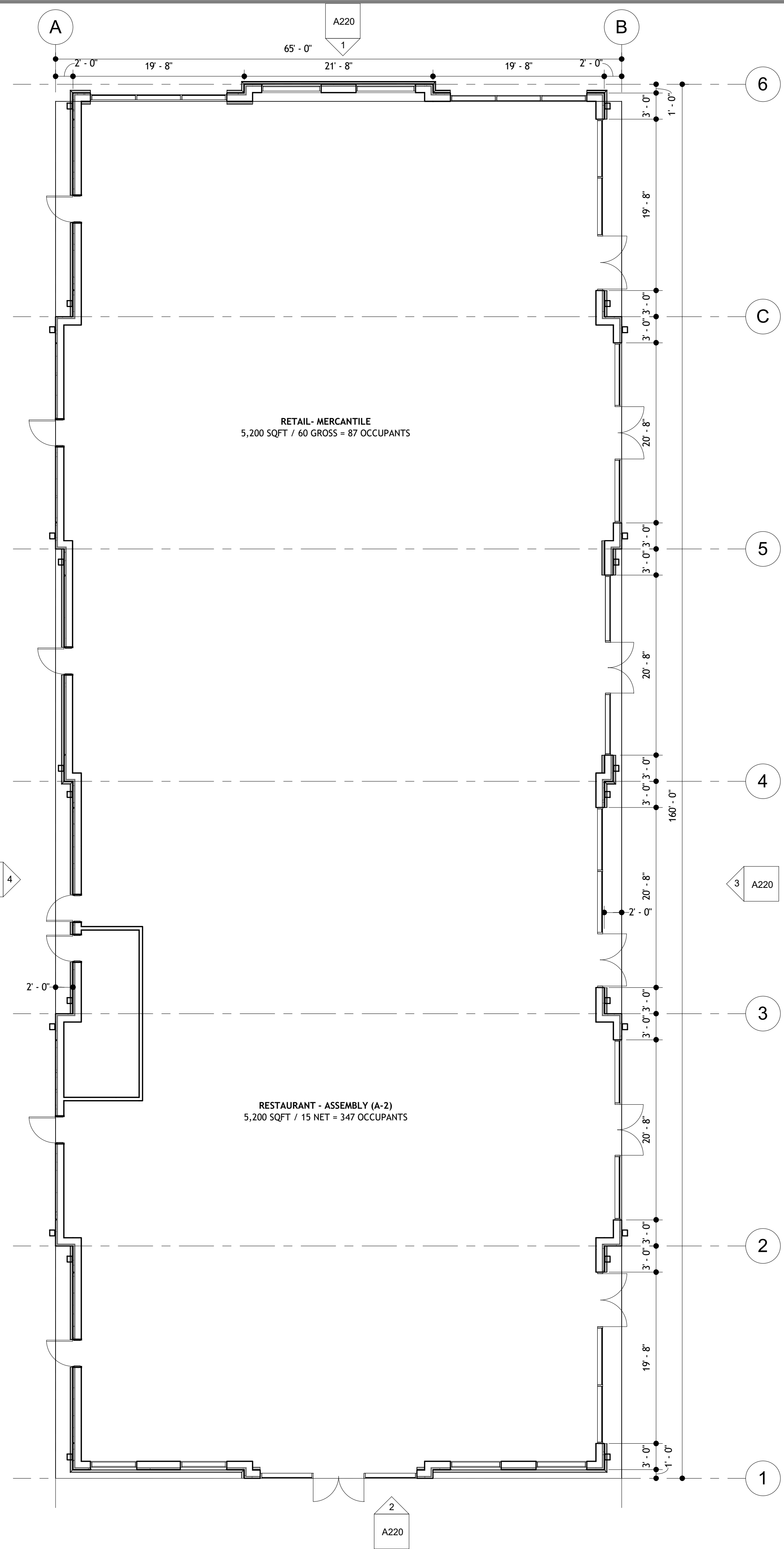
No.	DESCRIPTION	DATE

PROJECT NUMBER:	19018
ISSUE DATE:	20 SEPTEMBER 2019
CREATED BY:	MJG
CHECKED BY:	CCG

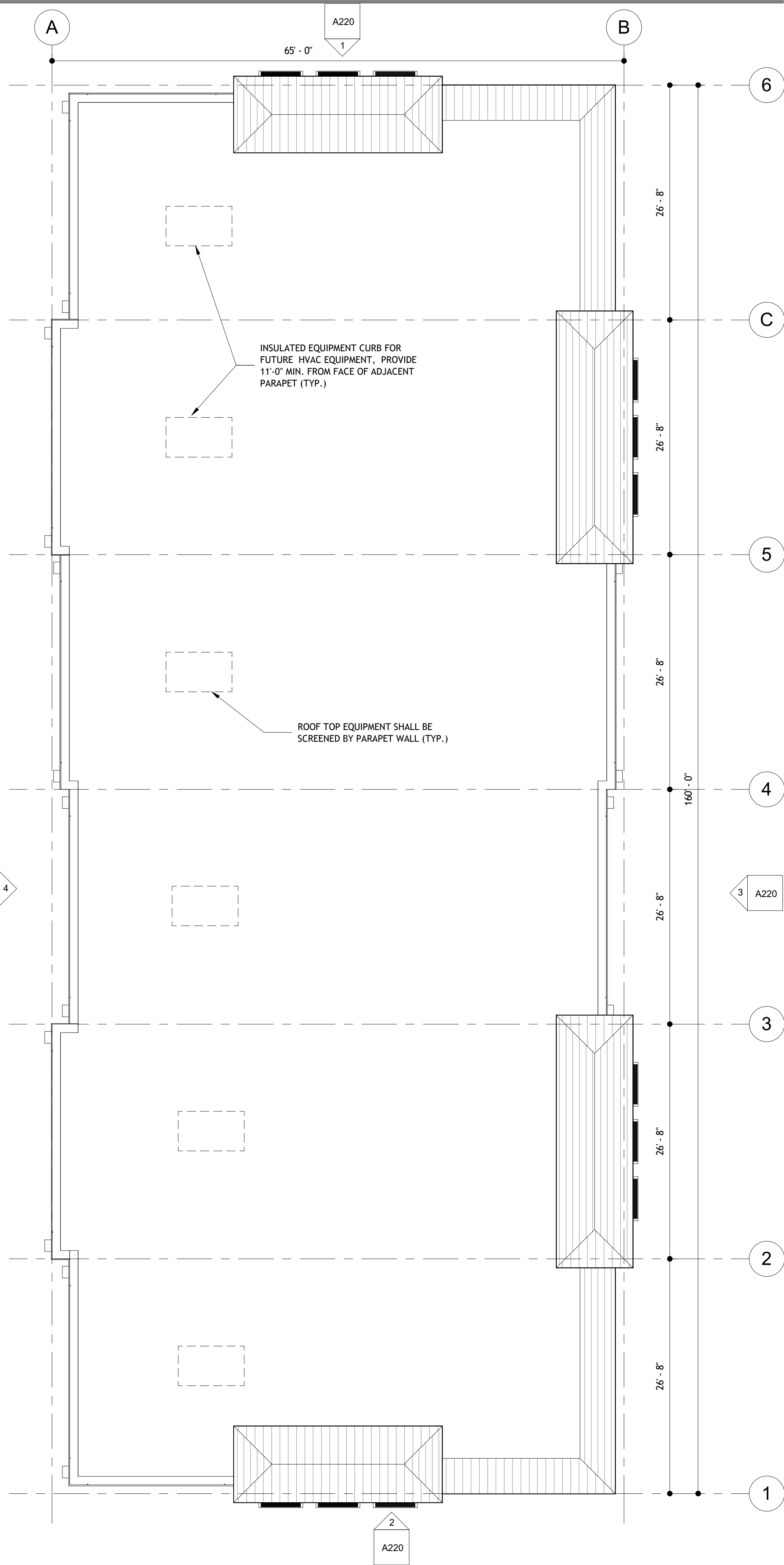
A110

ARCHITECTURAL
FLOOR AND ROOF
PLAN

BUILDING CODE SUMMARY:	
OCCUPANCY CLASSIFICATION	OCCUPANCY = ASSEMBLY (A-2) AND MERCANTILE (M)
EXISTING CONSTRUCTION TYPE	BUILDING TYPE = TYPE II B
FIRE SUPPRESSION SYSTEM	SPRINKLERED
PORTABLE FIRE EXTINGUISHERS	PROVIDE 75 FT. MAX.
PROJECT SQUARE FOOTAGE	
ASSEMBLY (A-2)	5,200 SQFT
MERCANTILE (M)	5,200 SQFT
TOTAL PROJECT AREA = 10,400 SQFT	
OCCUPANT LOAD	
ASSEMBLY (A-2)	5,200 SQFT / 15 NET = 347
MERCANTILE (M)	5,200 SQFT / 60 GROSS = 87
TOTAL OCCUPANT LOAD = 434 TOTAL OCCUPANTS	
EGRESS REQUIREMENTS	
MINIMUM CORRIDOR WIDTH	434 OCC. X 0.2 INCH = 86.8 (44" MIN.)
MAXIMUM TRAVEL DISTANCE	250' (SPRINKLERED)
COMMON PATH OF TRAVEL	100' (SPRINKLERED)
MAXIMUM DEAD END CORRIDOR	20' (SPRINKLERED)



① ARCHITECTURAL FLOOR PLAN
1/8" = 1'-0"



② ARCHITECTURAL ROOF PLAN
1/8" = 1'-0"



STUDIO MJG, LLC
5206 SW 91ST TERRACE, SUITE A
GAINESVILLE, FLORIDA 32608
WWW.STUDIOMJG.COM

Golf Plaza Commercial Development - Bldg-2

Enter address here

Design Development

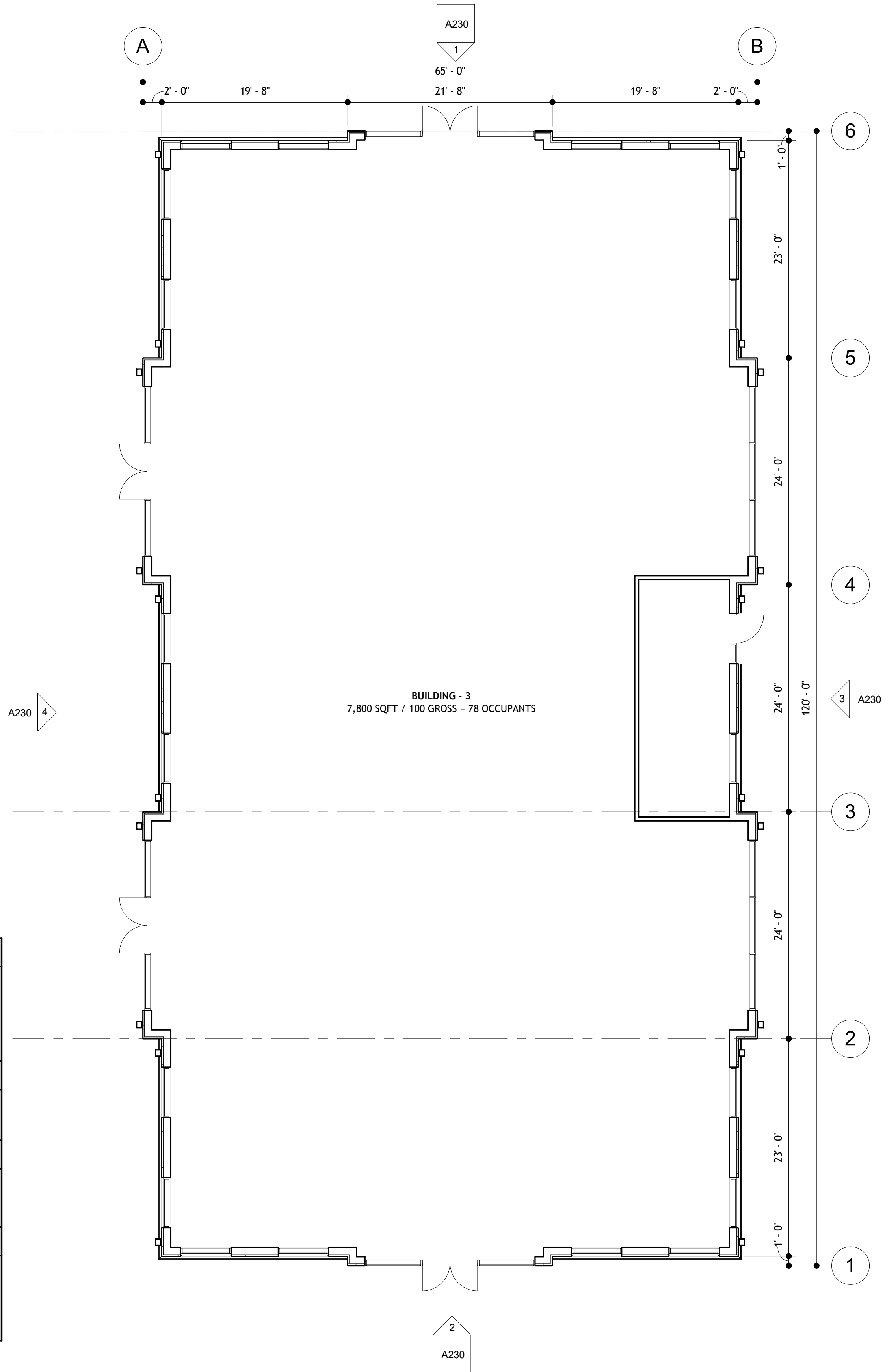
Michael J. Gilfilen
AR94453

No.	DESCRIPTION	DATE

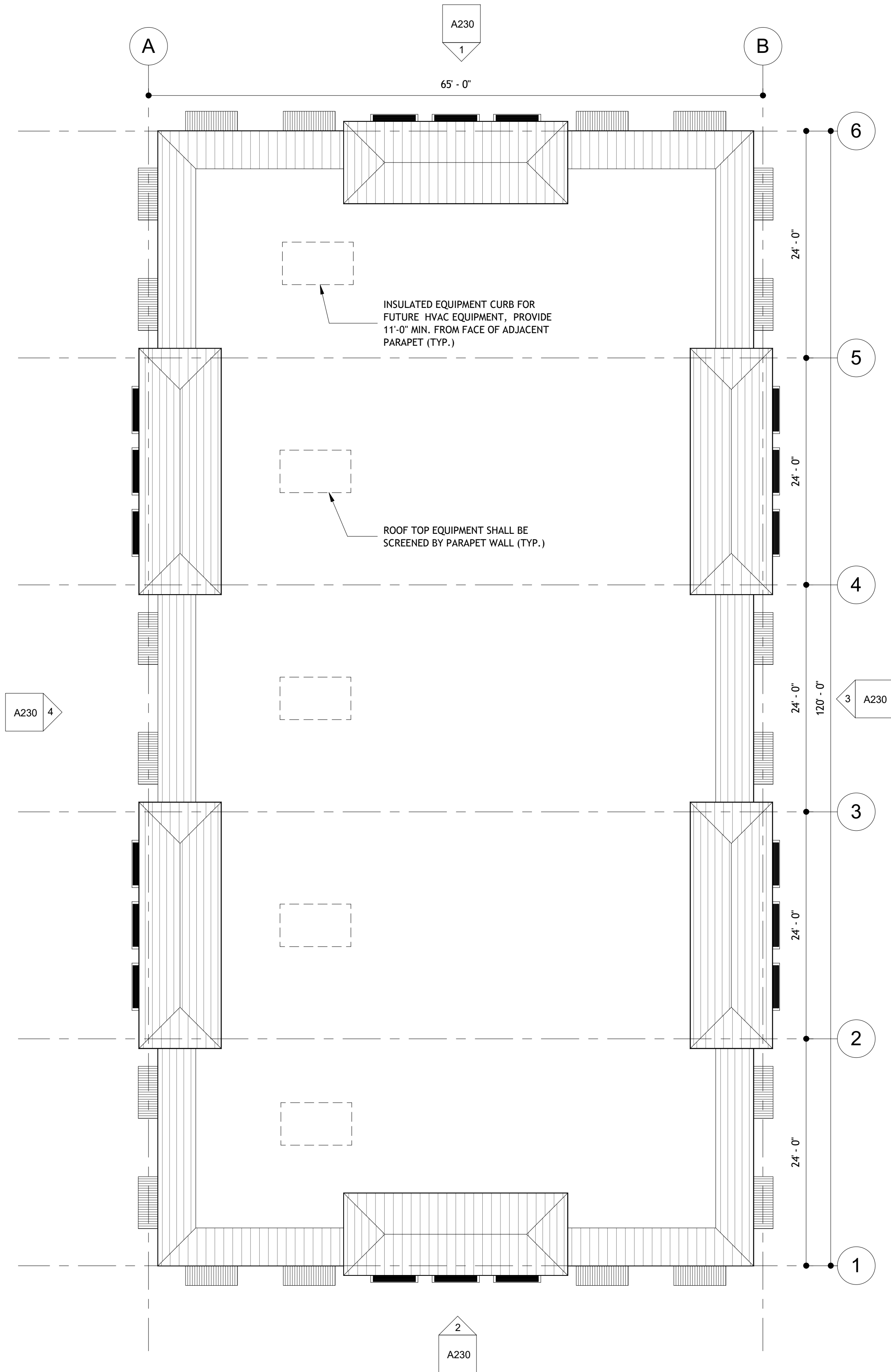
PROJECT NUMBER: 19018
ISSUE DATE: 20 SEPTEMBER 2019
CREATED BY: MJG
CHECKED BY: CCG

A120
ARCHITECTURAL
FLOOR AND ROOF
PLAN

BUILDING CODE SUMMARY:	
OCCUPANCY CLASSIFICATION	OCCUPANCY = B
EXISTING CONSTRUCTION TYPE	BUILDING TYPE = TYPE II B
FIRE SUPPRESSION SYSTEM	SPRINKLERED
PORTABLE FIRE EXTINGUISHERS	PROVIDE 75 FT. MAX.
PROJECT SQUARE FOOTAGE	
BUILDING - 3	7,800 SQFT
TOTAL PROJECT AREA = 7,800 SQFT	
OCCUPANT LOAD	
LOBBY RENOVATION	"B" BUSINESS 7,800/ 100 = 78
TOTAL OCCUPANT LOAD = 78	
FIRST FLOOR EGRESS REQUIREMENTS	
MINIMUM CORRIDOR WIDTH	78 OCC. X 0.2 INCH = 15.6(44" MIN.)
MAXIMUM TRAVEL DISTANCE	300' (SPRINKLERED)
COMMON PATH OF TRAVEL	100' (SPRINKLERED)
MAXIMUM DEAD END CORRIDOR	50' (SPRINKLERED)



1 ARCHITECTURAL FLOOR PLAN
1/8" = 1'-0"



2 ARCHITECTURAL ROOF PLAN
1/8" = 1'-0"



STUDIO MJG, LLC
5206 SW 91ST TERRACE, SUITE A
GAINESVILLE, FLORIDA 32608
WWW.STUDIOMJG.COM

Golf Plaza Commercial Development - Bldg-3

Enter address here

Design Development

Michael J. Gilfilen
AR94453

No.	DESCRIPTION	DATE

PROJECT NUMBER:	19018
ISSUE DATE:	20 SEPTEMBER 2019
CREATED BY:	MJG
CHECKED BY:	CCG

A130

ARCHITECTURAL
FLOOR AND ROOF
PLAN



STUDIO M&G, LLC
5206 SW 91ST TERRACE, SUITE A
GAINESVILLE, FLORIDA 32608
WWW.STUDIOM&G.COM

Golf Plaza Commercial Development - Bldgs - 1, 2 & 3

Enter address here

Design Development

Michael J. Gilfilen
AR94453

No.	DESCRIPTION	DATE

PROJECT NUMBER: 19018
ISSUE DATE: 20 SEPTEMBER 2019
CREATED BY: MJG
CHECKED BY: CCG

A210
ARCHITECTURAL
EXTERIOR
ELEVATIONS

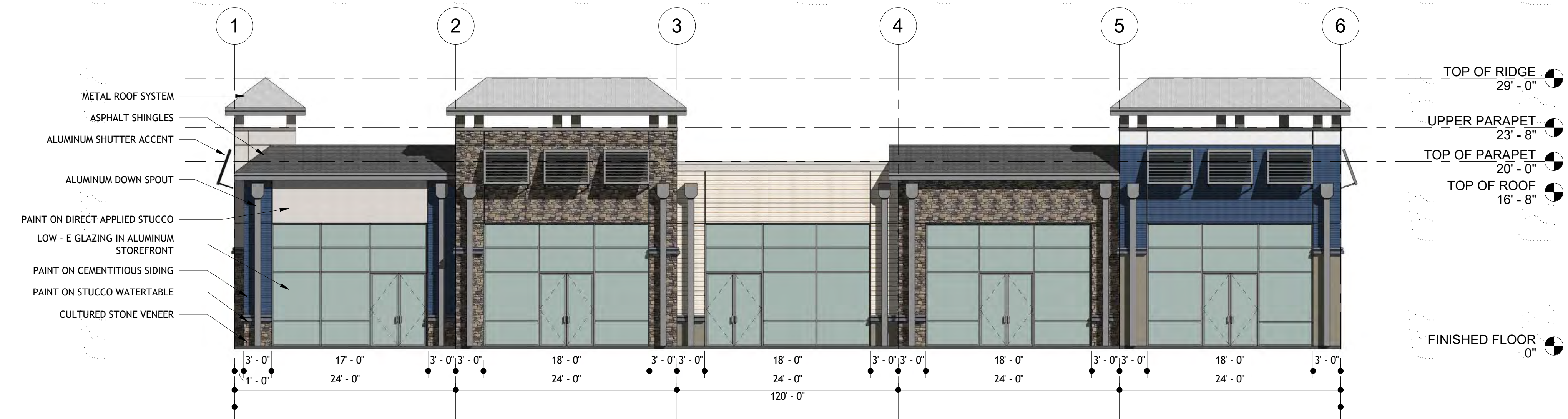
10/3/2019 10:35:44 AM



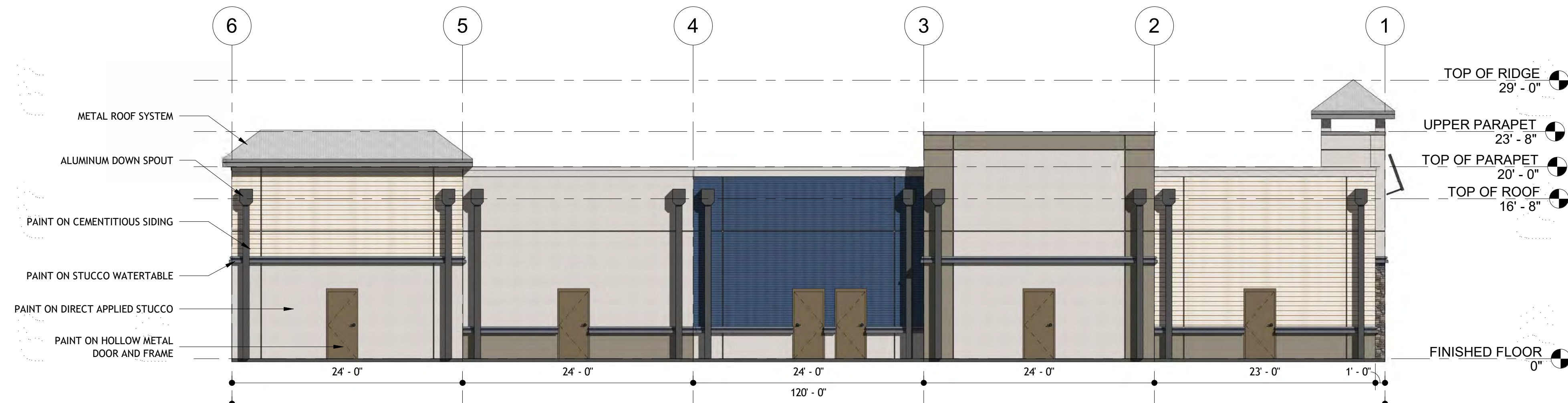
1 NORTH ELEVATION BUILDING - 1
1/8" = 1'-0"



2 SOUTH ELEVATION BUILDING - 1
1/8" = 1'-0"

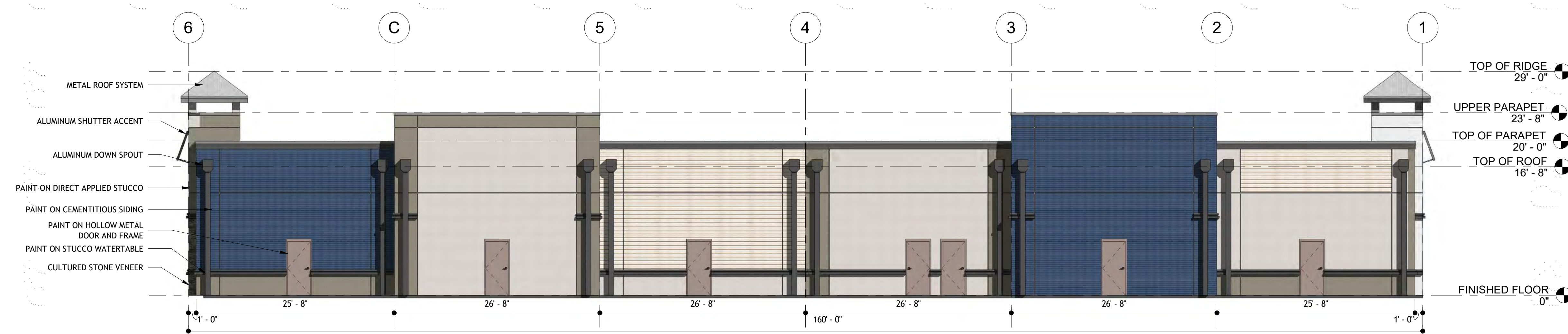
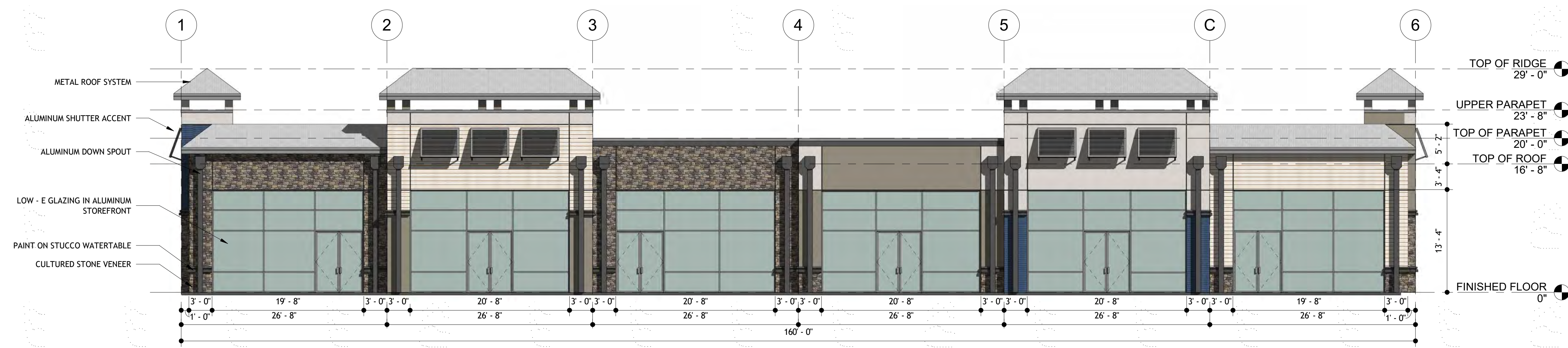


3 EAST ELEVATION BUILDING - 1
1/8" = 1'-0"

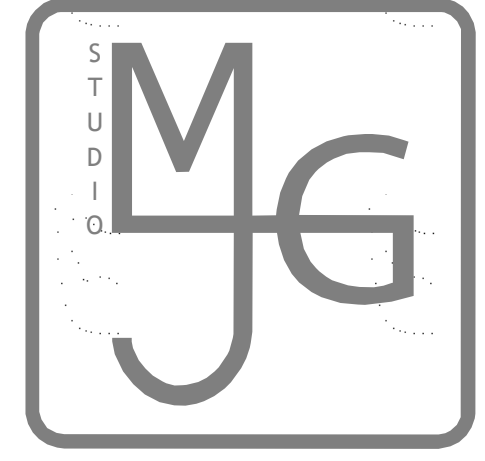


4 WEST ELEVATION BUILDING - 1
1/8" = 1'-0"

GLAZING LEGEND				
ELEVATION	WALL AREA	GLAZING AREA	REQUIRED %	PROVIDED %
NORTH ELEVATION	1,379	554	20 %	40 %
WEST ELEVATION	1,344	476	20 %	35 %
SOUTH ELEVATION	2,478	1,186	20 %	48 %



GLAZING LEGEND				
ELEVATION	WALL AREA	GLAZING AREA	REQUIRED %	PROVIDED %
NORTH ELEVATION	1,344	354	20 %	26 %
WEST ELEVATION			N/A	
SOUTH ELEVATION	1,344	452	20 %	34 %
EAST ELEVATION	3,289	1,628	20 %	49 %



STUDIO MJG, LLC
5206 SW 91ST TERRACE, SUITE A
GAINESVILLE, FLORIDA 32608
WWW.STUDIOMJG.COM

Golf Plaza Commercial Development - Bldg-2

Enter address here

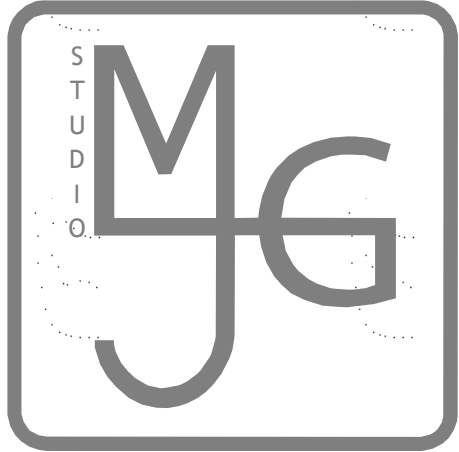
Design Development

Michael J. Gilfilen
AR94453

No.	DESCRIPTION	DATE

PROJECT NUMBER: 19018
ISSUE DATE: 20 SEPTEMBER 2019
CREATED BY: MJG
CHECKED BY: CCG

A220
ARCHITECTURAL
EXTERIOR
ELEVATIONS



STUDIO M&G, LLC
5206 SW 91ST TERRACE, SUITE A
GAINESVILLE, FLORIDA 32608
WWW.STUDIOM&G.COM

Golf Plaza Commercial Development - Bldg-3

Enter address here

Design Development

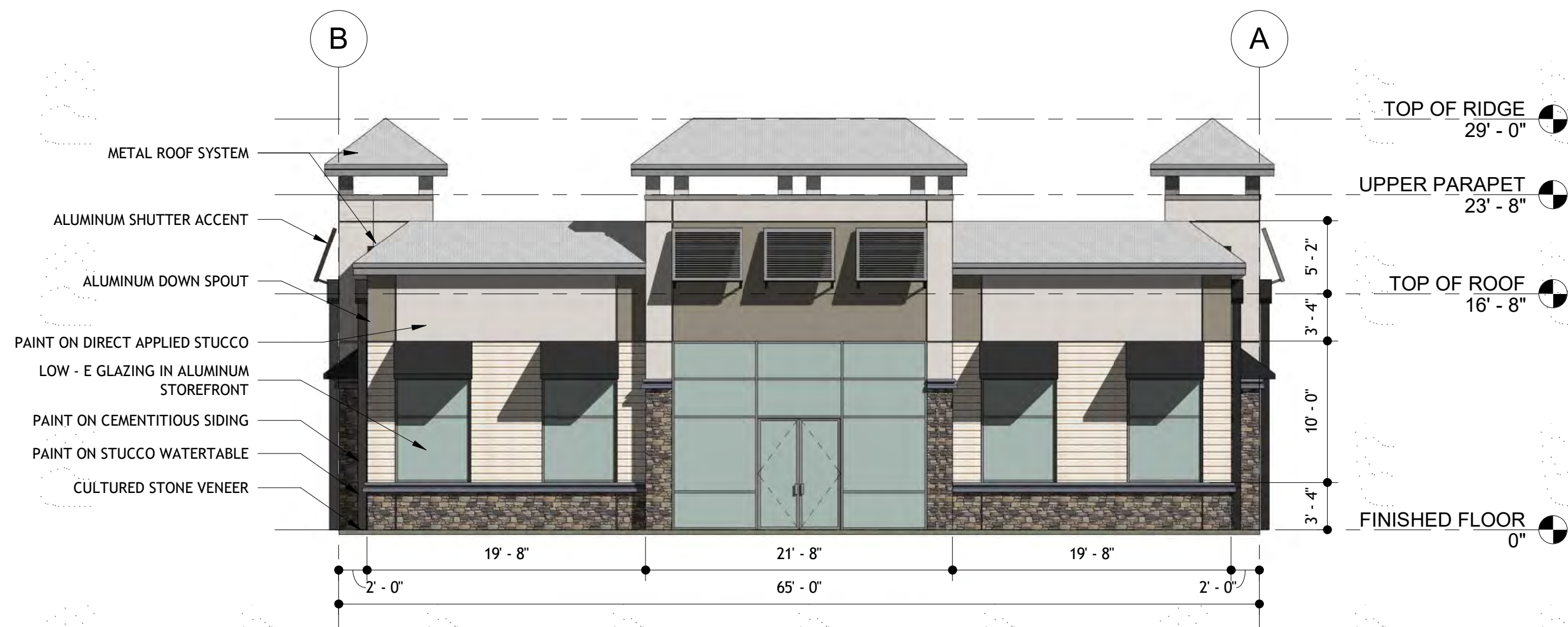
Michael J. Gilfilen
AR94453

No.	DESCRIPTION	DATE

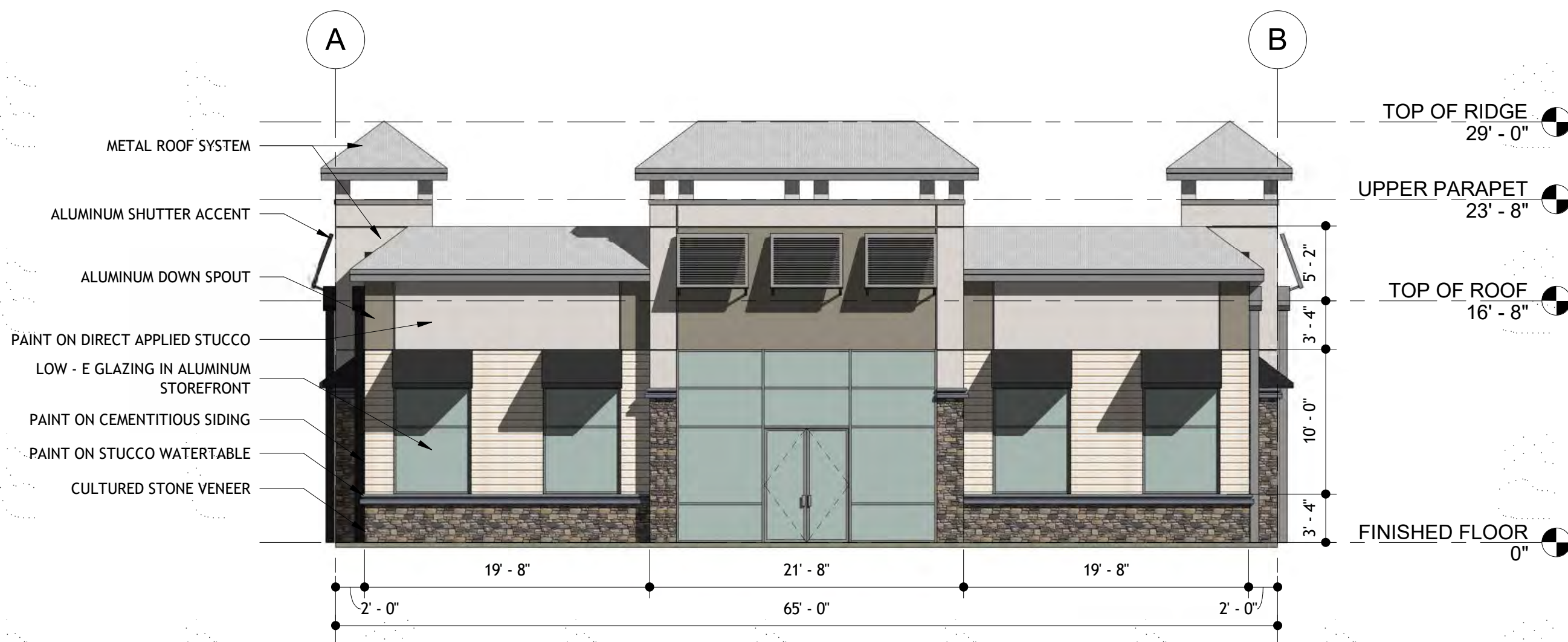
PROJECT NUMBER: 19018
ISSUE DATE: 20 SEPTEMBER 2019
CREATED BY: MJG
CHECKED BY: CCG

A230
ARCHITECTURAL
EXTERIOR
ELEVATIONS

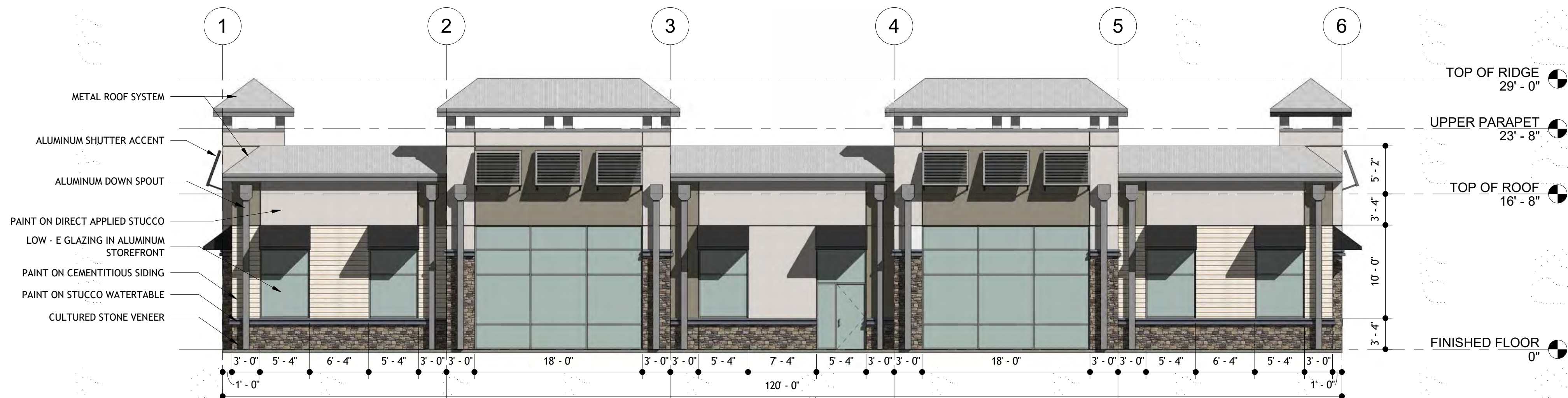
10/3/2019 1:57:12 PM



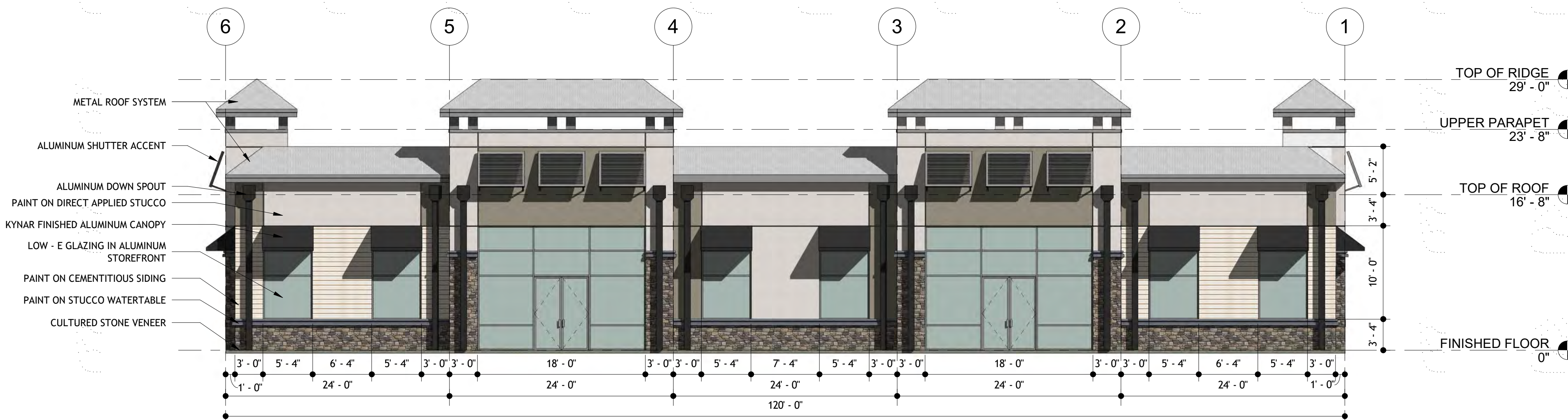
1 NORTH ELEVATION BUILDING - 3
1/8" = 1'-0"



2 SOUTH ELEVATION BUILDING - 3
1/8" = 1'-0"



3 EAST ELEVATION BUILDING - 3
1/8" = 1'-0"



4 WEST ELEVATION BUILDING - 3
1/8" = 1'-0"

GLAZING LEGEND				
ELEVATION	WALL AREA	GLAZING AREA	REQUIRED %	PROVIDED %
NORTH ELEVATION	1,293	456	20 %	35 %
WEST ELEVATION	2,432	804	20 %	33 %
SOUTH ELEVATION	1,293	456	20 %	35 %
EAST ELEVATION	2,432	804	20 %	33 %