

PREPARED FOR: DREYER'S DKI
TAX PARCEL 03211-003-000
14619 N.W. US HIGHWAY 441
ALACHUA, FL 32615

N.W. 150TH AVENUE (38' R/W AS MONUMENTED)

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A PARCEL OF LAND LOCATED IN SECTION 14, TOWNSHIP 08 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, BEING A PORTION OF LOTS 3 AND 4 OF "WOODBRIIDGE'S SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA", AS RECORDED IN PLAT BOOK "C", PAGE 68-A, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 6 OF SAID "WOODBRIIDGE" SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA, AND BEING ON THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (RIGHT-OF-WAY WIDTH VARIES); THENCE SOUTH 82°34'32" EAST, ALONG THE SOUTH LINE OF LOTS 6, 5, AND 4 OF SAID "WOODBRIIDGE" SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA, AND ALONG SA NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, A DISTANCE OF 851.63 FEET; THENCE, LEAVING SAID SOUTH LINE OF LOTS 6, 5, AND 4, NORTH 01°33'18" WEST, A DISTANCE OF 21.26 FEET TO A 1/2" REBAR & CAP (LB 7996) AND THE POINT OF BEGINNING; THENCE, CONTINUE ALONG SAID NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, SOUTH 82°34'32" EAST, A DISTANCE OF 291.58 FEET TO A 1/2" REBAR & CAP MARKING THE SOUTHWEST CORNER OF THAT PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 1683, PAGE 363; THENCE, LEAVING SAID NORTH RIGHT-OF-WAY LINE, NORTH 05°24'01" EAST, ALONG THE WEST LINE OF SAID PARCEL OF LAND AND ALONG THE NORTHERLY PROJECTION THEREOF, A DISTANCE OF 300.81 FEET TO A 1/2" REBAR & CAP (LB 7996) ON THE NORTH LINE OF LOT 3 OF SAID "WOODBRIIDGE" SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA, AND BEING ON THE SOUTH RIGHT-OF-WAY LINE OF N.W. 150TH AVENUE (38 FOOT RIGHT-OF-WAY AS MONUMENTED); THENCE SOUTH 89°51'46" WEST, ALONG THE NORTH LINE OF SAID LOTS 3 AND 4, AND ALONG SAID SOUTH RIGHT-OF-WAY LINE OF N.W. 150TH AVENUE, A DISTANCE OF 324.44 FEET TO A 1/2" REBAR & CAP (LB 7996); THENCE, LEAVING SAID NORTH AND SOUTH LINES, SOUTH 01°33'18" EAST, A DISTANCE OF 255.46 FEET TO THE POINT OF BEGINNING. CONTAINING 1.96 ACRES, MORE OR LESS.

IT IS THE OPINION OF DEREN LAND SURVEYING BASED ON AN INTERPRETATION OF F.I.R.M. PANEL No. 140 OF 640, COMMUNITY PANEL No. "120664 0140 D" THAT THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), MAP EFFECTIVE DATE JUNE 16, 2006.

1. SURVEY BASED ON MONUMENTATION FOUND AND ACCEPTED AND ON "WOODBIDGE'S SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA" AS RECORDED IN PLAT BOOK "C", PAGE 68-4 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
2. BEARINGS ARE BASED ON A RECORDED CALL OF SOUTH 82°34'32" EAST FOR THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 AS RECORDED IN OFFICIAL RECORDS BOOK 2039, PAGE 2756.
3. LAND DESCRIPTION WAS PREPARED BY DEREN LAND SURVEYING.

11900 SQ.FT.	BUILDINGS OR 14.0% [FAR=0.140]
12334 SQ.FT.	PARKING/LOADING DOCKS OR 14.5%
391 SQ.FT.	SIDEWALKS/HC RAMP OR 0.5%
60643 SQ.FT.	OPEN SPACE/RETENTION OR 71.0%
85268 SQ.FT.	TOTAL SITE OR 1.958 ACRES ±

1. ZONING: CI. TAX PARCEL NO. 03211-003-000.
2. PROPOSED BUILDING - ONE STORY, EAVE HEIGHT 16'.
3. OCCUPANCY CLASS - BUSINESS, GROUP "B" & S-1 MODERATE HAZARD STORAGE
4. INTENDED USE OF SITE - CARPET AND STRUCTURE CLEANING SERVICE.
5. PROJECTED NUMBER OF EMPLOYEES - FORTY.
6. THIS SITE IS NOT IN A FLOOD PLAIN.
7. THIS SITE AND BUILDING COMPLIES WITH THE STATE
OF FLORIDA ACCESSIBILITY CODES AND STANDARDS.
8. NRCS SOIL TYPES: ARREDONDO (92%), & GAINESVILLE (8%).
9. CONSTRUCTION TYPE:
TYPE III-B, UNPROTECTED, UNSPRINKLERED.

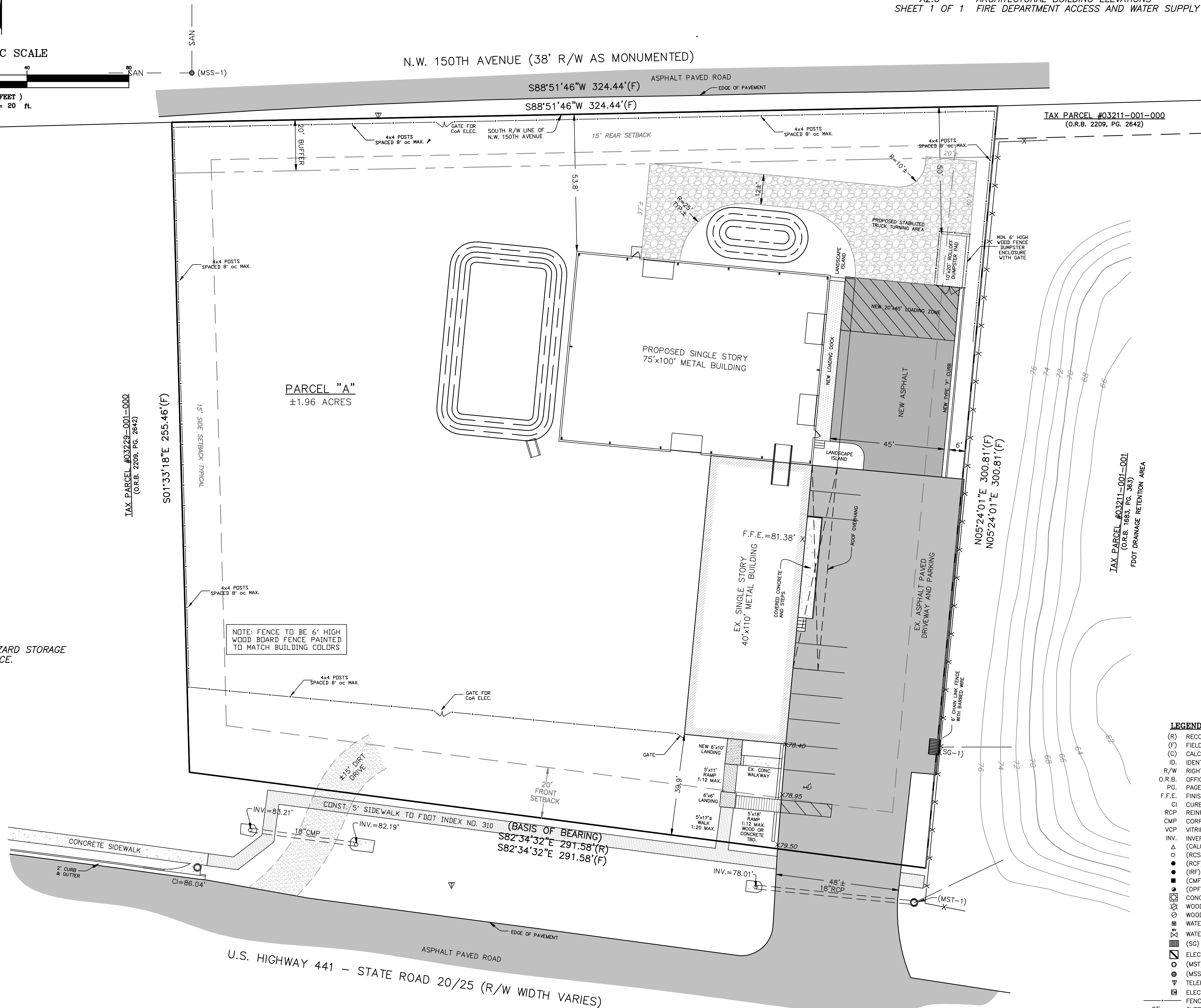
PARKING REQUIRED: GENERAL INDUSTRIAL SERVICE
11900 SQ.FT./1500 = 8 SPACES

PARKING PROVIDED:
8 SPACES (7 REGULAR, 1 HANDICAP)

(MST-1) EXISTING
LID = 79.83'
W. INV. = 76.63' (18"RCP)
NE. INV. = 76.83' (18"RCP)

(SG-1) EXISTING
LID = 76.62'
E. INV. = 73.07' (18" CMP)

(MSS-1) EXISTING
LID = 87.98'
N. INV. = 82.68' (6"VCP)
W. INV. = 82.53' (6"VCP)



(R)	RECORD MEASUREMENT
(F)	FIELD MEASUREMENT
(C)	CALCULATED MEASUREMENT
ID.	IDENTIFICATION
R/W	RIGHT-OF-WAY
O.R.B.	OFFICIAL RECORDS BOOK
P.C.	PIVOT POINT
F.F.E.	FINISHED FLOOR ELEVATION
C	CURB INLET
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
VP	VITRIFIED CLAY PIPE
INV.	INVERT
Δ	(CALC) CALCULATED CORNER
○	(RCS) REBAR & CAP SET
●	(RCF) REBAR & CAP FOUND
●	(RMF) IRON ROD FOUND
●	(CRF) CONCRETE MONUMENT FOUND
○	(OPF) OPEN PIPE FOUND
□	CONCRETE LIGHT POLE
⊗	WOOD LIGHT POLE
⊗	WOOD POWER POLE
W	WATER METER
W	WATER VALVE
■	(SG) STORM GRATE
■	ELECTRIC TRANSFORMER
○	(MST) STORM WATER MANHOLE
○	(MSS) SANITARY SEWER MANHOLE
▽	TELEPHONE PEDESTAL
□	ELECTRIC METER
—	FENCE LINES
—	OVERHEAD ELECTRIC LINES
—	UNDERGROUND WATER

CRAIG R. HEDGECOCK
ENGINEERS – PLANNERS – SURVEYORS
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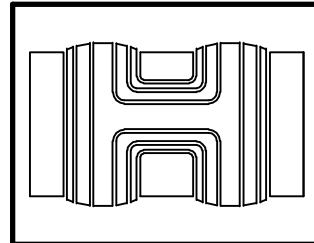
REVISIONS:
DATE: DEC. 10, 2019 RESUBMISSION COMMENTS
DATE: DEC. 14, 2019 RESUBMISSION COMMENTS

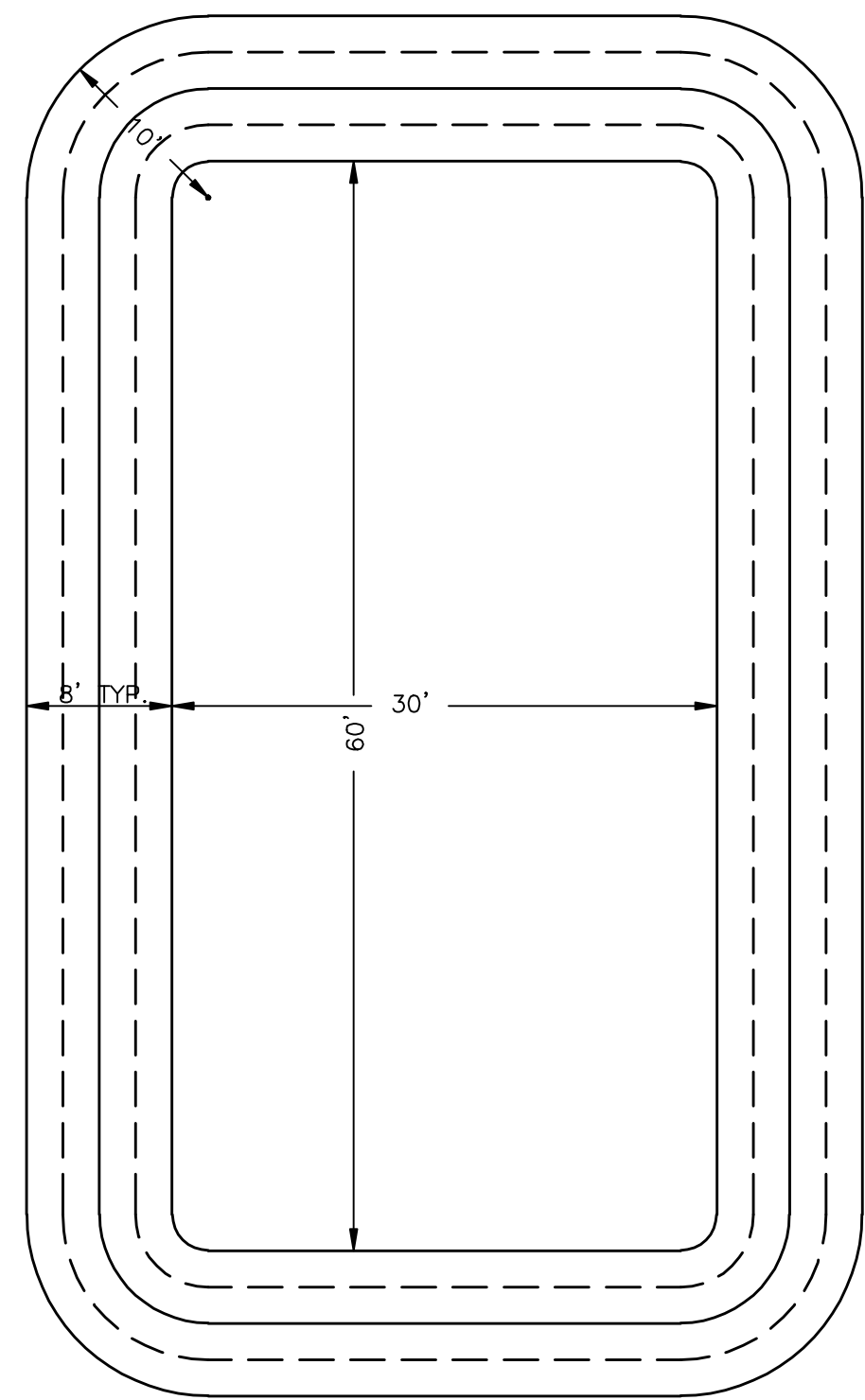
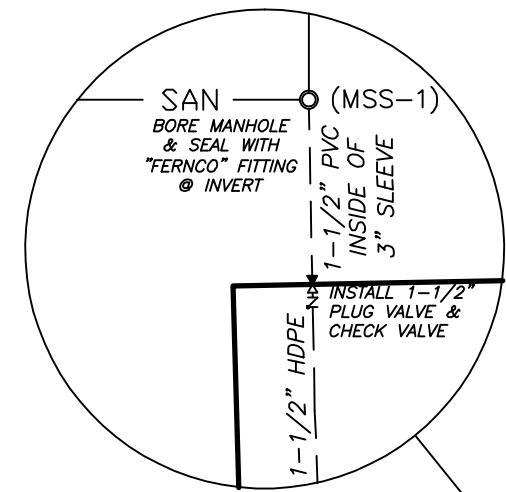
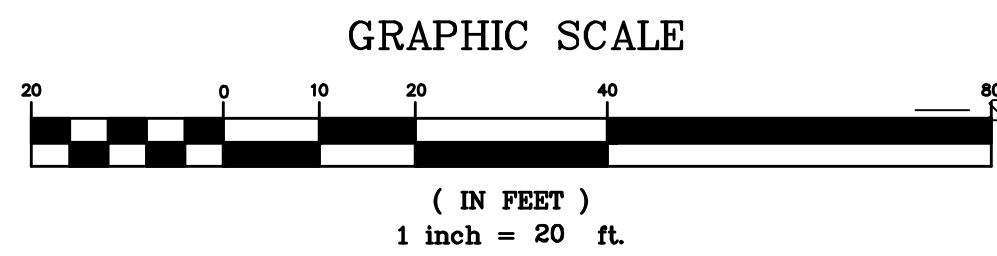
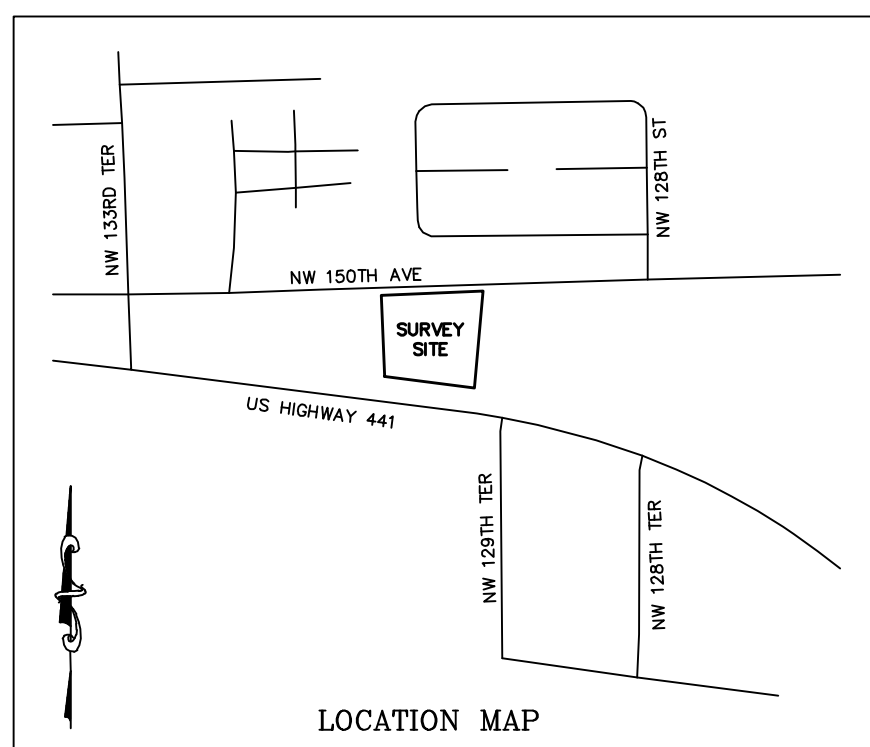
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FOR REVIEW ONLY

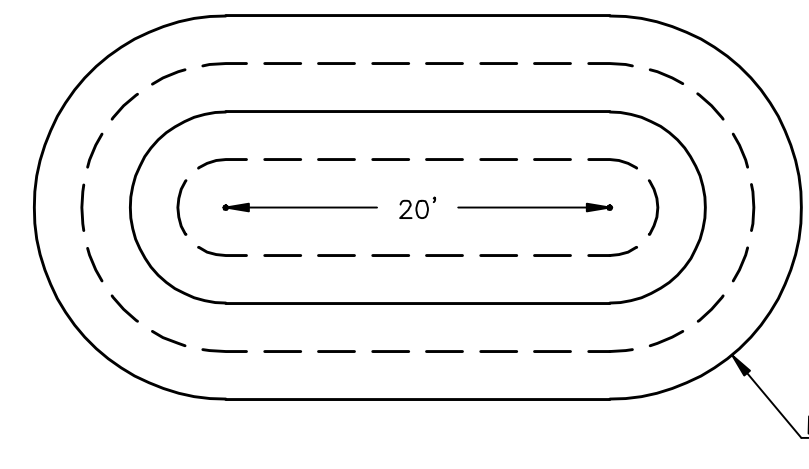
CRAIG R. HEDGECOCK, PE/PSM DATE
P.E. NO. 24651 - P.S.M. NO. 3506 - FLORIDA

PREPARED FOR: DREYER'S DKI
14619 NW US HIGHWAY 441 - TAX PARCEL NO.
CITY OF ALACHUA, ALACHUA COUNTY, FL



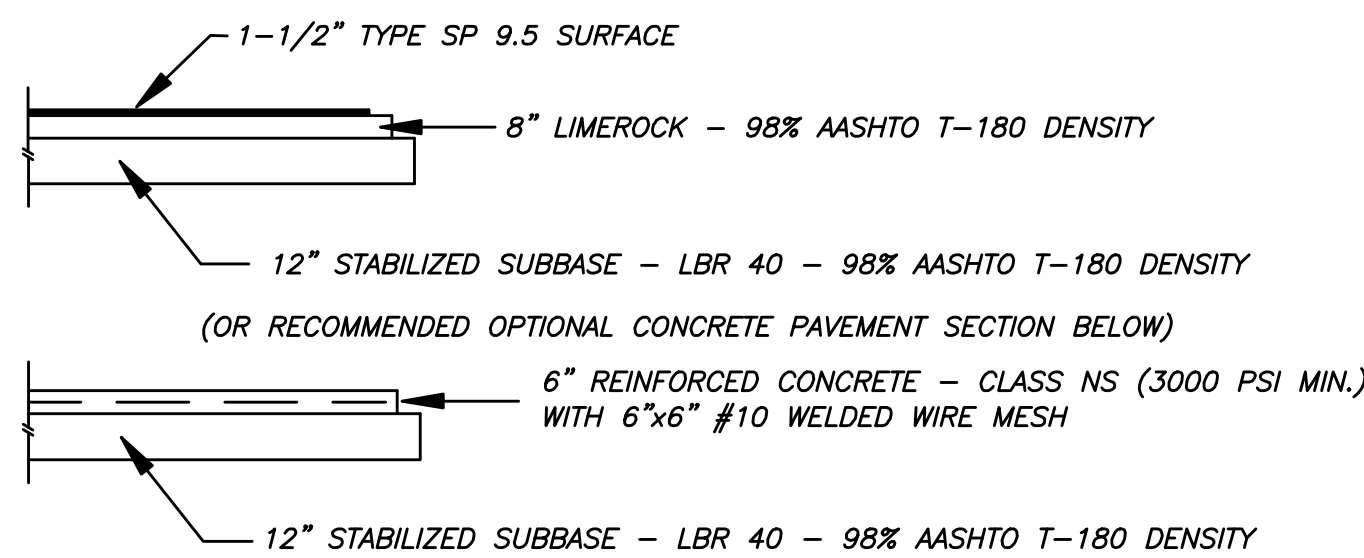


DRAINAGE RETENTION AREA DETAILS:

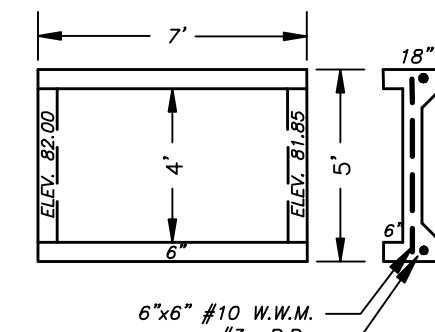


TYPICAL PARKING SPACE DETAIL:

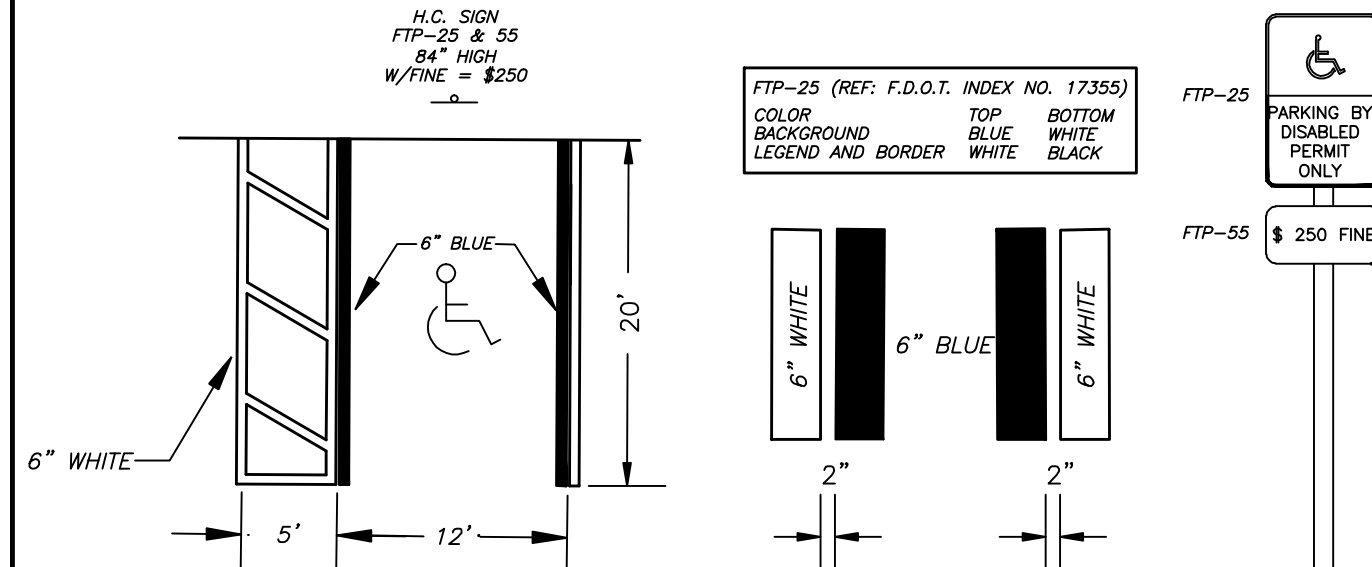
PAVEMENT DETAIL:



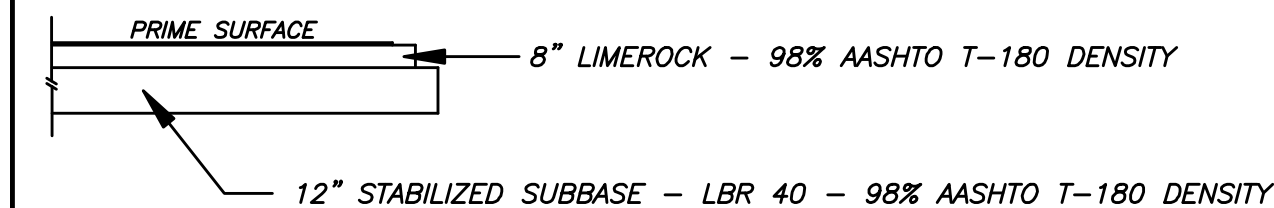
OVERFLOW DETAIL:



HANDICAP PARKING SPACE DETAIL:



STABILIZED SURFACE DETAIL:



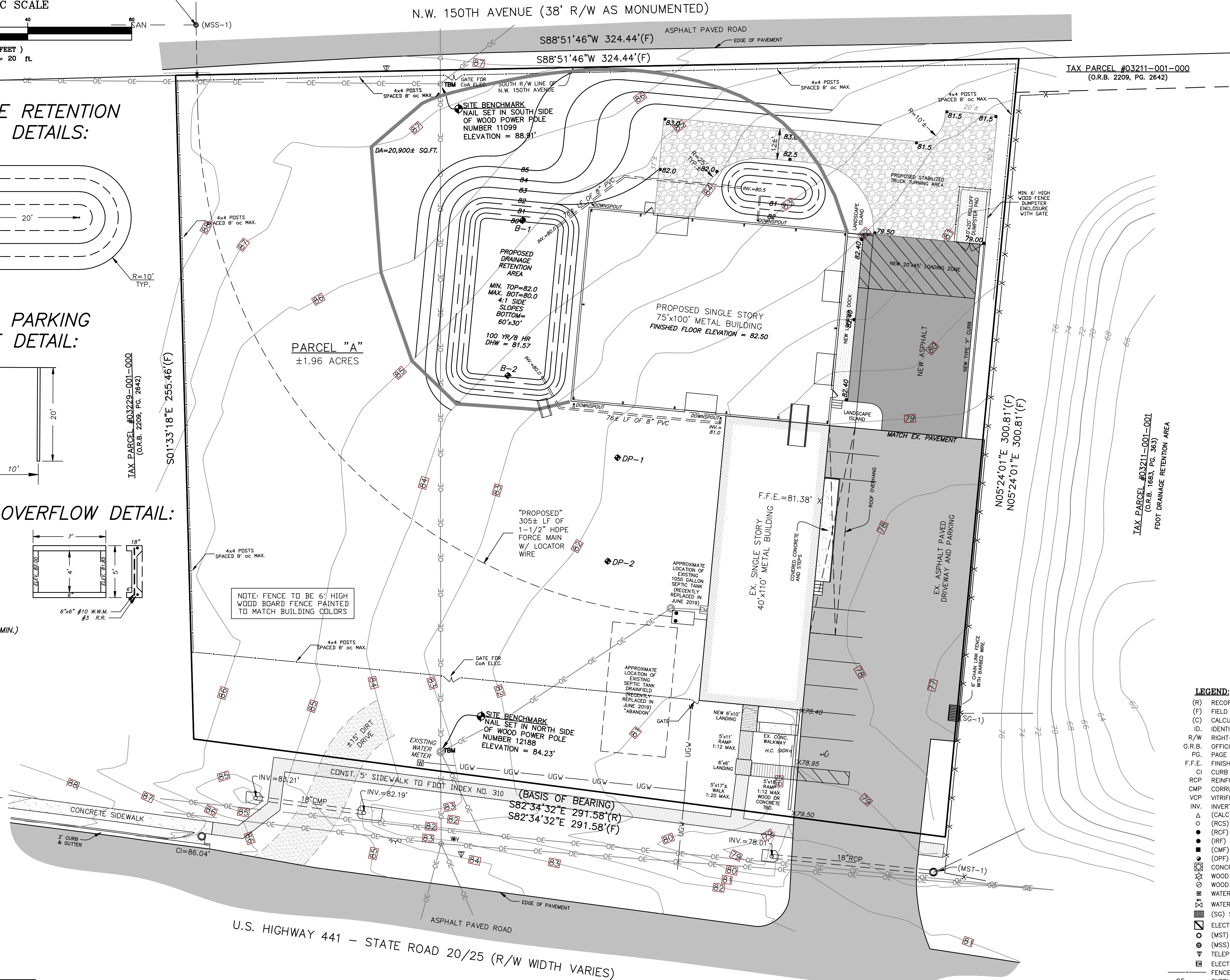
SITE PLAN
PREPARED FOR: DREYER'S DKI
TAX PARCEL 03211-003-000
14619 N.W. US HIGHWAY 441
ALACHUA, FL 32615

SECTION 14, TOWNSHIP 08 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA

DOMESTIC WASTEWATER:

THE EXISTING "ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" (OSTDS) WAS RECENTLY UPGRADED IN JUNE OF 2019 TO CURRENT STATE OF FLORIDA DEPARTMENT OF HEALTH CHAPTER 64E-6, FAC, "STANDARDS FOR ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS" INCLUDING A NEW 1050 GALLON SEPTIC TANK AND A REPLACEMENT DRAINFIELD.

THE "PROPOSED" BUILDING WILL NOT HAVE ANY PLUMBING FIXTURES SO THERE WILL BE NO INCREASED WASTEWATER FLOW ASSOCIATED WITH THE PROJECT. IT IS PROPOSED TO CONVERT THE EXISTING SEPTIC TANK AS A WET WELL AND INSTALL TWO (2) EFFLUENT/GRINDER PUMPS IN THE WET END OF THE SEPTIC TANK AND PUMP THE EFFLUENT FROM SAME TO THE EXISTING CoA SANITARY SEWER MANHOLE (MSS-1) LOCATED IN THE NW 150TH AVENUE RIGHT-OF-WAY IN THE VICINITY OF THE NORTHWEST CORNER OF THE SITE AS SHOWN. THE EXISTING DRAINFIELD WILL BE ABANDONED.



- LEGEND:
- (R) RECORD MEASUREMENT
 - (F) FIELD MEASUREMENT
 - (C) CALCULATED MEASUREMENT
 - ID. IDENTIFICATION
 - R/W RIGHT-OF-WAY
 - O.R.B. OFFICIAL RECORDS BOOK
 - PG. PAGE
 - F.F.E. FINISHED FLOOR ELEVATION
 - CI CURB INLET
 - RCP REINFORCED CONCRETE PIPE
 - CMP CORRUGATED METAL PIPE
 - VCP VITRIFIED CLAY PIPE
 - INV. INVERT
 - Δ (CALC) CALCULATED CORNER
 - (RCS) REBAR & CAP SET
 - (RCF) REBAR & CAP FOUND
 - (IRF) IRON ROD FOUND
 - (CMF) CONCRETE MONUMENT FOUND
 - (OPF) OPEN PIPE FOUND
 - CONCRETE LIGHT POLE
 - WOOD LIGHT POLE
 - WOOD POWER POLE
 - WATER METER
 - WATER VALVE
 - (SG) STORM GRATE
 - ELECTRIC TRANSFORMER
 - (MST) STORM WATER MANHOLE
 - (MSS) SANITARY SEWER MANHOLE
 - TELEPHONE PEDESTAL
 - ELECTRIC METER
 - FENCE LINES
 - OE OVERHEAD ELECTRIC LINES
 - UGW UNDERGROUND WATER

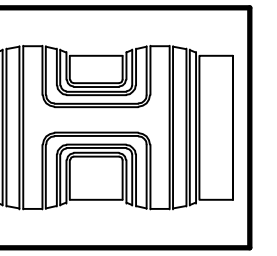
DATE: DECEMBER 4, 2019
DRAWN BY: CRAIG R. HEDGECOCK
CHECKED BY: CRAIG R. HEDGECOCK
DRAWING NO.: DREYER'S DKI

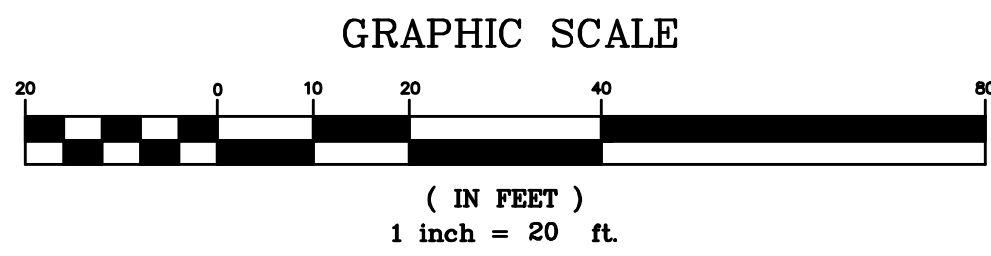
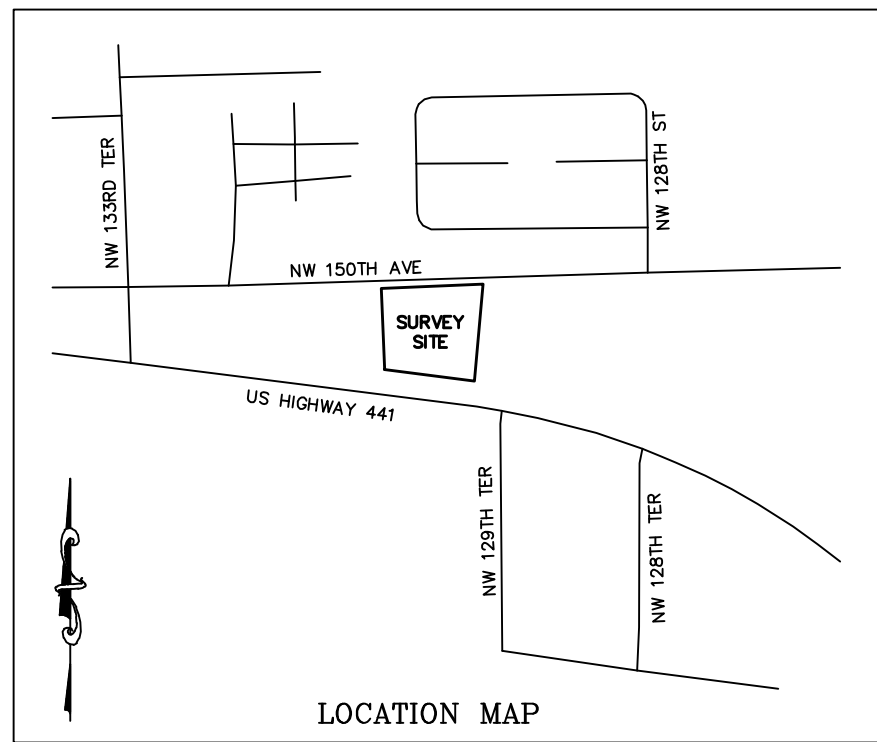
CRAIG R. HEDGECOCK
ENGINEERS - PLANNERS - SURVEYORS
27 N.W. 48TH BOULEVARD
GAINESVILLE, FL 32607 (352) 377-9928

REVISIONS:
DATE: DEC 10, 2019
REVISION: 1
DATE: DEC 12, 2019
REVISION: 2

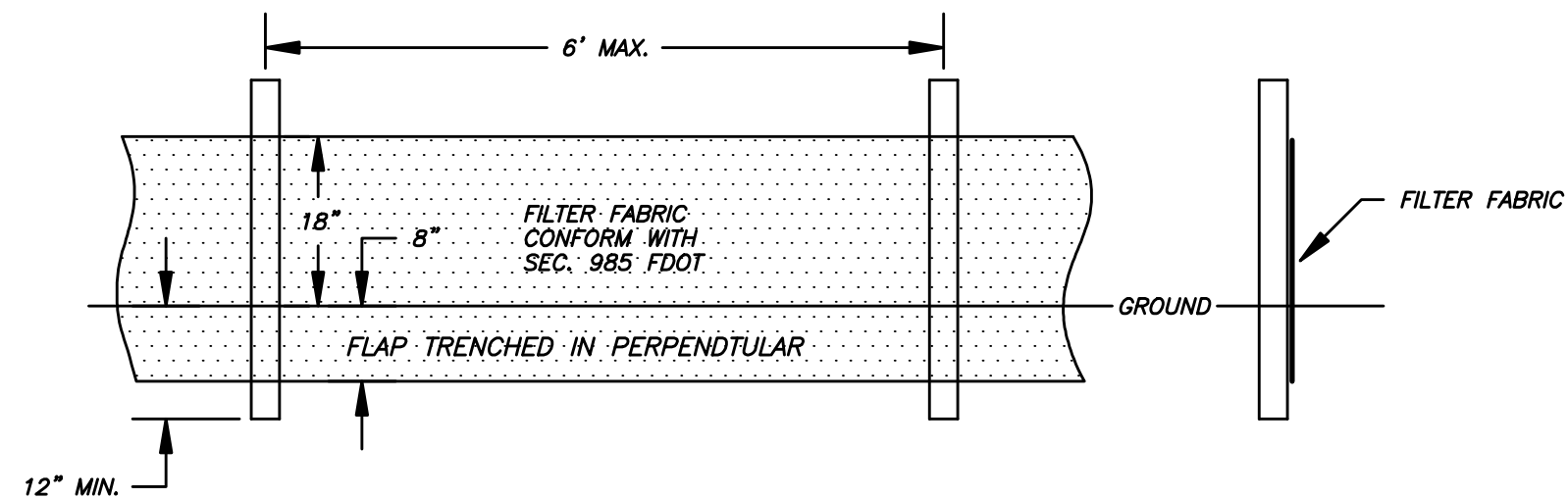
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CRAIG R. HEDGECOCK, P.E./P.S.M. DATE: P.E. NO. 24851 - P.S.M. NO. 3506 - FLORIDA

SITE PLAN
PREPARED FOR: DREYER'S DKI
14619 NW US HIGHWAY 441 - TAX PARCEL NO. 03211-003-000
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA





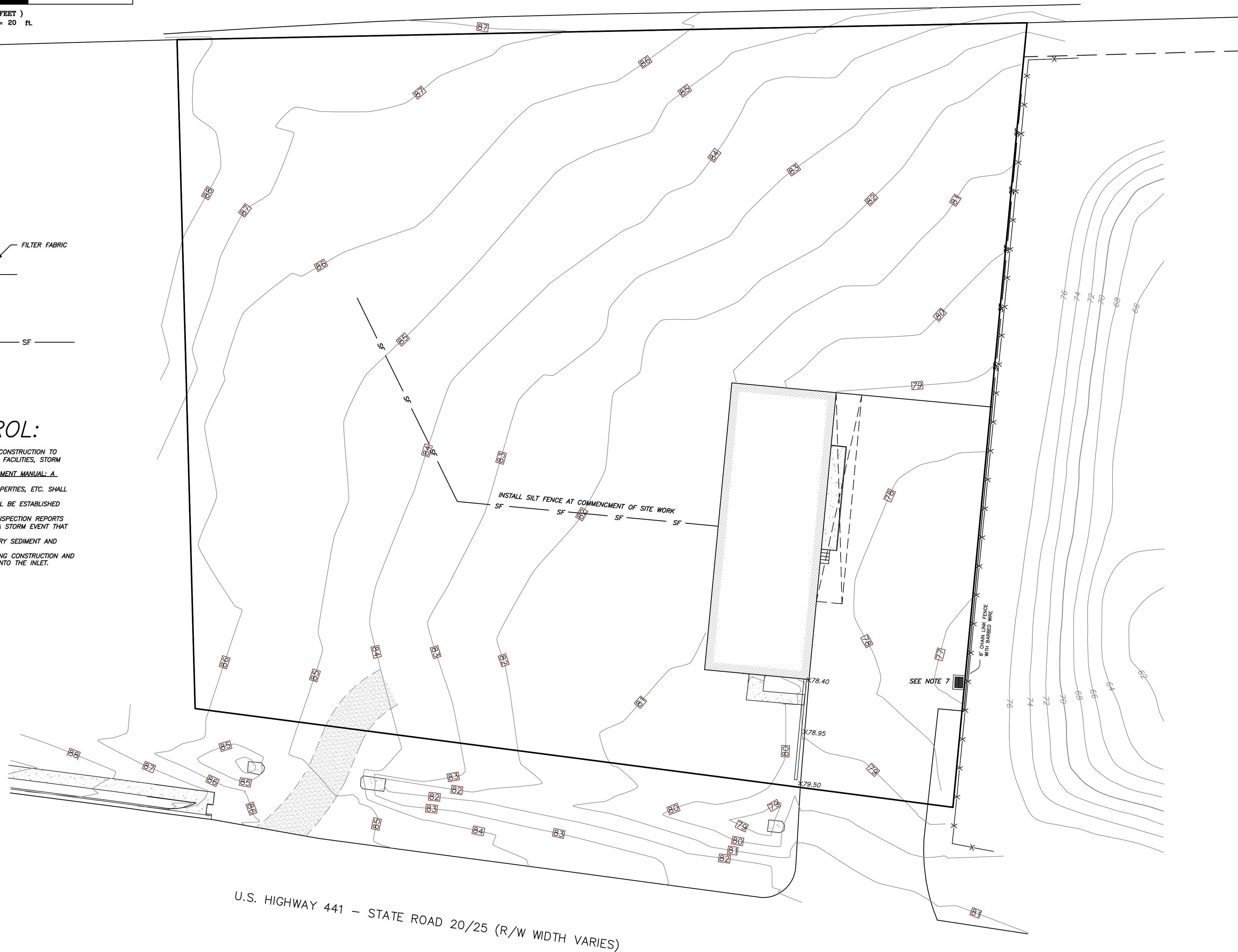
SILT FENCE DETAIL:



NOTE: CONTRACTOR TO INSTALL AT COMMENCEMENT OF CONSTRUCTION AS SHOWN AS: ——— SF ———

SEDIMENT AND EROSION CONTROL:

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUOUSLY EMPLOYED AT ALL TIMES DURING CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS AND/OR ADJACENT PROPERTIES, STORM WATER RETENTION FACILITIES, STORM WATER STRUCTURES, AND STORM WATER CONVEYANCES UNTIL THE PROJECT AREA IS FULLY STABILIZED.
2. THE SITE CONTRACTOR IS ENCOURAGED TO FOLLOW THE GUIDELINES CONTAINED IN THE FLORIDA DEVELOPMENT MANUAL: A GUIDE TO SOUND LAND AND WATER MANAGEMENT (DEP, 1989) AND ANY SUBSEQUENT AMENDMENTS.
3. ANY SEDIMENT TRACKED AND/OR DEPOSITED ONTO ADJACENT RIGHTS-OF-WAY, ROADWAYS, ADJACENT PROPERTIES, ETC. SHALL BE CLEANED OR REMOVED AT THE END OF EACH CONSTRUCTION DAY.
4. A TEMPORARY CONSTRUCTION ENTRANCE/TRACKING PAD STABILIZED WITH LIMEROCK AND/OR GRAVEL SHALL BE ESTABLISHED AT THE PROJECT SITE IF THE EXISTING DRIVEWAY IS NOT UTILIZED FOR SAME.
5. A STORMWATER POLLUTION PROTECTION PLAN (SWPPP) MAY BE IN EFFECT FOR THIS PROJECT. IF SO, INSPECTION REPORTS ARE REQUIRED TO BE COMPLETED AT LEAST ONCE A WEEK AND/OR WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.50 INCHES OR GREATER.
6. UPON COMPLETION OF CONSTRUCTION AND/OR FINAL STABILIZATION OF THE PROJECT SITE, ANY TEMPORARY SEDIMENT AND EROSION CONTROLS SHALL BE REMOVED.
7. INSTALL FILTER FABRIC UNDER THE EXISTING DRAINAGE INLET GRATE IN THE EXSTING PARKING AREA DURING CONSTRUCTION AND PERIODICALLY CLEAN AND/OR REPLACE SAME AS EXCESSIVE SEDIMENT BUILDUP IS RESTRICTING RUNOFF INTO THE INLET.



SITE PLAN

PREPARED FOR: DREYER'S DKI
TAX PARCEL 03211-003-000
14619 N.W. US HIGHWAY 441
ALACHUA, FL 32615

SECTION 14, TOWNSHIP 08 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA

N.W. 150TH AVENUE (38' R/W AS MONUMENTED)

U.S. HIGHWAY 441 - STATE ROAD 20/25 (R/W WIDTH VARIES)

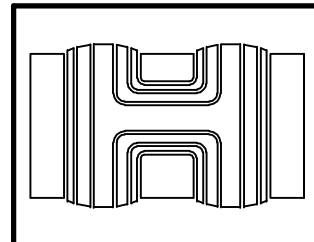
DATE: DECEMBER 4, 2019
DRAWN BY: CRAIG R. HEDGECOCK
CHECKED BY: CRAIG R. HEDGECOCK
DRAWING NO. DREYERS SP04

CRAIG R. HEDGECOCK
ENGINEERS - PLANNERS - SURVEYORS
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REVISIONS:

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FOR REVIEW ONLY
CRAIG R. HEDGECOCK, P.E./PSM DATE
P.E. NO. 24651 - P.S.M. NO. 3506 - FLORIDA

EROSION AND SEDIMENTATION CONTROL PLAN
PREPARED FOR: DREYER'S DKI
14619 NW US HIGHWAY 441 - TAX PARCEL NO. 03211-003-000
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA



SHEET
3 OF 5

SITE DATA:

11900 SQ.FT. BUILDINGS OR 14.0% [FAR=0.140]
12334 SQ.FT. PARKING/LOADING DOCKS OR 14.5%
391 SQ.FT. SIDEWALKS/HC RAMP OR 0.5%
60643 SQ.FT. OPEN SPACE/RETENTION OR 71.0%
85268 SQ.FT. TOTAL SITE OR 1.958 ACRES ±

LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE AND SPECIFICATIONS	NATIVE
SHADE TREES					
	19	QUERCUS ALBA	WHITE, OAK	MIN. 8' HT., 2" CAL. MIN.	Y
	22	QUERCUS SHUMARDII	SHUMARD OAK	MIN. 8' HT., 2" CAL. MIN.	Y
	13	ACER RUBRUM	RED MAPLE	MIN. 8' HT., 2" CAL. MIN.	Y
UNDERSTORY					
	10	CERCIS CANADENSIS	RED BUD	1-1/2" MIN. CAL.	Y
	3	BETULA NIGRA	RIVER BIRCH	1-1/2" CAL. EACH TRUNK, MULTI	N
SHRUBS					
	52	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	3 GAL., 4' O.C. 24" HT. MIN., 6' HT. IN 3 YRS	N
	12	BUXUS MICROPHYLLA	WINTERGREEN BOXWOOD	3 GAL., 2' OC, 12" HT.	N
MULCH			TYPE B PINE BARK OR PINE STRAW		
SOD			SEED & MULCH OR ARGENTINE BAHIA		

NOTE: NO EXISTING TREES ON SITE

PARKING AREA LANDSCAPE REQUIREMENTS

DESCRIPTION	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
PERIMETER AREA	NEW PERIMETER = 237 LF 4 CANOPY /100 LF 2 UNDERSTORY/100 LF ROW OF SHRUBS	8 CANOPY TREES (7 OAKS, 1 MAPLE) 4 UNDERSTORY (4 REDBUDS) 4 BOXWOOD
INTERIOR AREA	NEW PARKING = 3,236 SF 1 CANOPY/1800 SF 10 SHRUBS/CANOPY TREE	2 CANOPY TREES (1 OAK, 1 MAPLE) 20 VIBURNUM SHRUBS

ARTERIAL FRONTAGE LANDSCAPE REQUIREMENTS

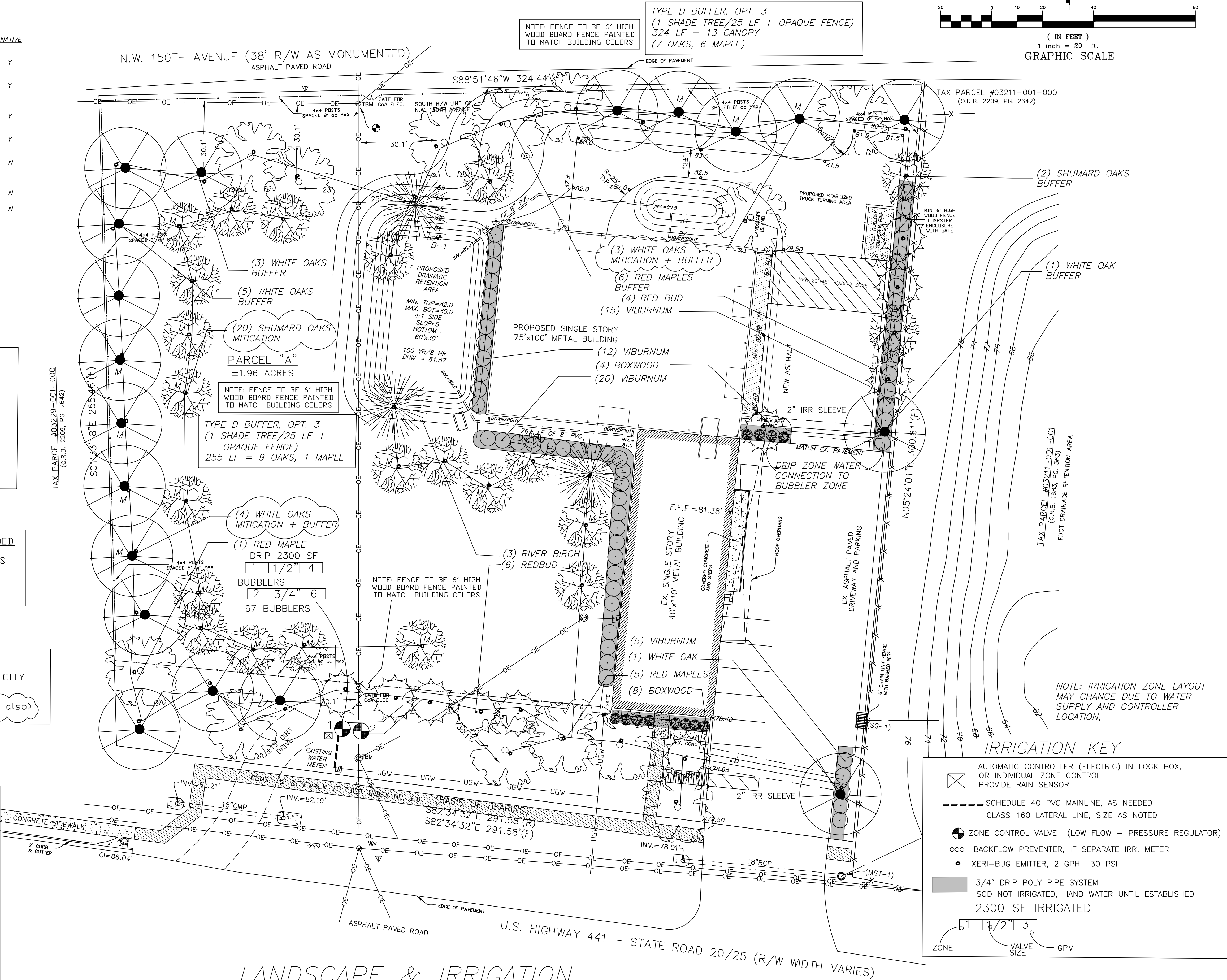
LOCATION	BUFFER LENGTH/TYPE	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
US HWY 441	243	4 CANOPY /100 LF=10 BUFFER FENCE 6 FT. HIGH, OPAQUE	4 OAKS, 6 MAPLES

TREE MITIGATION REQUIREMENTS

CATEGORY	MITIGATION CALCULATIONS
1:1 REPLACEMENT	27 CANOPY TREES (25% MAY BE USED FOR REQUIRED TREES (6.75) PER PREVIOUS TREE MITIGATION AGREEMENT CITY OF ALACHUA DATED 4/19/19)
REPLACEMENT PROVIDED = 20 SHUMARD OAKS + 7 WHITE OAKS (counted in buffer also)	

SITE LANDSCAPE CALC. (SEC.6.2.2 (D)(1)(c))

DESCRIPTION	TREES REQUIRED	TREES PROVIDED
PRIMARY SIDE (SOUTH)		
REAR SIDE (NORTH)	3 CANOPY/AC X 1.95 = 6	3 OAKS, 3 MAPLES
EAST SIDE	2 CANOPY/AC X 1.95 = 4	2 OAKS, 2 MAPLES
WEST SIDE	2 CANOPY/AC X 1.95 = 4	4 OAKS
UNDERSTORY TREES	2 CANOPY/AC X 1.95 = 4	4 OAKS
	6 UNDERSTORY/AC X 1.95 = 12	12 UNDERSTORY TREES (6 RED BUD) (3 REDBUD) (3 RIVER BIRCH)
BUILDING FACADE	100 LF 4 CANOPY/100 LF = 4 ROW SHRUBS	3 RED MAPLES, 1 OAK 8 BOXWOOD SHRUBS



LANDSCAPE & IRRIGATION

DATE: 10/28/19
DRAWN BY: ELIZABETH C. HOUCK
CHECKED BY: ELIZABETH C. HOUCK
DRAWING NO. 19-111

ELIZABETH C. HOUCK
LANDSCAPE ARCHITECTURE, LLC
SITE PLANS * CONSULTATION * CONSTRUCTION DOCUMENTS
ZEBULON, N.C.
(852) 575-5261 (CELL)

REVISIONS:
Plan review 11/20/19
Plan review 12/4/19
Plan review 12/7/19

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FOR REVIEW ONLY
ELIZABETH C. HOUCK, R.L.A. A.S.L.A. - DATE
LA # 00001254 - FLORIDA

LANDSCAPE & IRRIGATION PLAN
PREPARED FOR: DREYER'S DKI
14619 NW US HIGHWAY 441 - TAX PARCEL NO. 03211-001-000 & 03211-003-000
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA

SHEET
4 OF 5

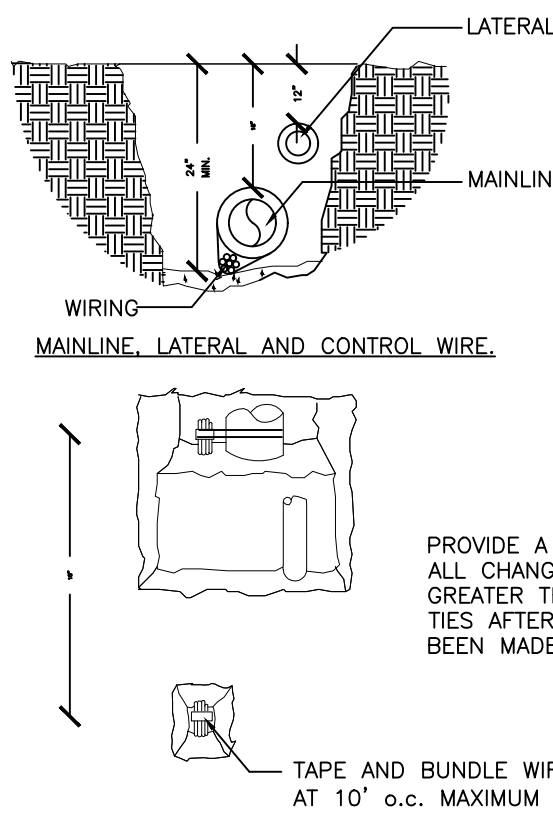
IRRIGATION NOTES

- This schematic irrigation plan serves primarily as a guide. The Contractor shall be entirely responsible for proper coverage and operation of the systems, including changes from the plan as necessary to adjust for actual site conditions.
- The Contractor shall be responsible for providing all labor, materials, and accessories required for complete irrigation systems meeting the performance requirements outlined herein.
- All work shall be installed in accordance with the regulations of the local, county, or other governing authorities. Fees for all permits, inspections, and impact fees required shall be included as work required.
- The water source shall be existing potable meter. Design data shall be verified by the Contractor prior to installation.
- A rain sensor device, Mini-Clik II, or approved equal, shall be installed for each controller installed.
- All remote control valves, gate valves, ball valves, hose bibs and wire splices shall be installed in a suitable Ametek-type valve box of proper size as required for easy access to the valve. Valve boxes shall have a sump of 1 cf gravel. Valve boxes shall be set flush and sloped with the surrounding grade.
- All PVC pipe in the system less than 2" O.D. except risers, shall be Class 160 PSI Polyvinyl Chloride solvent weld pipe conforming to the ASTM-D2466, Type 1, requirements, NSF approved.
- All PVC pipe in the system greater or equal to 2" O.D. and fittings shall be Schedule 40, Type 1, NSF approved conforming to the ASTM-D2466 requirements.
- All wiring, if required, shall be U.L. U.F. wiring. A separate power wire shall be installed from the controller to each individual valve. Wiring shall be installed with main lines where possible; when not, it shall be installed in conduit. Waterproof wire connectors shall be used for controller wiring. Provide pressure compensating devices as necessary to reduce misting.
- Verify the presence of all sleeving before commencing work. Where piping must pass under existing concrete or pavement, it shall be jacked or jetted where possible. Only if impossible to get in place without cutting pavement, permission will be given by the Owner to cut paving. If this is necessary, all cutting and replacing of the paving to match the existing shall be included under this section of the specifications.
- All PVC piping and wiring shall be installed in the trenches with a minimum of 12" of cover and a maximum depth of 24", except where specific permission is obtained from the Landscape Architect and/or Owner for less cover due to existing conditions. Where necessary because of landscaping, cover shall be as deep as required.
- All flex pipe shall be buried to a depth of at least 4" (or covered with 3" of mulch) except where the tubing daylights over newly planted rootballs.
- All emitters and flood bubblers shall be installed at the rootball and be minimally visable above the mulch.
- The Contractor shall warrant the installation workmanship for a period of one year from date of job completion and retainage release. The Contractor shall further see to the fulfillment of all manufacturer's warranties and shall provide an Owner's Manuals. A reproducible as-built copied from the original showing all dimensioned system components shall be required for final job acceptance.
- Irrigation System to include backflow device. Rainsensor to be installed at controller.

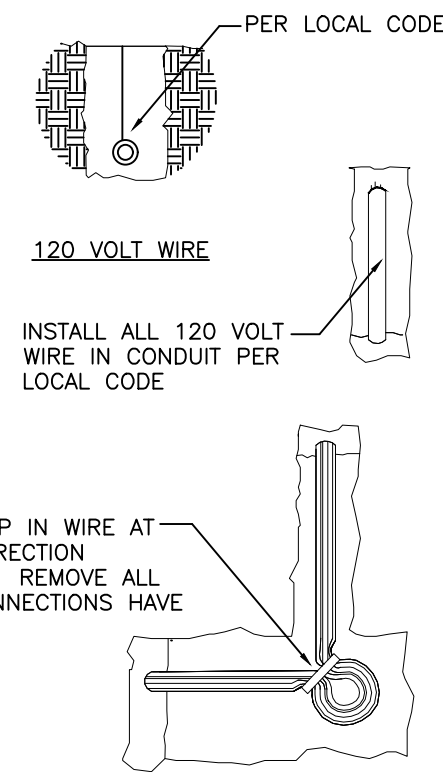
IRRIGATION REQUIREMENTS

WATERING BY HOSE BIB OR BY OWNER TO BE APPROVED BY CITY OF ALACHUA

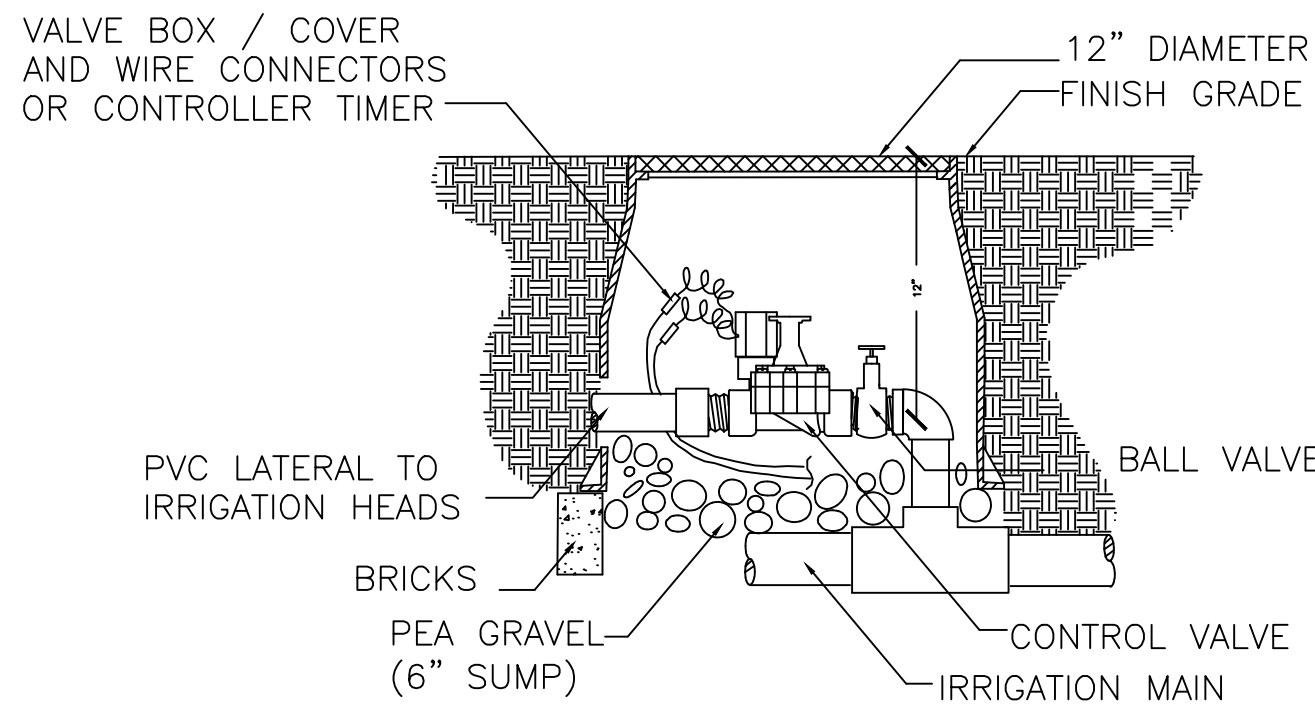
- TYPE OF AUTOMATED SYSTEM = ELECTRIC CONTROLLER IN OUTDOOR LOCKING CABINET OR INDOORS.
- TYPE AND SIZE OF ELECTRICAL WIRE = TO BE DETERMINED AT FOR VALVES
- BACKFLOW PREVENTION DEVICE = FEBCO 850 DOUBLE CHECK OR PER COUNTY REQUIREMENTS
- REQUIRED OPERATING PRESSURE = 30 PSI / 20 GPM
- DESIGN OPERATING PRESSURE OF IRRIGATION SYSTEM = 30 PSI
- PLACEMENT OF RAIN SENSOR WILL BE MOUNTED IN OPEN AREA CLOSE TO CONTROLLER LOCATION.
- WATER REQUIREMENTS PER ZONE = PROVIDE 1/4" WATER PER ZONE/DAY (1-3/4"/WEEK), COMPLY WITH DISTRICT WATERING RESTRICTIONS
BUBBLERS ZONES (EACH)= RUN TIME 15 MIN,7 DAYS (FIRST YEAR)= 30 GALLONS/DAY
- SEE SHEET FOR INSTALLATION SPECIFICATIONS AND DETAILS.



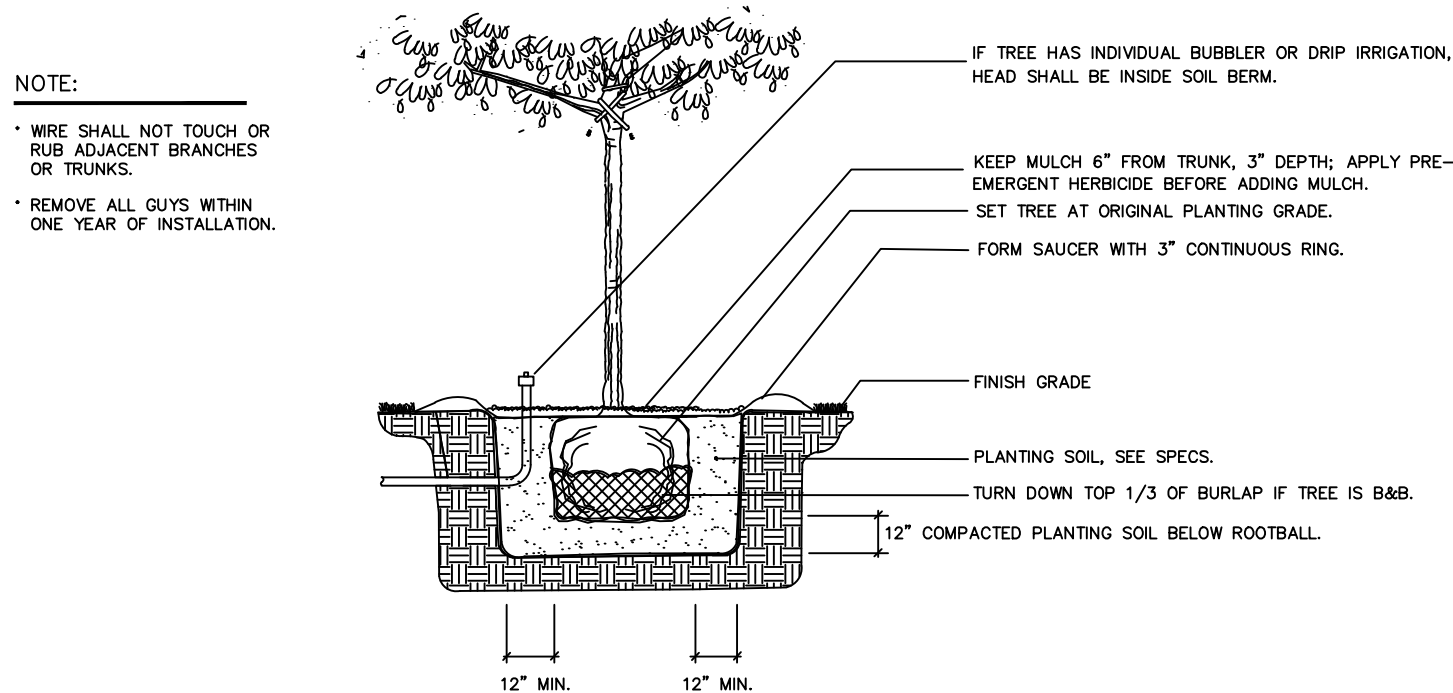
1 PIPING/WIRING DETAIL
IRR SCALE: NOT TO SCALE



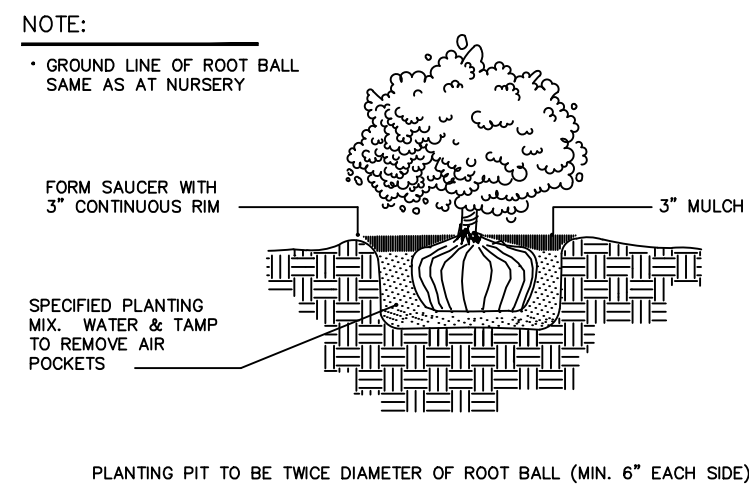
2 BUBBLER HEAD DETAIL
IR SCALE: NOT TO SCALE



3 CONTROL VALVE DETAIL
IRR SCALE: NOT TO SCALE



1 TREE PLANTING DETAIL
SCALE: NOT TO SCALE



2 SHRUB PLANTING
SCALE: NOT TO SCALE

Table 1. Watering schedule for newly planted trees and shrubs

Weeks after planting	Watering frequency:
1-2	Daily
3-12	Every 2-3 days
Until established*	Weekly

* See Table 2 for tree establishment time. Shrubs establish in 1-2 years.

Newly planted shrubs are considered established when their root spread equals the spread of the above-ground canopy. Establishment times for trees increases with tree size. Trunk caliper at planting time can be used to determine the time it takes for roots to establish (Table 2).

Table 2. Establishment time and watering volume for newly planted trees.

Caliper (Inches)	Root establishment time for trees (years)	Water applied during each irrigation (gallons)
1	1.5	1-1.5
2	3	2-3
3	4.5	3-4.5
4	6	4-6
5	7.5	5-7.5
6	9	6-9

*apply 1-1 1/2 gallons per inch of stem caliper at each watering

LANDSCAPE NOTES

- All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, latest edition.
- All work shall be performed in accordance with standard and accepted nursery practices in a workmanlike manner.
- The Landscape Contractor shall be responsible for finish grading all areas of the site. Rough grade will be within 2" of finish grade. The Landscape Contractor shall be responsible for any grade disturbed by his work.
- The Landscape Contractor shall be responsible for the thorough removal of existing weeds and grass in the areas to be planted, including application(s) of appropriate herbicides before and after plant installation.
- Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils), mixed with two lbs. fertilizer per cubic yard. Fertilizer shall be SLOW RELEASE for new plantings.
- Terra-Sorb, or approved equal, shall be incorporated into the planting soil of all trees in sandy soils only at the following rates:

15 gallon containers = one (3 oz.) Handy Pac
30 gallon containers = two (3 oz.) Handy Pacs
Up to 3" caliper = one (3 oz.) Handy Pac
4" to 5" caliper = two (3 oz.) Handy Pacs
Broadcast 1/2 throughout the planting pit; mix 1/2 with backfill.

All plant beds shall be top-dressed with 3" of pine bark nuggets.

- The Landscape Architect reserves the right to field locate or review flagged locations of any or all plant material.
- All balled and burlapped trees shall be hardened-off at the supplier's for a minimum of 30 days prior to shipping. All suppliers must be approved by the Landscape Architect prior to delivery and installation of the trees; any tree which shows signs of stress shall be replaced immediately at no charge to the Owner.
- All trees will be staked per detail sheet or by another method approved by the Landscape Architect. Mulched tree rings shall encompass guys.
- No substitutions shall be permitted without prior approval from the Landscape Architect.
- Guaranty (from time of job completion and retainage release):

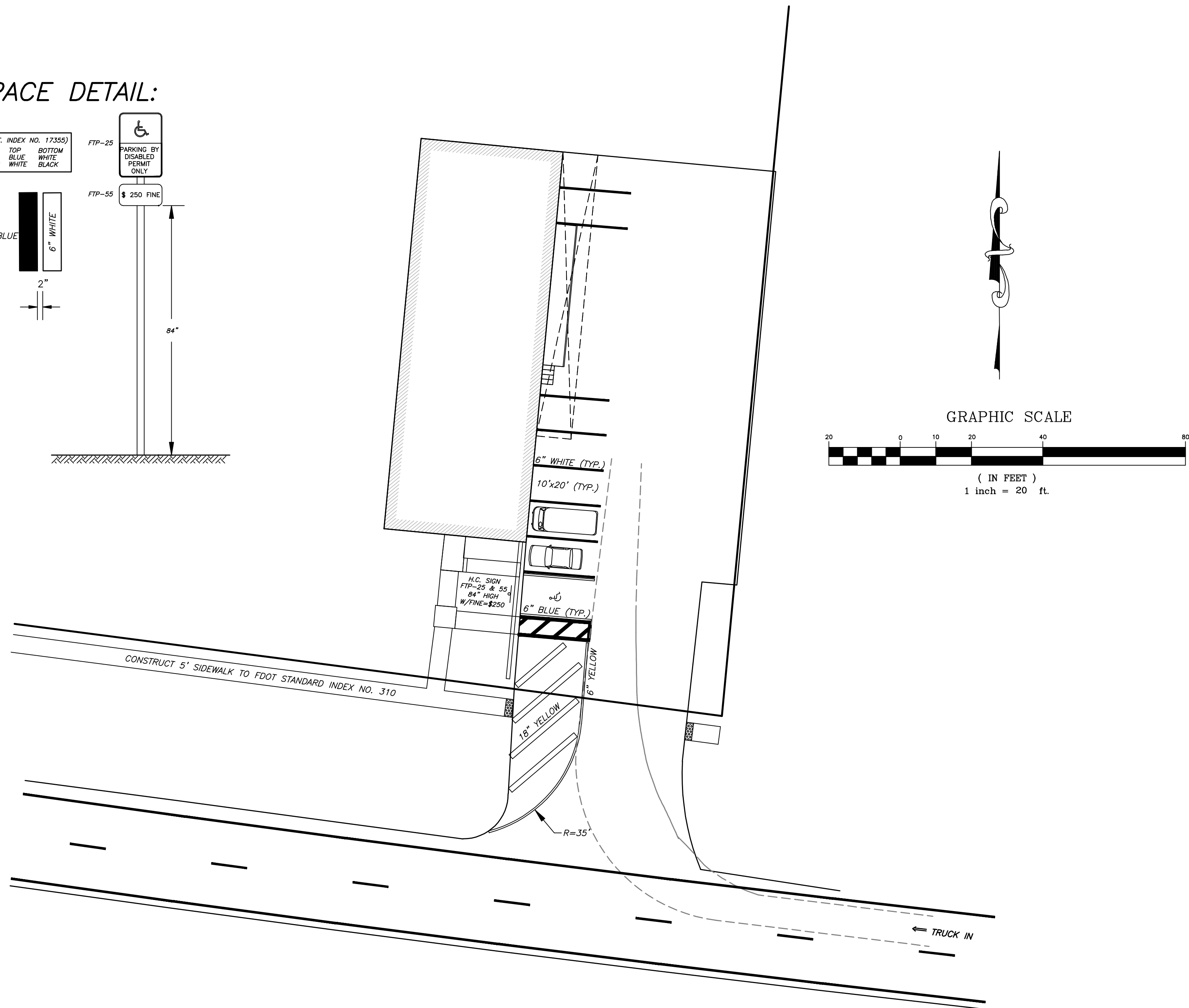
Trees = 1 year

- All work performed within the department's right-of-way shall conform to the most current edition of the following publications:

- Standard Specifications for Road and Bridge Construction (English).
- FDOT Standards Index (English)
- FDOT Plans Prep Manual
- FDOT Flexible Pavement Design Manual for New Construction and Pavement Rehabilitation

(Should a conflict arise between the details shown in the plans and the Department of Transportation Standards the Engineer/Applicant shall immediately confer with the Department's engineer in order to resolve the discrepancy.)

- All traffic striping and markings are to be lead-free, non-solvent based thermoplastic.
- Removal of existing striping shall be accomplished using the “hydro-blast” method. If this process damages/scars pavement, then the pavement shall be milled and resurfaced per FDOT Standards.
- All directional arrows shall be placed as one segment.
- Alignment of proposed pavement markings shall match existing pavement markings at pavement marking limits of construction.
- All curb and gutter and sidewalk will be removed and replaced joint to joint.
- All broken/cracked driveways must be fully removed and replaced.
- All disturbed area within the department’s right-of-way will be restored to original or better condition by grading and sodding the area disturbed (Bermuda in rural, centipede in utility strips).
- Burning of any material or debris is prohibited in the FDOT right-of-way.
- All lanes must be opened for traffic during an evacuation notice of a hurricane or other catastrophic event and shall remain open for the duration of the evacuation or event.



CRAIG R. HEDGECOCK
ENGINEERS - PLANNERS - SURVEYORS
27 N.W. 48TH BOULEVARD
GAINESVILLE, FL 32607 (352) 377-9928

REVISIONS:

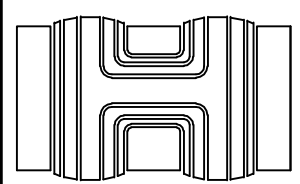
NOT VALID UNLESS SIGNED AND SEALED BELOW

FOR REVIEW ONLY

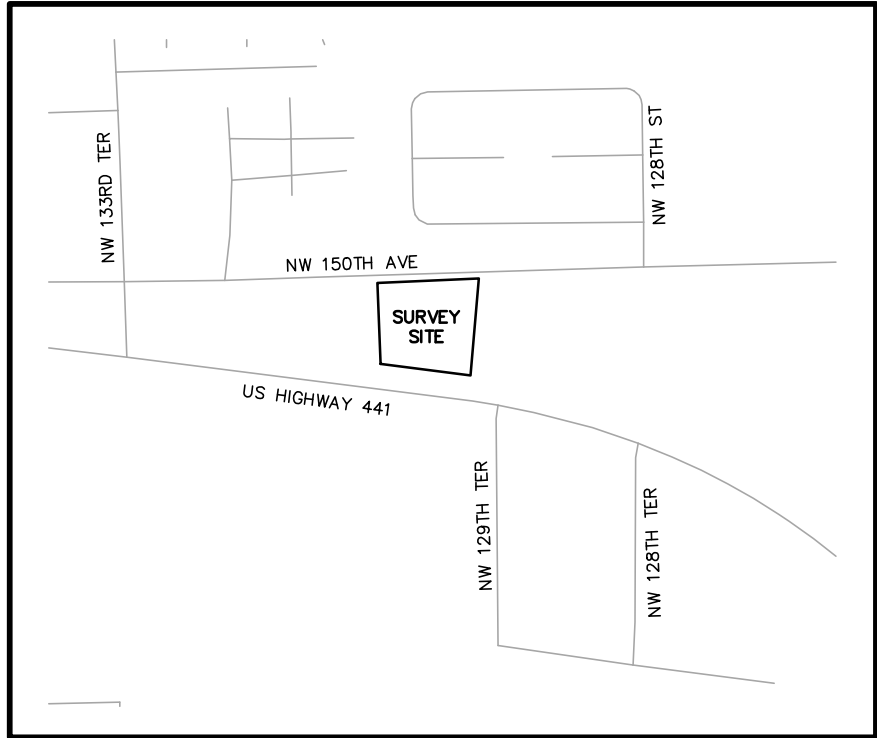
CRAIG R. HEDGECOCK, PE/PSM	DATE
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DRIVEWAY & PARKING AREA STRIPING PLAN

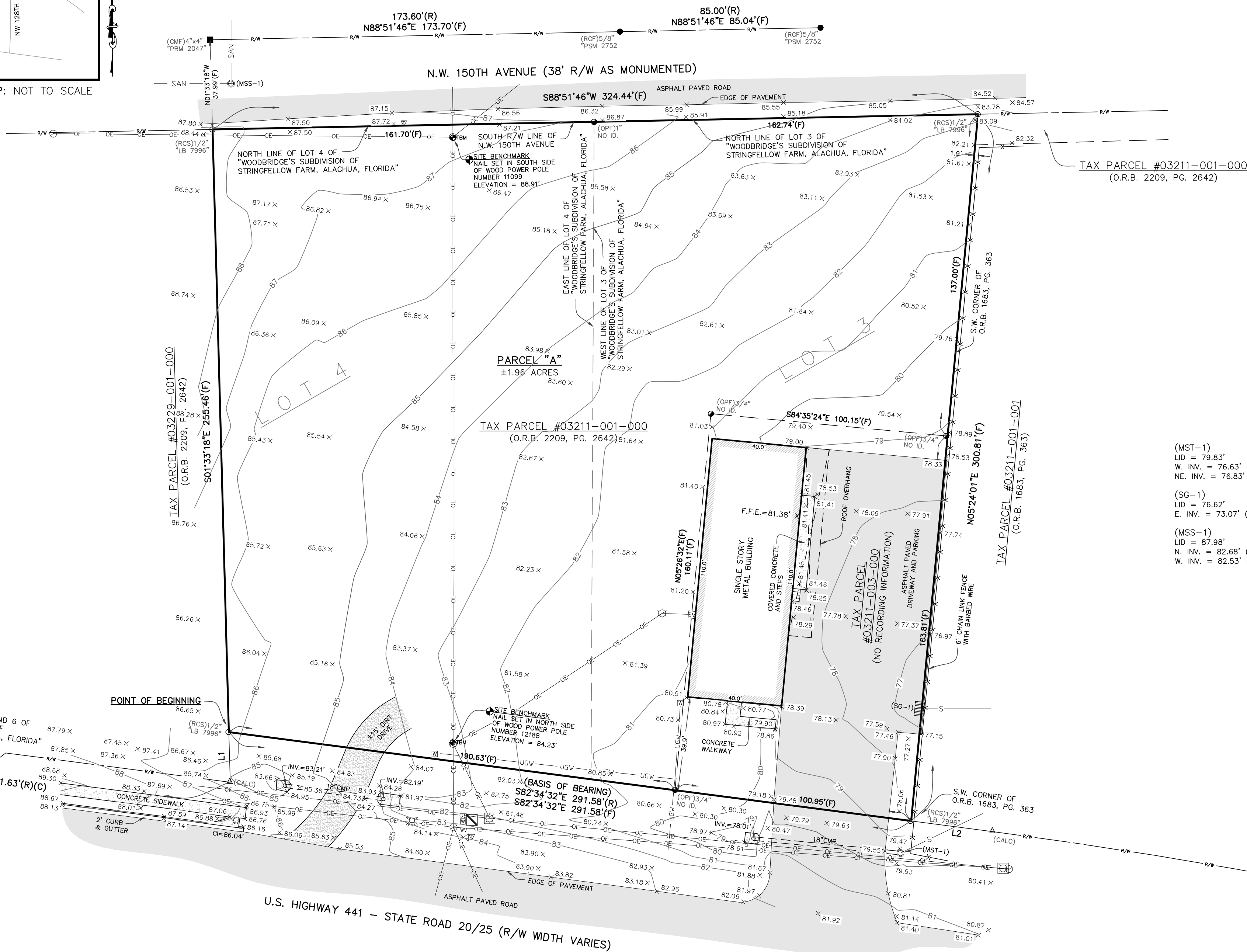
PREPARED FOR: DREYER'S DKI
14619 NW US HIGHWAY 441 - TAX PARCEL NO. 03211-003-000
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA



BOUNDARY AND TOPOGRAPHIC SURVEY
A PORTION OF TAX PARCEL #03211-001-000
& TAX PARCEL 03211-003-000
14619 N.W. US HIGHWAY 441
ALACHUA, FL 32615
SECTION 14, TOWNSHIP 08 SOUTH, RANGE 18 EAST
ALACHUA COUNTY, FLORIDA



LOCATION MAP: NOT TO SCALE



(MST-1)
LID = 79.83'
W. INV. = 76.63' (18"RCP)
NE. INV. = 76.63' (18"RCP)

(SG-1)
LID = 76.62'
E. INV. = 73.07' (18"CMP)

(MSS-1)
LID = 87.98'
N. INV. = 82.68' (6"VCP)
W. INV. = 82.53' (6"VCP)

LAND DESCRIPTION: PARCEL "A" (PREPARED BY THIS FIRM)

A PARCEL OF LAND LOCATED IN SECTION 14, TOWNSHIP 08 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, BEING A PORTION OF LOTS 3 AND 4 OF "WOODBIDGE'S SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA", AS RECORDED IN PLAT BOOK "C", PAGE 68-A, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 6 OF SAID "WOODBIDGE'S SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA", AND BEING ON THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (RIGHT-OF-WAY WIDTH VARIES); THENCE SOUTH 82°34'32" EAST, ALONG THE SOUTH LINE OF LOTS 6, 5, AND 4 OF SAID "WOODBIDGE'S SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA", AND ALONG SAID NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, A DISTANCE OF 851.63 FEET; THENCE, LEAVING SAID SOUTH LINE OF LOTS 6, 5, AND 4, NORTH 01°33'18" WEST, A DISTANCE OF 21.26 FEET TO A 1/2" REBAR & CAP (LB 7996) AND THE POINT OF BEGINNING; THENCE, CONTINUE ALONG SAID NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, SOUTH 82°34'32" EAST, A DISTANCE OF 291.58 FEET TO A 1/2" REBAR & CAP MARKING THE SOUTHWEST CORNER OF THAT PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 1683, PAGE 363; THENCE, LEAVING SAID NORTH RIGHT-OF-WAY LINE, NORTH 05°24'01" EAST, ALONG THE WEST LINE OF SAID PARCEL OF LAND AND ALONG THE NORTHERLY PROJECTION THEREOF, A DISTANCE OF 300.81 FEET TO A 1/2" REBAR & CAP (LB 7996) ON THE NORTH LINE OF LOT 3 OF SAID "WOODBIDGE'S SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA", AND BEING ON THE SOUTH RIGHT-OF-WAY LINE OF N.W. 150TH AVENUE (38 FOOT RIGHT-OF-WAY AS MONUMENTED); THENCE SOUTH 88°51'46" WEST, ALONG THE NORTH LINE OF SAID LOTS 3 AND 4, AND ALONG SAID SOUTH RIGHT-OF-WAY LINE OF N.W. 150TH AVENUE, A DISTANCE OF 324.44 FEET TO A 1/2" REBAR & CAP (LB 7996); THENCE, LEAVING SAID NORTH AND SOUTH LINES, SOUTH 01°33'18" EAST, A DISTANCE OF 255.46 FEET TO THE POINT OF BEGINNING, CONTAINING 1.96 ACRES, MORE OR LESS.

SURVEYOR'S NOTES:

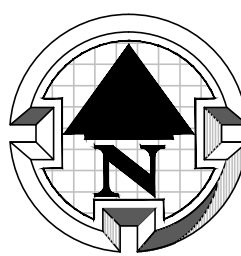
1. SURVEY BASED ON MONUMENTATION FOUND AND ACCEPTED AND ON "WOODBIDGE'S SUBDIVISION OF STRINGFELLOW FARM, ALACHUA, FLORIDA" AS RECORDED IN PLAT BOOK "C", PAGE 68-4 OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.
2. BEARINGS ARE BASED ON A RECORDED CALL OF SOUTH 82°34'32" EAST FOR THE NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 AS RECORDED IN OFFICIAL RECORDS BOOK 2039, PAGE 2756.
3. LAND DESCRIPTION WAS PREPARED BY THIS FIRM.
4. VERTICAL DATUM IS BASED ON NAVD 1988 AS ESTABLISHED BY TRIMBLE "VRS NOW" GPS SURVEY NETWORK USING FLORIDA DEPARTMENT OF TRANSPORTATION VERTICAL CONTROL POINTS "175 E 1" AND "175 D 1".
5. THE DIGITAL SIGNATURE AND SEAL AS SHOWN ON THIS SURVEY ARE ONLY VALID FOR THIS ELECTRONIC PDF SURVEY FILE.
6. THE PRINTED SURVEY AND REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
7. UNLESS NOTED, NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS WERE LOCATED FOR THIS SURVEY.
8. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAYS, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
9. ONLY ABOVE GROUND UTILITIES WERE LOCATED FOR THIS SURVEY.
10. NORTH ARROW IS BASED ON BEARING STRUCTURE.
11. CERTIFICATION IS NOT TRANSFERABLE.
12. THE PURPOSE OF THIS SURVEY IS TO SHOW BOUNDARY INFORMATION AND IMPROVEMENTS. IT IS NOT TO BE USED FOR ARCHITECTURAL, ENGINEERING, DESIGN OR CONSTRUCTION PURPOSES.
13. FENCES, SYMBOLS, MONUMENTATION AND UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND MAY NOT BE SHOWN TO SCALE.
14. COPIES AND ELECTRONIC FILES OF THIS SURVEY ARE ONLY AVAILABLE TO THE CLIENT FOR 90 DAYS FROM THE DATE OF SIGNATURE. AFTER 90 DAYS, A MINIMUM FEE OF 50% OF THE ORIGINAL SURVEY COST WILL BE ASSESSED.
15. THIS SURVEY COMPLIES WITH THE FLORIDA STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES.
16. THIS SURVEY WAS PREPARED WITHOUT THE PRIVILEGE OF TITLE OR OWNERSHIP INFORMATION, AND AS SUCH IS SUBJECT TO ANY AND ALL LAND RIGHTS THAT AN ACCURATE TITLE SEARCH WILL REVEAL. THIS SURVEYOR IS NOT LIABLE FOR ANY ERRORS CAUSED BY LACK OF THIS INFORMATION OR OMISSIONS FROM THIS SURVEY THAT SAID TITLE RESEARCH WOULD REVEAL.

FLOOD ZONE:

IT IS THE OPINION OF THIS LAND SURVEYOR BASED ON AN INTERPRETATION OF F.I.R.M. PANEL NO. 140 OF 640, COMMUNITY PANEL No. "120664 0140 D" THAT THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), MAP EFFECTIVE DATE JUNE 16, 2006.

LEGEND:

- (R) RECORD MEASUREMENT
- (F) FIELD MEASUREMENT
- (C) CALCULATED MEASUREMENT
- ID. IDENTIFICATION
- R/W RIGHT-OF-WAY
- O.R.B. OFFICIAL RECORDS BOOK
- PG. PAGE
- F.F.E. FINISHED FLOOR ELEVATION
- CI CURB INLET
- RCP REINFORCED CONCRETE PIPE
- CMF CORRUGATED METAL PIPE
- VCP VITRIFIED CLAY PIPE
- INV. INVERT
- Δ (CALC) CALCULATED CORNER
- (RCS) REBAR & CAP SET
- (RCF) REBAR & CAP FOUND
- (IRF) IRON ROD FOUND
- (CMF) CONCRETE MONUMENT FOUND
- (OPF) OPEN PIPE FOUND
- CONCRETE LIGHT POLE
- WOOD LIGHT POLE
- WOOD POWER POLE
- WATER METER
- WATER VALVE
- (SG) STORM GRATE
- ELECTRIC TRANSFORMER
- (MST) STORM WATER MANHOLE
- (MSS) SANITARY SEWER MANHOLE
- TELEPHONE PEDESTAL
- ELECTRIC METER
- FENCE LINES
- OVERHEAD ELECTRIC LINES
- UNDERGROUND WATER



SCALE: 1" = 30'
DEREN LAND SURVEYING
"ACCURACY COUNTS - KNOW YOUR BOUNDARIES"

LINE TABLE	
LINE #	LINE BEARING AND DISTANCE
L1	N01°35'32"W 21.26'(R) N01°33'18"W 21.26'(C)
L2	S82°34'32"E 34.67'(R) S82°34'32"E 34.67'(C)

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	TANGENT
C1	243.31'(C)	2372.86'(R) 2372.86'(C)	05°52'30"(C)	121.76'(C)

CERTIFY SURVEY TO:
DREYER'S CLEANING & RESTORATION, INC.
MEGAHEE ENTERPRISES LTD., LLLP
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
FISHER, TOUSEY, LEAS & BALL, P.A.

DATE OF BOUNDARY SURVEY: 01-25-2018; 01-31-2018
DATE OF TOPOGRAPHIC SURVEY: 09-23-2019
DATE OF DRAWING: 10-10-2019
DATE OF SIGNATURE:

REVISION: (02-20-2018) CORRECTED PREPARED LAND DESCRIPTION
REVISION: (10-10-2019) ADDED TOPOGRAPHIC DATA

SCALE: 1" = 30'

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

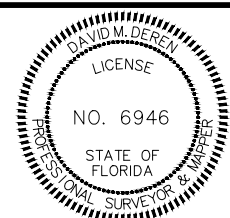
PAGE 1 OF 1

DATE: 10-10-2019

DRAWN BY: GUY/JAT

FIELD BOOK: 357/71-72; 394/01

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PROFESSIONAL SURVEYOR & MAPPER FLA.CERT. 6946

JOB NO. 18030

ACAD FILE: 19-18030-1

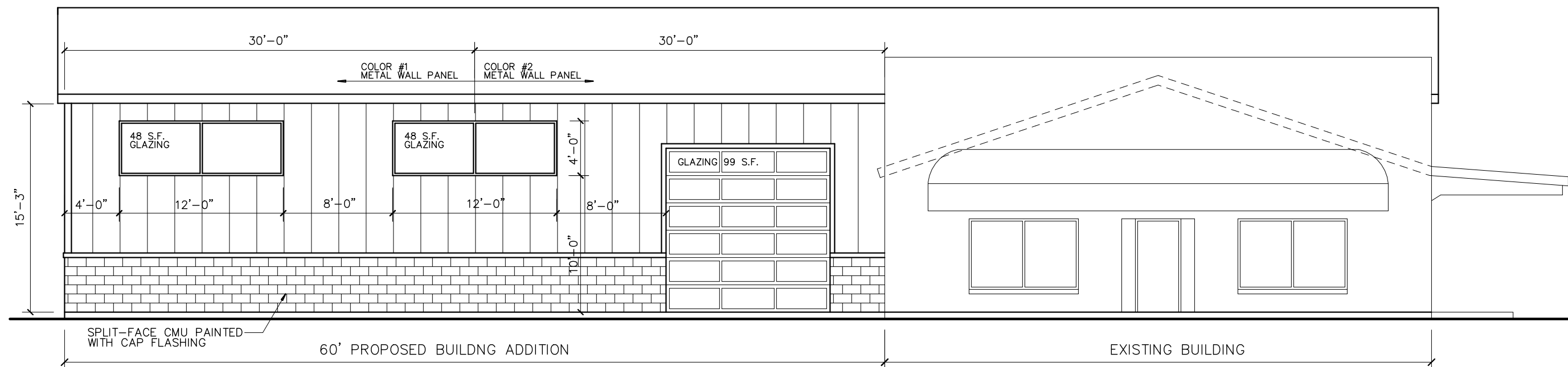
DAVID M. DEREN P.S.M.
4605 N.W. 6TH STREET, SUITE H
GAINESVILLE, FLORIDA 32609

PHONE: (352) 331-0010
PHONE: (352) 336-3363
FAX: (352) 336-1084
DERENLANDSURVEYING.COM



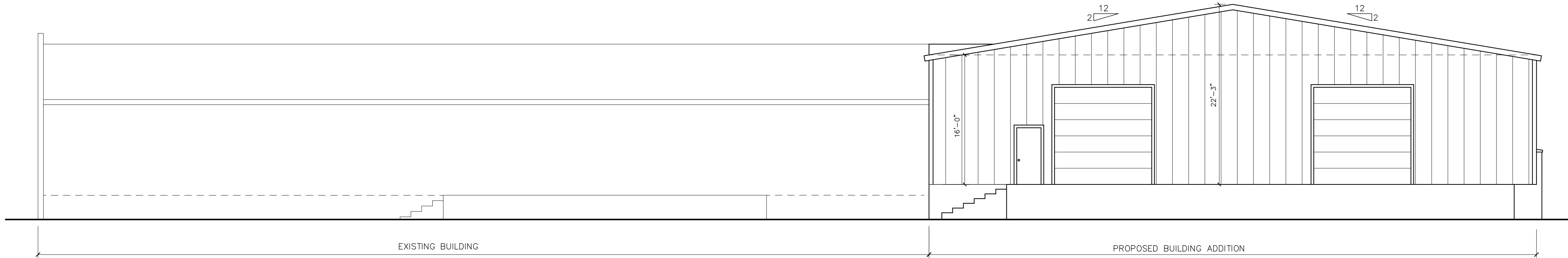
FLOOR PLAN

$$1/8'' = 1' - 0''$$

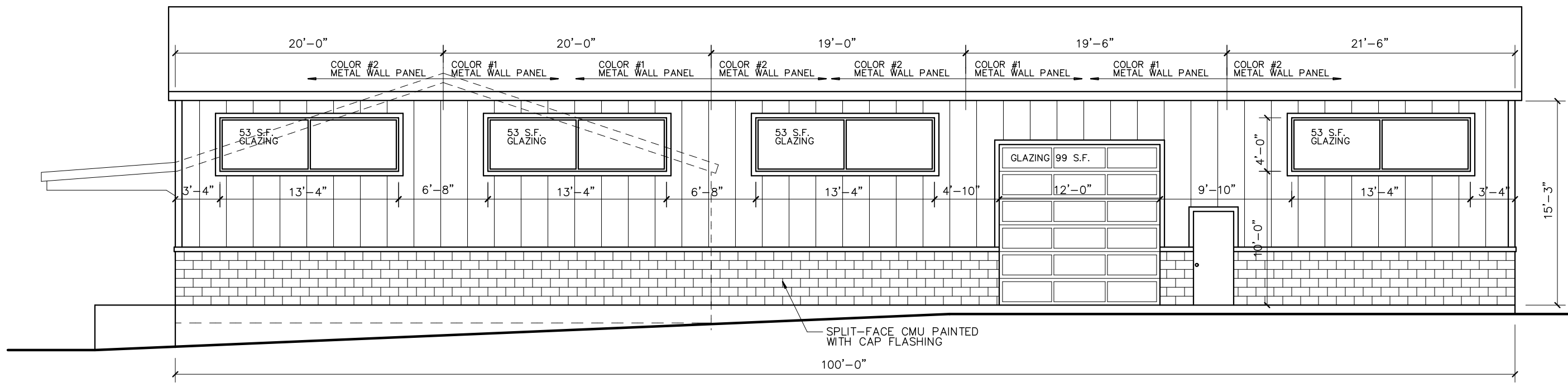



SOUTH ELEVATION
1/8"=1'-0"

NEW FACADE AREA: 915 S.F.
GLAZING AREA (20%): REQUIRED 183 S.F.
GLAZING AREA (20%): PROVIDED 195 S.F.
METAL AREA: 454 S.F. (LESS THAN HALF OF FACADE)

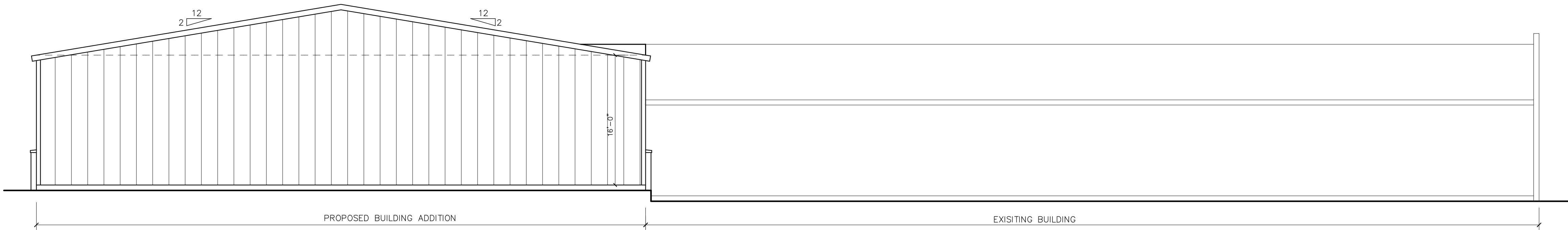


EAST ELEVATION
1/8"=1'-0"

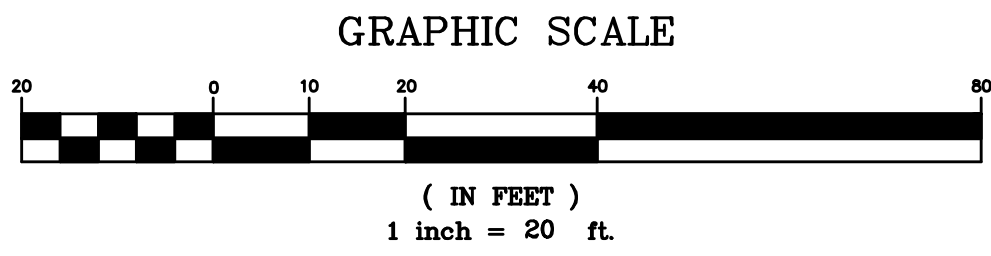
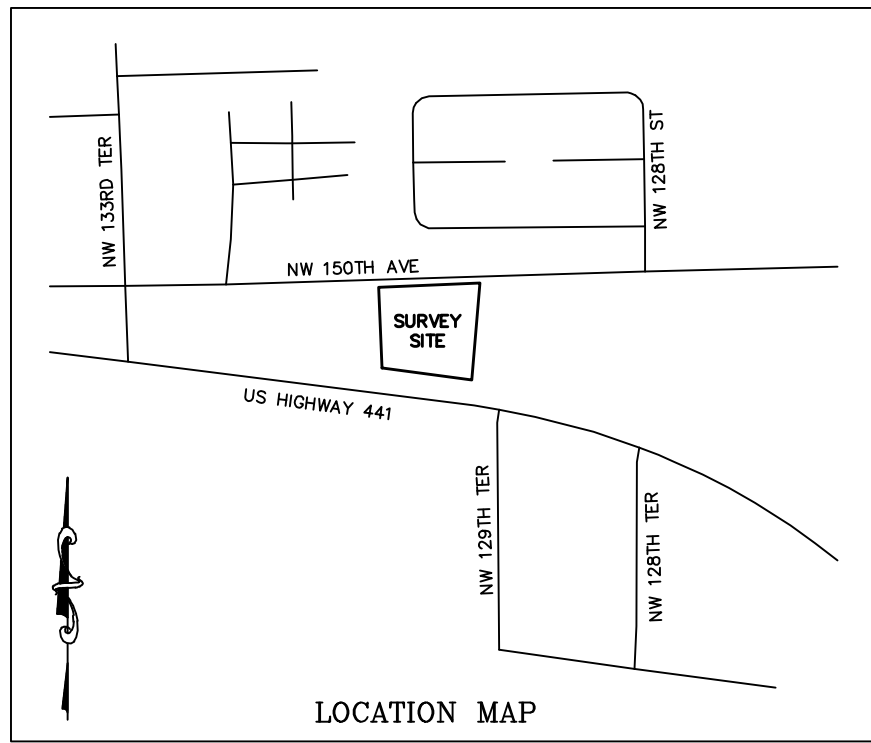


NORTH ELEVATION
1/8"=1'-0"

NEW FACADE AREA: 1,540 S.F.
GLAZING AREA (20%): REQUIRED 308 S.F.
GLAZING AREA (20%): PROVIDED 311 S.F.
METAL AREA: 711 S.F. (LESS THAN HALF OF FACADE)



WEST ELEVATION
1/8"=1'-0"



SITE PLAN

PREPARED FOR: DREYER'S DKI

TAX PARCEL 03211-003-000

14619 N.W. US HIGHWAY 441

ALACHUA, FL 32615

SECTION 14, TOWNSHIP 08 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA

FLORIDA FIRE PROTECTION CODE

16.4.3.1.3.1

Completion of the water mains and hydrants may be on an alternate schedule approved by the fire official.

Cross Reference of Building Construction Types										
(Table 18.4.5.1 Construction Types Designation Per NFPA 220: NFPA 5000)										
NFPA 220 NFPA 5000	I(443)*	I(332)	II(222)	II(111)	II(000)	III(211)	III(200)	IV(2HH)	V(111)	V(000)
IBC/FBC	I-A	I-B	—	II-A	II-B	III-A	III-B	IV	V-A	V-B
SBC	I	II	—	IV 1-hr.	IV unsp	V 1-hr.	V unsp	III	VI 1-hr	VI unsp
UBC	—	I FR	II FR	II 1-hr.	II N	III 1-hr.	III N	IV HT	V 1-hr.	V-N
BNBC	1A	1B	2A	2B	2C	3A	3B	4	5A	5B

Table 18.4.5.1.2

Fire Flow Requirements for Buildings					
Table 18.4.5.1.2 Minimum Required Fire Flow and Flow Duration for Buildings					
Fire Area A* (=0.0929 for m²)					
I(443), I(332), II(222)1	II(111), III(211)*	IV(2HH), V(111)*	III(200), III(000)*	V(000)*1	Fire Flow gpm*2
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	6,201-7,700	2,250
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500
59,001-70,900	33,201-38,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750

NFPA FIRE FLOW = 2250 GPM



FIRE HYDRANT FLOW TEST DATA

Company: Cheshire Companies

Address: 1325 NW 53rd Ave Suite E
Gainesville, FL

Contact: Name/Title: Kyle Chesire
Phone #: 352-494-0062

Hydrant Location: Alachua, FL
(#1) Residual Hydrant: Hwy 441 Across from Gun Otis Dark
Hydrant Location: Alachua, FL
(#2) Flowed Hydrant: Hwy 441 Across from Hunter Marine

Testing: Year: 2019 Date: 10/30/2019
Technician: Jerry Gentry Time: 8:00 AM

RESULTS

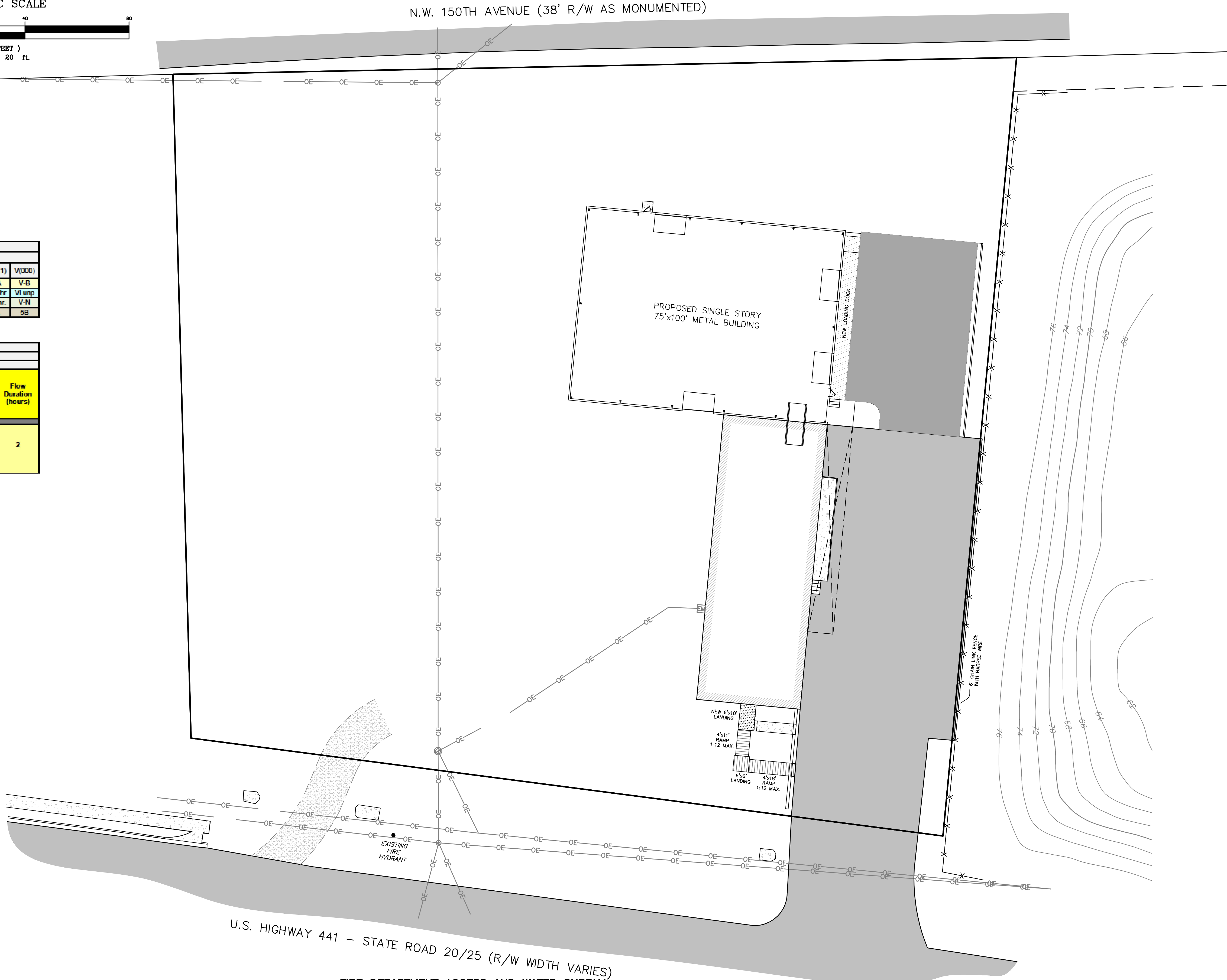
(#1) Residual Hydrant:
Static: 82 PSI
Residual: 65 PSI

(#2) Flowed Hydrant / Hydrants:
Pito: 1 26 PSI 2 25 PSI

Flow: 1 836 GPM 2 639 GPM

Hydrant Flow At 20 PSI: 3375 GPM

Fire Protection Systems - Fabrication - Alarm Systems - FM 100 - TactData Communications - Access Control/CCTV - Fiber Optics - AM Systems
W.W. Gay Fire Protection, Inc. - W.W. Gay Fire Integrated Systems, Inc.



DATE: DECEMBER 4, 2019
DRAWN BY: CRAIG R. HEDGECOCK
CHECKED BY: CRAIG R. HEDGECOCK
DRAWING NO.: DREYER'S SPA

CRAIG R. HEDGECOCK
ENGINEERS - PLANNERS - SURVEYORS
27 N.W. 48TH BOULEVARD
GAINESVILLE, FL 32607 (352) 377-9928

REVISIONS:

NOT VALID UNLESS SIGNED AND SEALED BELOW
FOR REVIEW ONLY
CRAIG R. HEDGECOCK, P.E./P.S.M. NO. 3506 - FLORIDA
P.E. NO. 24851 - P.S.M. NO. 3506 - FLORIDA

FIRE DEPARTMENT ACCESS & WATER SUPPLY PLAN
PREPARED FOR: DREYER'S DKI
14619 NW US HIGHWAY 441 - TAX PARCEL NO. 03211-003-000
CITY OF ALACHUA, ALACHUA COUNTY, FLORIDA

SHEET
1 OF 1