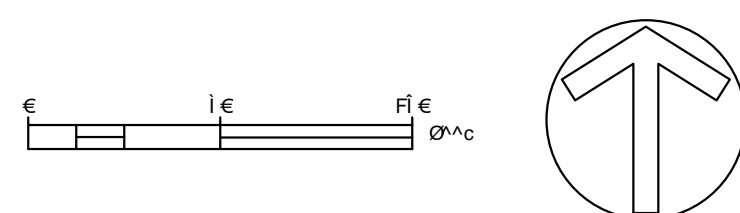
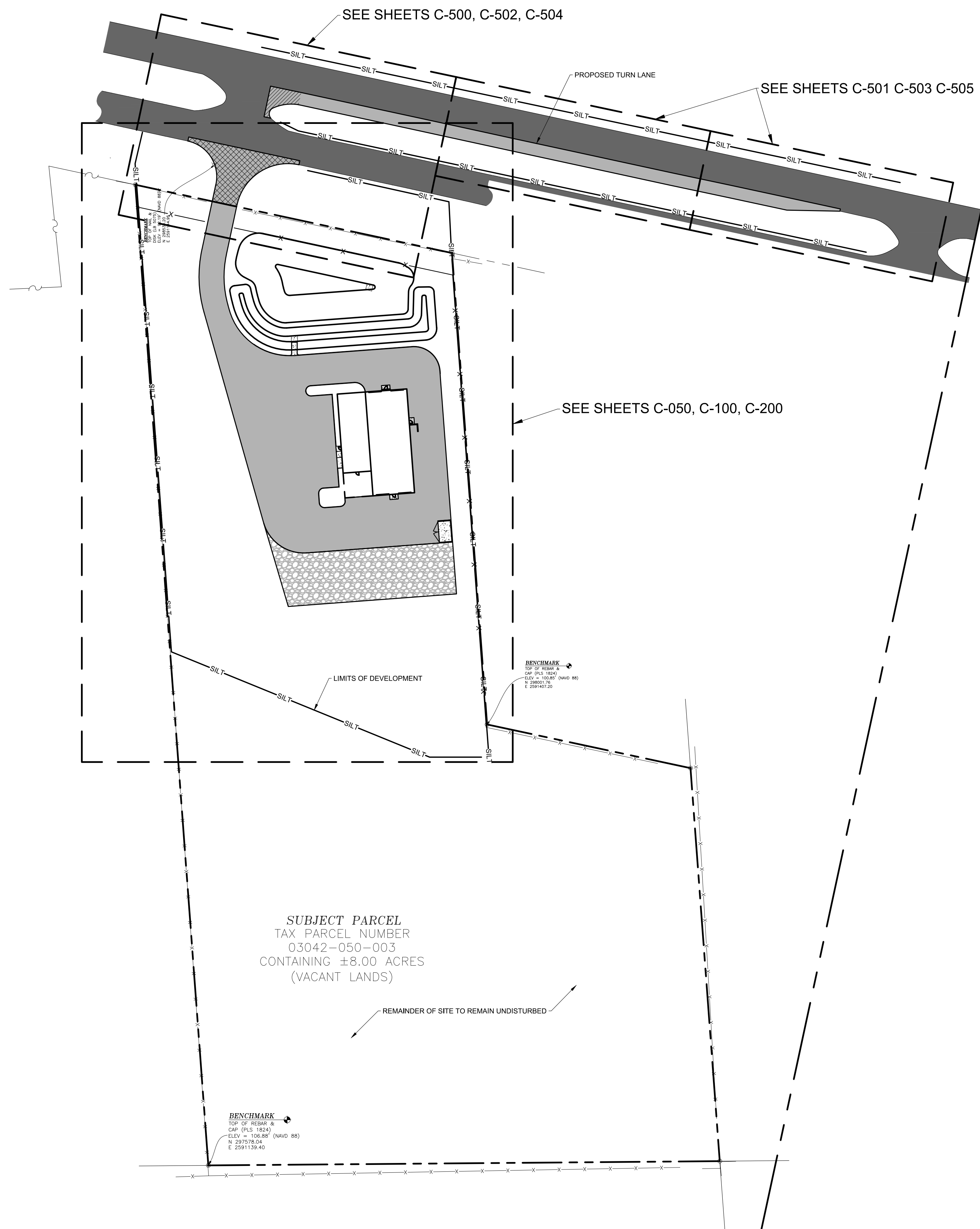
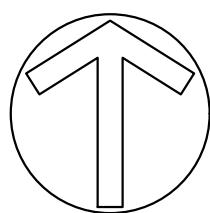


PERSON: JEFF HOFFERBOUX QUINCY O'NEAL IV VORKOORKEGEER FEE JEFF FIK GALT KALUSUVAUOTSOMFEE KALUSUWVVOOKKEGEER FEE JEGHUKUJUT KANUQUUKT J^A^OJ^ ^A^

[illegible][illegible][illegible]





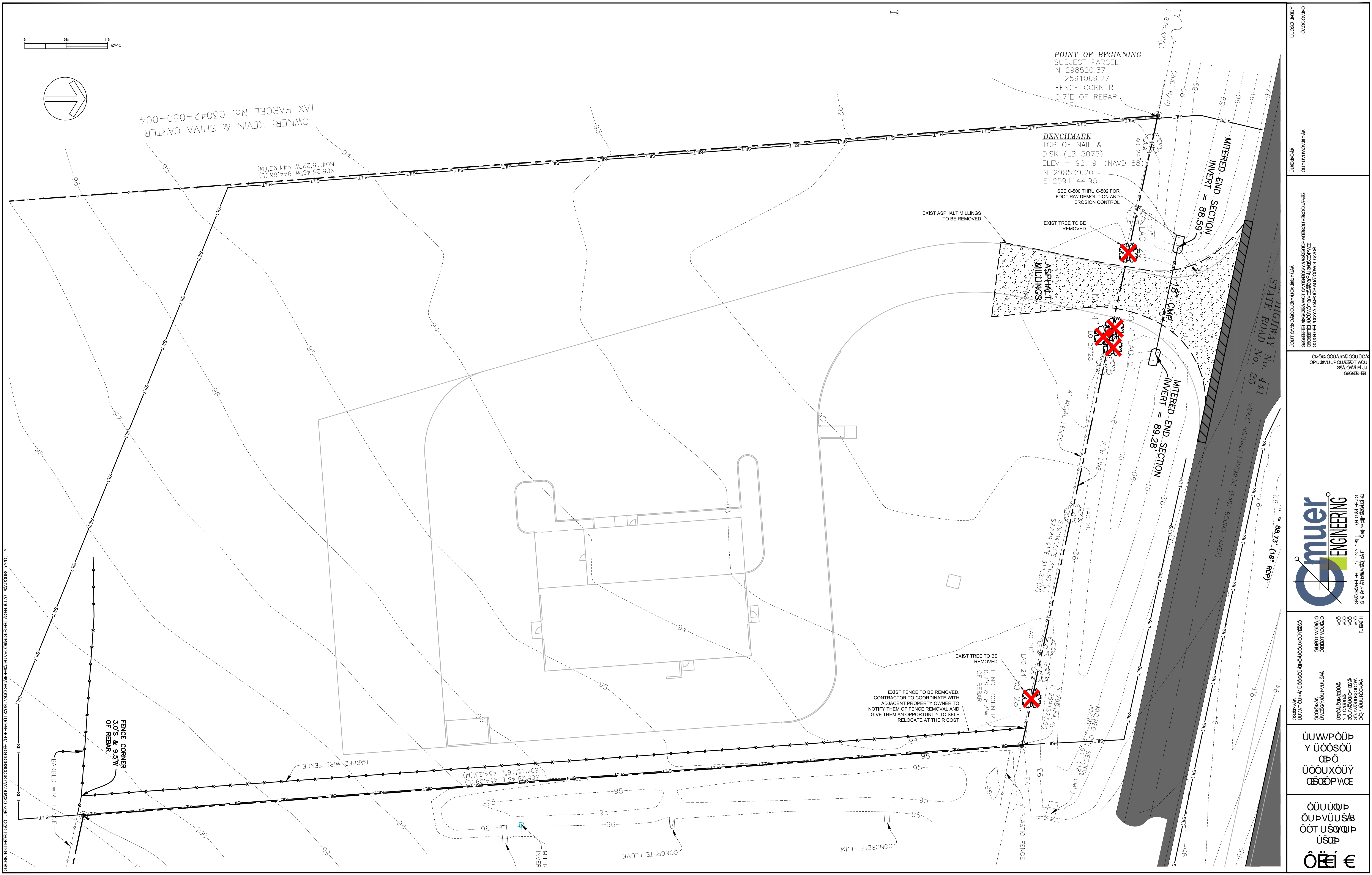
**230MFJEE HÖFEF6P UNVÖUDY Ö ABSOLUVAOX COMPEGETHES FEENE IFFI AEF AU/SUVAJOUTSOMFIF@AU.SU.VVVOOKDEGETHES JEGKUK I AUT ANNUKUFT A^A\{ ^\^!**

[illegible]









CMUER ENGINEERING  
1000 N. 1000 E. SUITE 100  
TAMPA, FL 33602  
TEL: 813.444.1000  
WWW.CMUERENGINEERING.COM

CMUER ENGINEERING  
1000 N. 1000 E. SUITE 100  
TAMPA, FL 33602  
TEL: 813.444.1000  
WWW.CMUERENGINEERING.COM

CMUER ENGINEERING  
1000 N. 1000 E. SUITE 100  
TAMPA, FL 33602  
TEL: 813.444.1000  
WWW.CMUERENGINEERING.COM

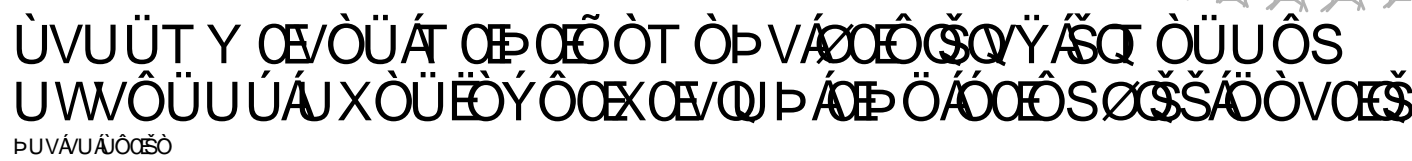
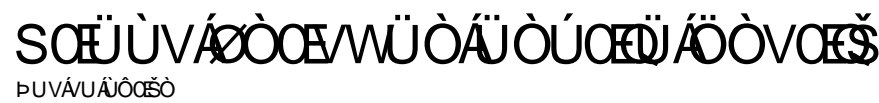
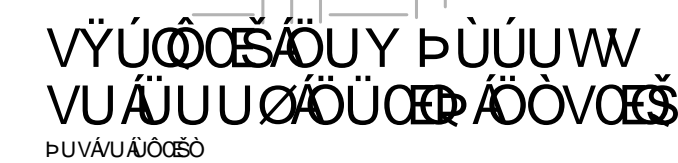








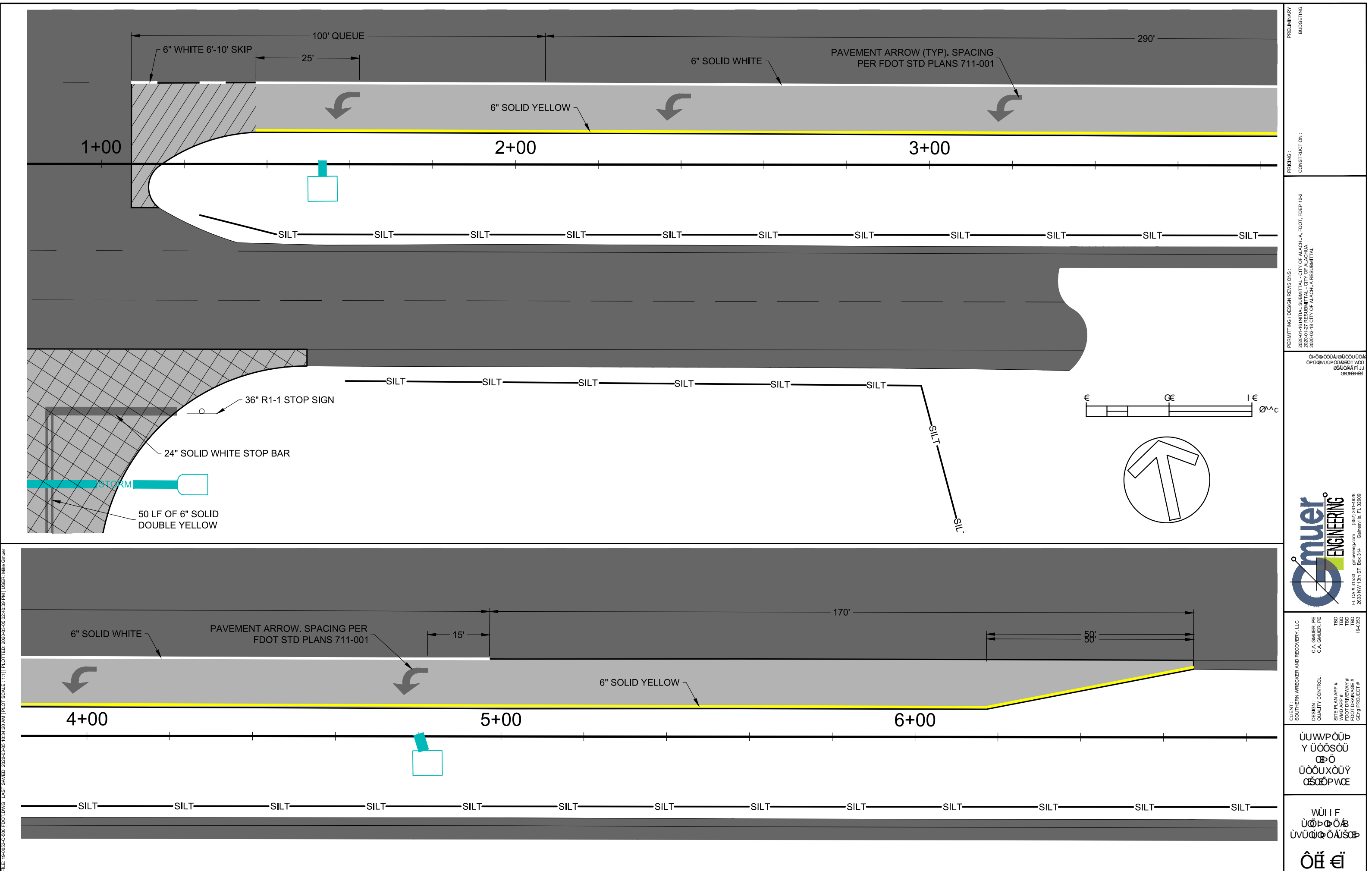
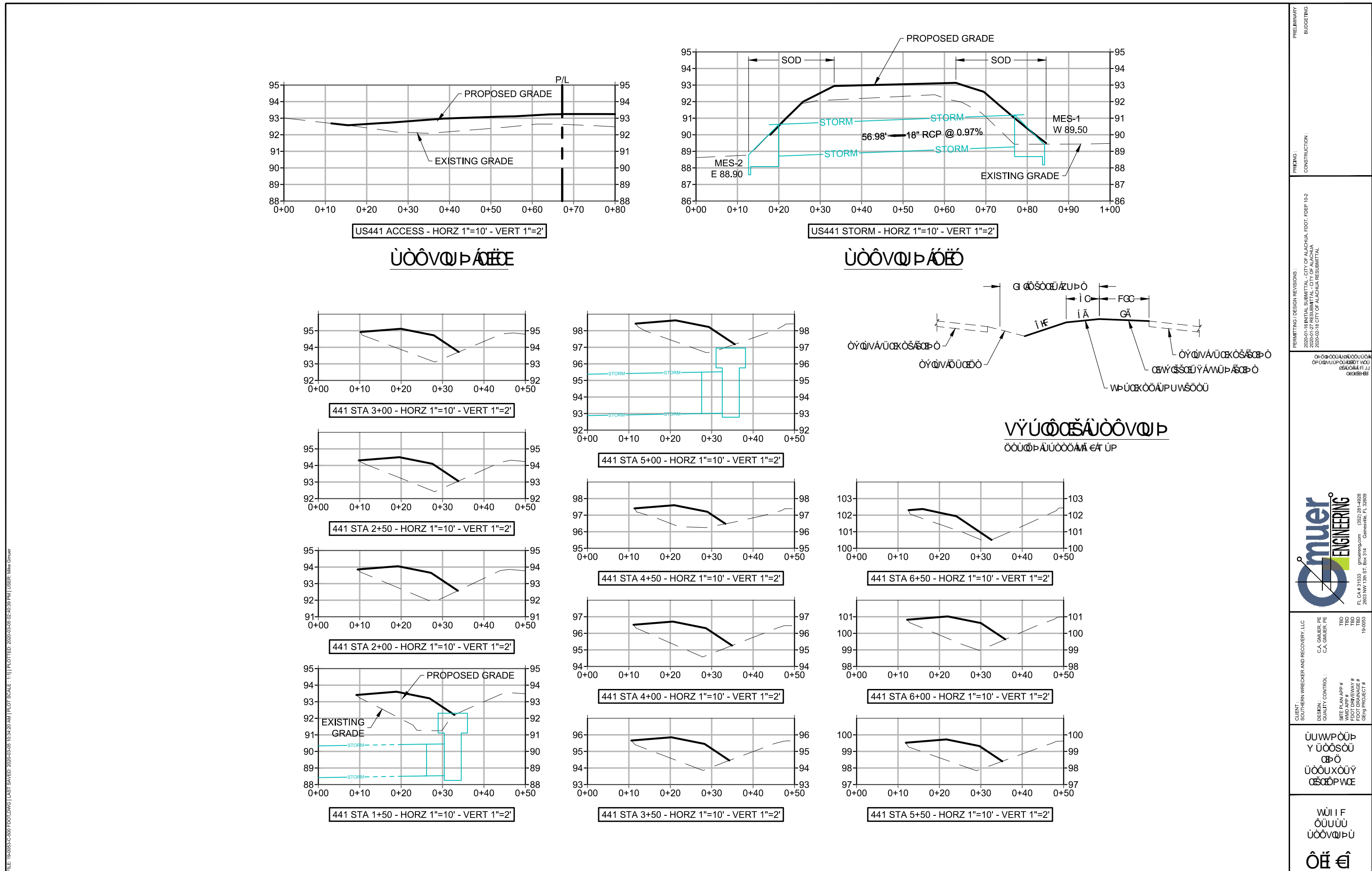
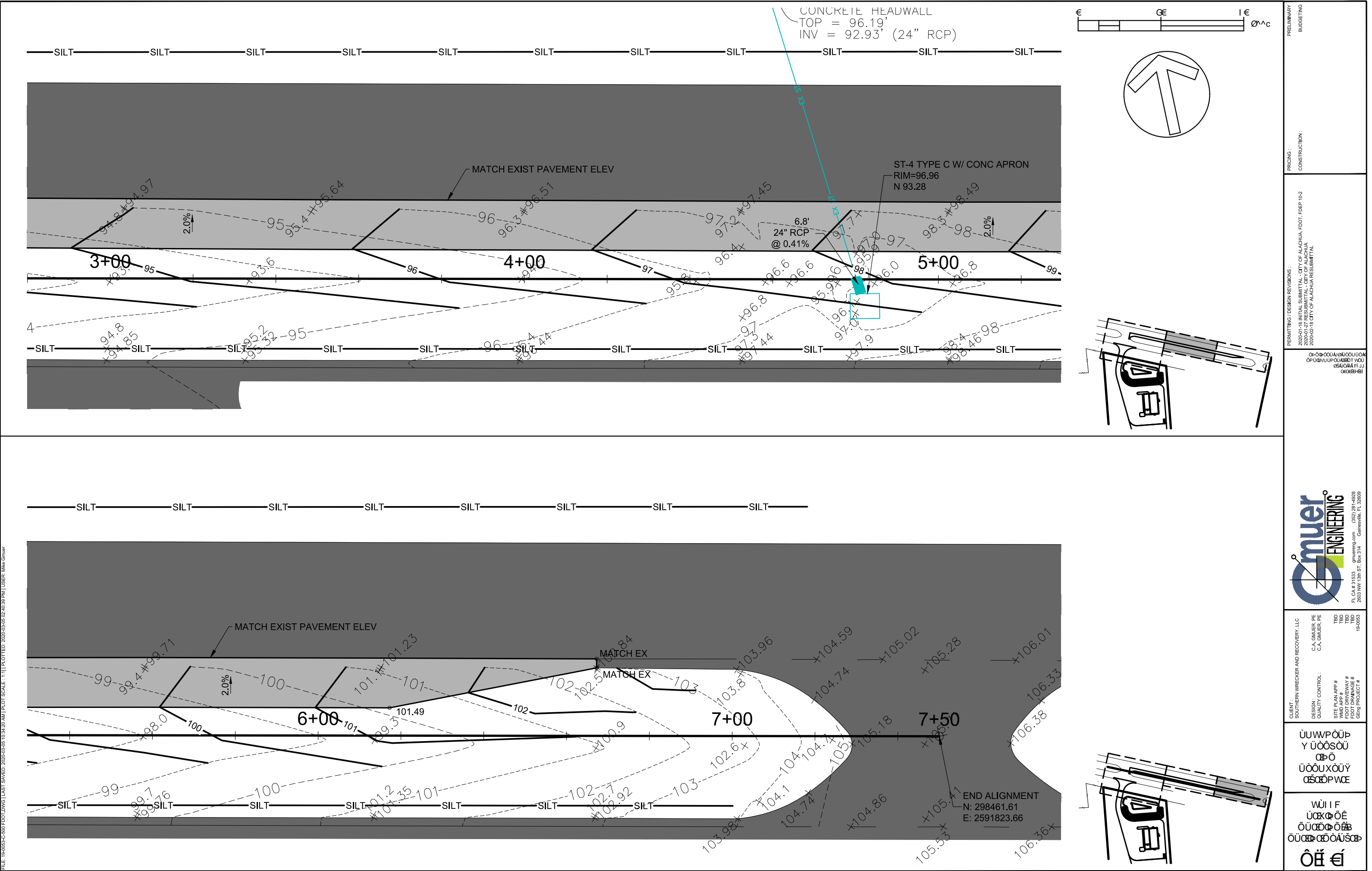
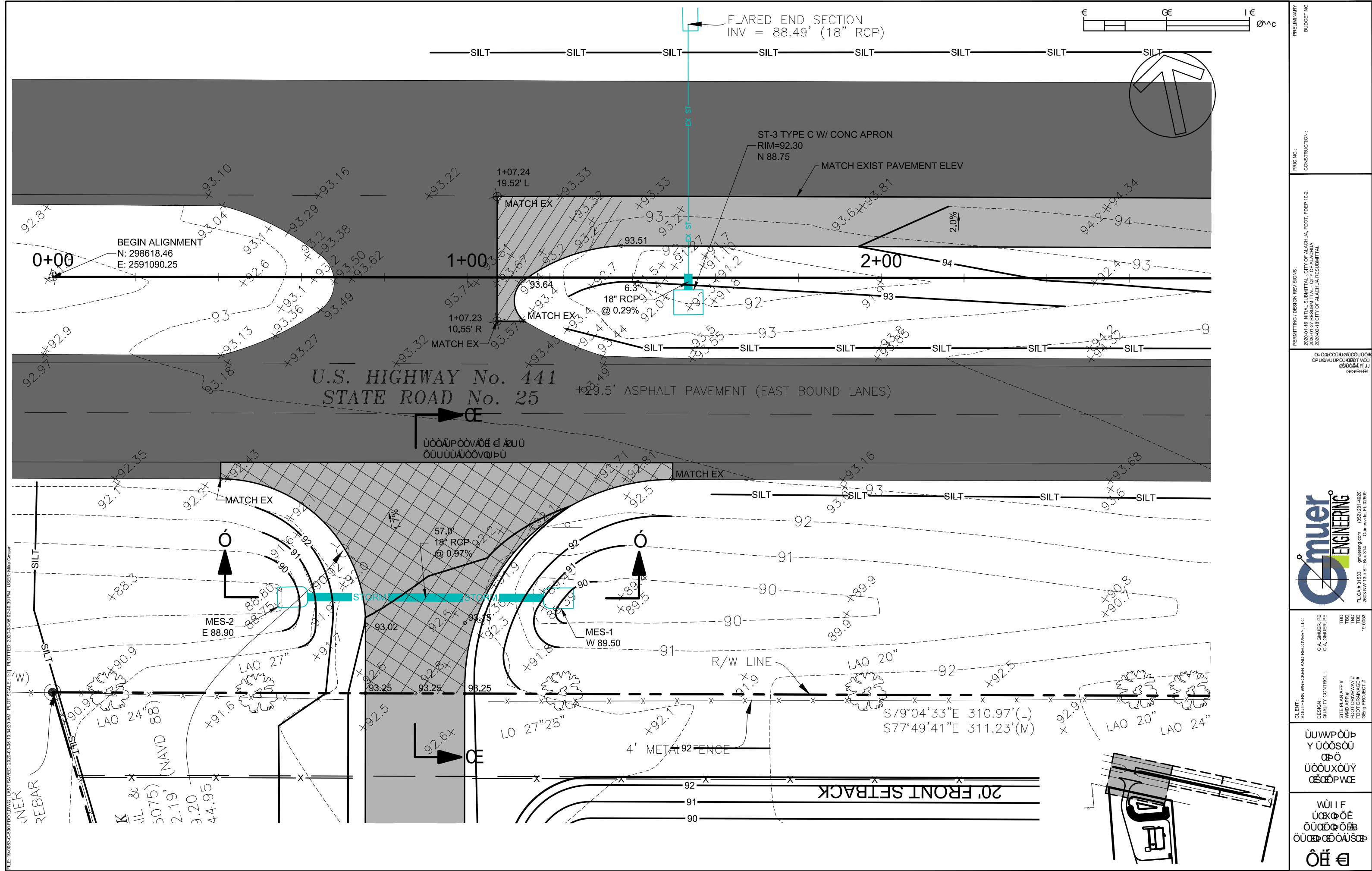












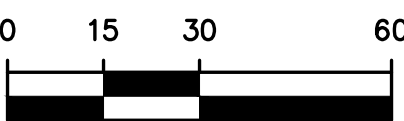






1. HIGHLIGHTED POINTS REPRESENT MAXIMUM/MINIMUM VALUE FOR EACH AREA.
2. FIXTURES WILL BE CONTROLLED WITH PHOTOCELL AND OPERATE DUSK-TO-DAWN.
3. POLES SHALL BE LOCATED MINIMUM 24" BEHIND CURB AND SHALL BE PROVIDED WITH CONCRETE POLE BASE.

Photometric Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building Entrance	+	3.6 fc	5.1 fc	2.4 fc	2:1:1	1.5:1
Parking Lot	+	2.0 fc	4.7 fc	0.5 fc	9.4:1	4.0:1
PROPERTY LINE	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A



**SOUTHERN WRECKER**  
**SITE LIGHTING PLAN**  
**CITY OF ALACHUA, FLORIDA**

SHEET NUMBER

E-1



1 2 3 4 5 6 7 8 9 10  
J  
I  
H  
G  
F  
E  
D  
C  
B  
A  
PLOTDATE: 03/05/2020 2:37 PM USER: SARAH MCERNOTT FILENAME: C:\USERS\SARAH MCERNOTT\BOX\PROJECT\2019\19-054 SOUTHERN WRECKER - GMUER\04\_PRODUCTION\02\_SPL\2020-03-05\_SPL\_3\01\_SHEETS\19-054 SOUTHERN WRECKER\_TR.DWG

EXISTING REGULATED TREES AND REQUIRED MITIGATION

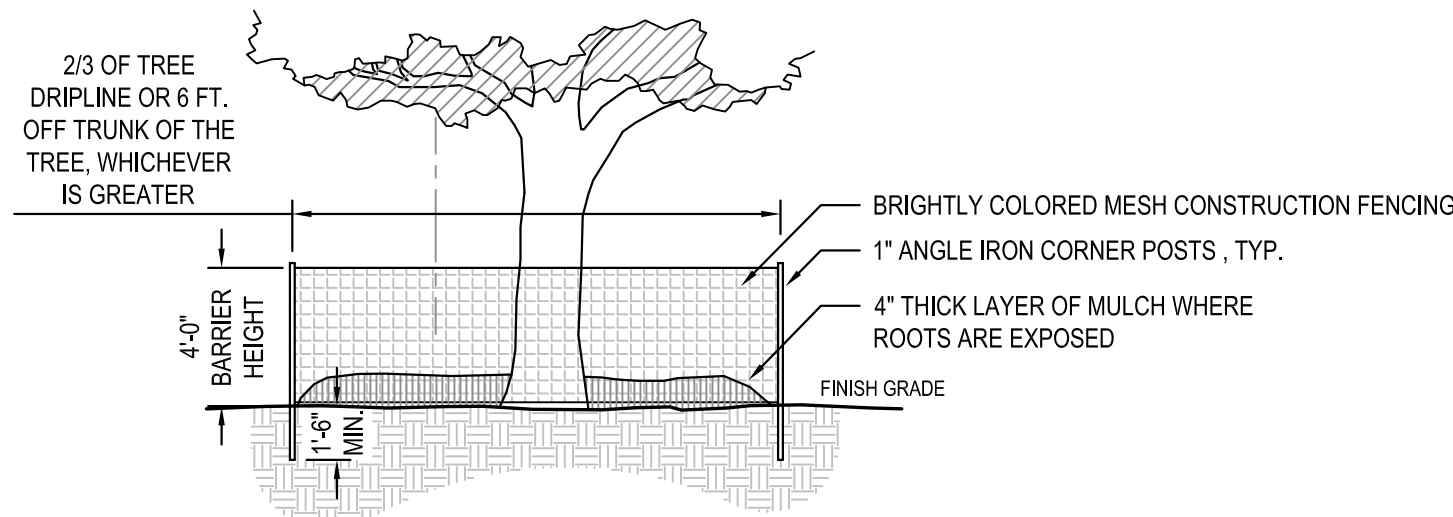
Per City of Alachua ULDR, Article 6., Sec. 6.2.D., Tree planting, relocation, replacement, credit, banking & Sec. 6.2.2.D.4. Landscaping standards, Credits for preservation of existing trees preserved & Table 6.2-3. Credit for existing trees preserved

REQUIREMENTS =

- Tree Mitigation:** New trees shall be installed to replace removed healthy, regulated trees that are 10" DBH and over, excluding those trees on the City's Nuisance Tree List. Removed regulated trees shall be replaced on a 1 tree:1 tree basis. Removed heritage and champion trees shall be replaced on an inchinch basis. Heritage trees are defined as 30" DBH or larger.
- Replacement Trees:** Shall be graded Florida No. 1 or better. Replacement trees shall be of a similar type as that being removed. 50% shall be shade trees and 75% shall be site-specific trees chosen from the recommended tree list.
- Tree Credits:** Where a minimum number of trees are required to meet the landscaping requirements of these land development regulations or an approved planned development, credit shall be given for the retention of healthy existing native trees. No credit will be given for the preservation of trees on the nuisance tree list. Double credit will be given for each preserved healthy heritage tree accommodated by a change in design within portions of the site proposed for development. Tree credits can be used to comply with the landscaping standards for Subsections 6.2.2(D)(1), Site landscaping; 6.2.2(D)(2), Parking lot landscaping; or 6.2.2(D)(3), Perimeter buffers.
- NOTE:** Wild Cherry trees, which exist on this site, are included in the City's Nuisance Tree List, App. 6.2.2.A. and as such do not require mitigation if removed. Wild Cherry trees to remain have not been included as tree credits.
- NOTE:** Up to 25% of trees required for site and parking lot landscaping requirements can be used for mitigation.

NOTE:

- PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL TREES TO BE RETAINED ON THE SITE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
- DO NOT REMOVE EXISTING UNDERSTORY VEGETATION WITHIN TREE BARRICADE AREAS- VEGETATION IS FULFILLING A REQUIREMENT FOR SITE SCREENING. SEE ADDITIONAL NOTES ON LANDSCAPE PLAN.
- DO NOT STORE MATERIALS OR ALLOW ENCRoACHMENT OF VEHICLES OR MACHINERY WITHIN TREE BARRIER AREA. NO BUILDING MATERIALS, DEBRIS, MACHINERY OR HARMFUL CHEMICALS SHALL BE PLACED WITHIN PROTECTIVE BARRIERS. ADDITIONALLY, THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE TREE PROTECTION AREA UNLESS APPROVED BY THE CITY OF ALACHUA DURING SITE PLAN REVIEW: CLEARING OF VEGETATION OTHER THAN BY HAND, COMPACTION, FILLING, OR REMOVAL OF SOIL, AND CONCRETE, ASPHALT, OR OTHER PAVING MATERIALS.
- NO GRADE CHANGES MAY OCCUR WITHIN TREE BARRIER AREA WITHOUT APPROVAL. IF GRADE CHANGES ARE PROPOSED, EITHER A PROTECTIVE DRYWELL AND ROOT AERATION SYSTEM SHALL BE PROVIDED WHERE GRADE IS RAISED OR A PROTECTIVE RETAINING WALL SHALL BE CONSTRUCTED AT THE PERIMETER OF THE PROTECTIVE RADIUS.
- NO ATTACHMENTS SHALL BE SECURED TO TREES DESIGNATED TO REMAIN ON SITE.
- A THREE-INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF ANY EXPOSED ROOTS OF RETAINED REGULATED, HERITAGE, AND CHAMPION TREES AND KEPT WET DURING THE SITE CLEARING AND CONSTRUCTION PHASES.
- ANY RETAINED OR RELOCATED TREE SHALL BE REPLACED IF THE TREE DIES WITHIN ONE YEAR AFTER SITE CLEARING AND CONSTRUCTION.
- ANY ROOT PRUNING AND/OR CANOPY PRUNING OF RETAINED TREES OR EXISTING VEGETATION DURING THE SITE CLEARING OR CONSTRUCTION PHASES SHALL BE DONE IN ACCORDANCE WITH ARBORICULTURAL STANDARDS. THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE" (ANSI A300) AND "PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH—SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.



1 EXISTING TREE PROTECTION DETAIL  
SCALE: N.T.S.

TREE PRESERVATION / REMOVAL LIST

Tree No.	Existing Tree - Scientific / Common Name	Size (DBH)	Remove or Remain?	Mitigation Required	Tree Credit
101	Quercus laurifolia / Laurel Oak	24"	Remain		6
102	Quercus laurifolia / Laurel Oak	27"	Remain		6
103	Quercus laurifolia / Laurel Oak	20"	Remove	1 tree:1 tree	
104	Quercus virginiana / Live Oak	4"	Remove		
105	Quercus laurifolia / Laurel Oak	4"	Remove		
106	Quercus virginiana / Live Oak	5"	Remove		
107	Quercus laurifolia / Laurel Oak	27" 28"	Remain		6 + 6
108	Quercus laurifolia / Laurel Oak	13"	Remain		3
109	Quercus laurifolia / Laurel Oak	20"	Remain		6
110	Not Used				
111	Quercus laurifolia / Laurel Oak	24"	Remain		6
112	Quercus laurifolia / Laurel Oak	28"	Remove	1 tree:1 tree	
Total Mitigation Required by Tree:Tree Replacement:					2
Total Credits Available:					39

SEE LANDSCAPE PLAN FOR LOCATION OF MITIGATION REPLACEMENT TREES AND FOR USE OF TREE CREDITS

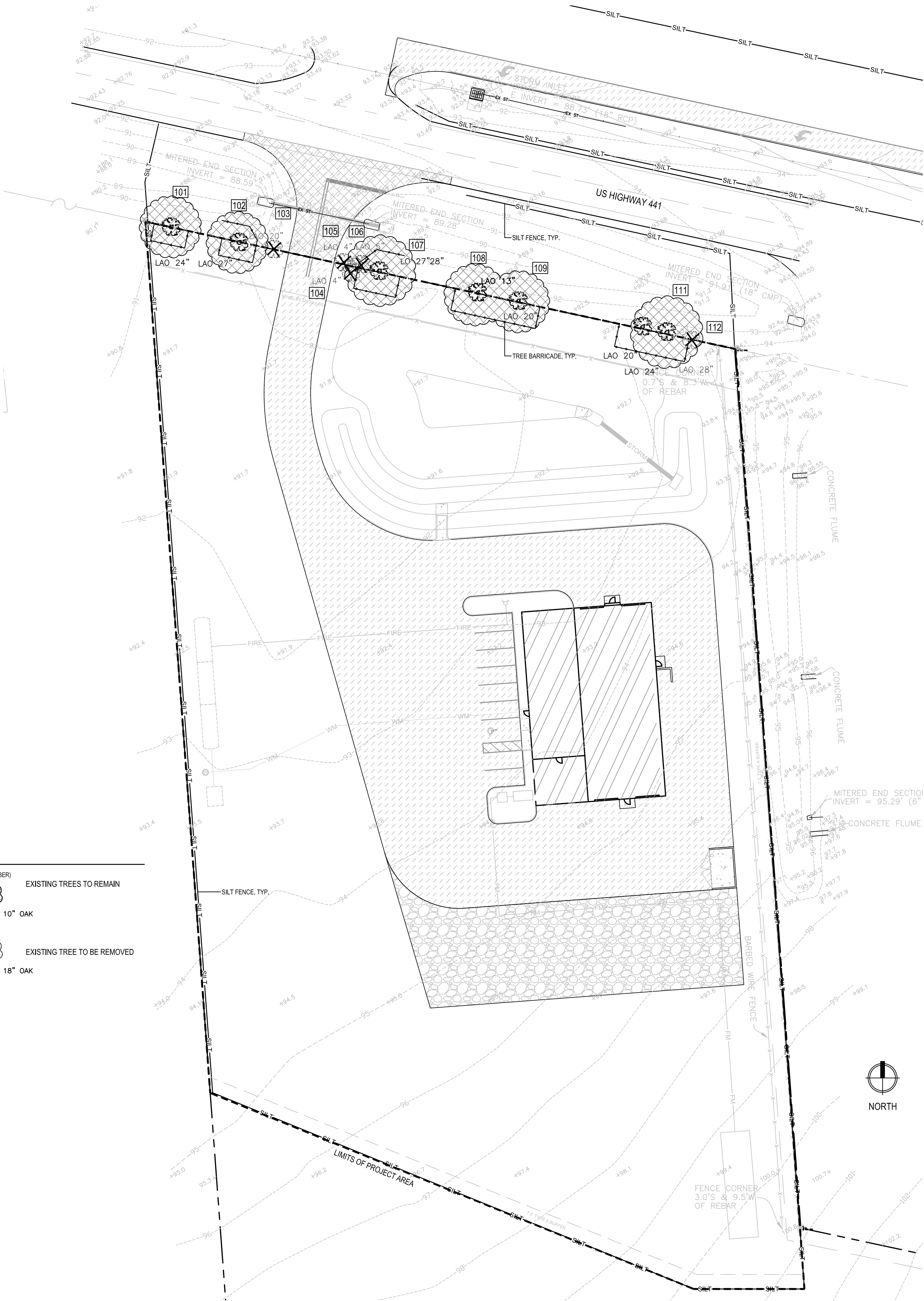
TREE REMOVAL NOTES

- PRE-DESIGN MEETING:** IF REQUESTED BY THE CITY OF ALACHUA, CONDUCT A PRE-DESIGN, ON-SITE MEETING WITH THE LDR ADMINISTRATOR TO LOCATE ANY CHAMPION OR HERITAGE TREES AND OTHER REGULATED TREES AND TO DISCUSS PROTECTION METHODS FOR TREES TO BE RETAINED OR RELOCATED.
- EXISTING TREE PROTECTION:** PROTECTIVE BARRIERS SHALL BE CONSTRUCTED, AS NECESSARY, TO PREVENT THE DESTRUCTION OR DAMAGING OF REGULATED TREES LOCATED NEAR ANY CONSTRUCTION ACTIVITY OR STORAGE OF EQUIPMENT AND MATERIALS. PROTECTED TREES SHALL INCLUDE THOSE TREES THAT HAVE NOT BEEN PERMITTED NOR DESIGNATED FOR REMOVAL BY EITHER THE TERMS OF THE PERMIT OR APPROVED DEVELOPMENT ORDER. PROTECTIVE BARRIERS SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCRoACHMENT BY MACHINERY, VEHICLES, OR STORED MATERIALS. PROTECTIVE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL CONSTRUCTION IS COMPLETED. SEE DETAIL BELOW FOR ADDITIONAL REQUIREMENTS.
- EXISTING UTILITIES:** LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL - SEE LOGO BELOW. A MINIMUM DISTANCE OF TEN FEET SHALL BE MAINTAINED FROM ALL RETAINED REGULATED, HERITAGE, AND CHAMPION TREES WHEN INSTALLING UNDERGROUND UTILITIES. IF THIS RESULTS IN UNREASONABLE HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER THE ROOT SYSTEMS. TREES WHOSE ROOTS ARE KNOWN TO CAUSE ROOT DAMAGE TO PUBLIC ROADWAYS OR OTHER PUBLIC WORKS SHALL NOT BE PLANTED WITHIN 15 FEET OF A PUBLIC UTILITY.
- TREE REMOVAL:** TREE REMOVAL SHALL BE CONDUCTED BY A LICENSED GENERAL CONTRACTOR, LICENSED RESIDENTIAL CONTRACTOR, OR TREE REMOVAL COMPANY. THE ENTITY RESPONSIBLE FOR REMOVAL OF THE TREE OR TREES SHALL HAVE A CURRENT OCCUPATIONAL LICENSE GRANTED BY THE JURISDICTION IN WHICH THE COMPANY IS LOCATED. PROOF OF CURRENT OCCUPATIONAL LICENSE SHALL BE SUBMITTED AT THE TIME OF APPLICATION FOR TREE REMOVAL PERMIT OR BUILDING PERMIT. A COPY OF THE TREE REMOVAL PERMIT SHALL BE POSTED ON THE SITE DURING CONSTRUCTION, IF APPLICABLE. SEE 'EXISTING REGULATED TREES AND REQUIRED MITIGATION' CHART FOR ADDITIONAL INFORMATION.



LEGEND

- 101 (TREE NUMBER)  
EXISTING TREES TO REMAIN  
10" OAK
- 106  
EXISTING TREE TO BE REMOVED  
18" OAK



MANLEY DESIGN  
Landscape Architecture • Site Planning

Manley Design, LLC  
224 NW 2nd Avenue, Suite E  
Gainesville, Florida 32601  
(352) 363-7412  
Certificate of Authorization No. LC26000575

PROJECT NAME:

SOUTHERN  
WRECKER  
AND  
RECOVERY

Alachua, FL

for  
Southern Wrecker &  
Recovery LLC

SEAL:  
THIS DOCUMENT SET HAS BEEN DIGITALLY  
SIGNED AND SEALED BY:



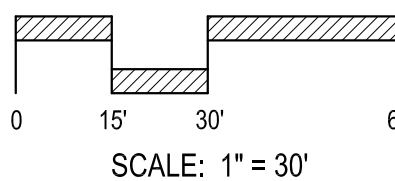
PRINTED COPIES OF THIS DOCUMENT ARE NOT  
CONSIDERED SIGNED AND SEALED. THE  
SIGNATURE MUST BE VERIFIED ON THE  
ELECTRONIC DOCUMENTS. THE ABOVE NAMED  
REGISTERED LANDSCAPE ARCHITECT SHALL BE  
RESPONSIBLE FOR THIS SHEET IN ACCORDANCE  
WITH RULE 61G10-11.011 F.A.C.

PROJECT NO: 19-054  
CLIENT'S NO.: 19-0053 GMUER  
ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 26 NOV 2019  
REVISIONS:

18 FEB 2020  
5 MAR 2020

SCALE:



SHEET TITLE:

TREE REMOVAL AND  
TREE CREDITS PLAN

SHEET NUMBER:

L-101



PLOTDATE: 03/05/2020 2:17 PM    USER: SARAH MCERNOTT  
 FILENAME: C:\USERS\SARAH MCERNOTT\BOX\PROJECT\2019\19-054 SOUTHERN WRECKER - LP.DWG

LANDSCAPE NOTES

- PRE-DESIGN MEETING: IF REQUESTED BY THE CITY OF ALACHUA, CONDUCT A PRE-DESIGN, ON-SITE MEETING WITH THE LDR ADMINISTRATOR TO LOCATE ANY CHAMPION OR HERITAGE TREES AND OTHER REGULATED TREES AND TO DISCUSS PROTECTION METHODS FOR TREES TO BE RETAINED OR RELOCATED.
- EXISTING UTILITIES: LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL - SEE LOGO BELOW. A MINIMUM DISTANCE OF TEN FEET SHALL BE MAINTAINED FROM ALL RETAINED REGULATED, HERITAGE, AND CHAMPION TREES WHEN INSTALLING UNDERGROUND UTILITIES. IF THIS RESULTS IN UNREASONABLE HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER THE ROOT SYSTEMS. TREES WHOSE ROOTS ARE KNOWN TO CAUSE ROOT DAMAGE TO PUBLIC ROADWAYS OR OTHER PUBLIC WORKS SHALL NOT BE PLANTED WITHIN 15 FEET OF A PUBLIC UTILITY.
- VISIBILITY: NO TREE SHALL BE PLANTED WITHIN TEN FEET OF A FIRE HYDRANT OR UTILITY POLE, WITHIN 15 FEET OF A DRIVEWAY APRON, WITHIN 20 FEET OF A TRAFFIC SIGN, OR WITHIN 25 FEET OF AN INTERSECTION IN ORDER TO ENSURE ADEQUATE VISIBILITY.
- REMOVAL OF INVASIVE EXOTIC PLANTS: ALL VEGETATIVE MATERIALS IDENTIFIED IN THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE PLANT SPECIES, AS MOST RECENTLY AMENDED, SHALL BE REMOVED AT TIME OF DEVELOPMENT.
- PLANTING PREPARATION: REMOVE ALL CONSTRUCTION DEBRIS, LIMEROCK, GRAVEL, ROAD BEDDING, LITTER, AND OTHER ITEMS POTENTIALLY DAMAGING TO PLANT GROWTH WITHIN PROPOSED LANDSCAPE AND TURF AREAS PRIOR TO PLANTING. MAINTAIN EXISTING GRADES UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IF FILL IS REQUIRED, USE A CLEAN, SANDY LOAM WITH pH 5.5-6.5 AND EXCAVATED FROM LOCAL SOURCES AND DEEP PITS SUCH THAT IT IS FREE OF WEEDS, SEEDS, LITTER, TOXINS, AND OTHER ITEMS HARMFUL TO PLANTINGS.
- PRUNING: IF TREE OR ROOT PRUNING IS REQUIRED, THESE ACTIVITIES SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE" (ANSI 300) AND "PRUNING, TRIMMING, REPAIRING, MAINTAINING, AND REMOVING TREES, AND CUTTING BRUSH—SAFETY REQUIREMENTS" (ANSI Z133). NO MORE THAN 25 PERCENT OF THE CROWN SHOULD BE REMOVED AT ONE TIME. ON YOUNG TREES, LIMB REMOVAL SHALL LEAVE NO MORE THAN 33 PERCENT OF THE TRUNK BARE OF BRANCHES.
- PLANT MATERIAL, GENERAL: ALL PLANT MATERIAL TO COMPLY WITH 'FLORIDA #1' GRADE QUALITY STANDARD OR BETTER AS DEFINED AND SPECIFIED WITHIN THE LATEST EDITION OF THE 'FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS' AS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRIES. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, PESTS, AND DEFECTS.
- PROPOSED TREES: PROPOSED CANOPY TREES SHALL BE A MINIMUM OF EIGHT FEET TALL WITH 2" MIN. CALIPER. PROPOSED UNDERSTORY TREES SHALL HAVE A CALIPER OF 1 1/2" INCHES.
- PROPOSED SHRUBS AND GROUNDCOVERS: PROPOSED SHRUBS SHALL BE 3-GALLON CONTAINER SIZE AND PROPOSED GROUNDCOVERS SHALL BE 1-GALLON MIN. CONTAINER SIZE.
- NEW TREE STAKING: IF NECESSARY TO MAINTAIN TREES PLUMB, TREES SHALL BE STAKED WITH BIODEGRADABLE STAKING MATERIALS.
- SOD: ALL UNPAVED AND DISTURBED AREAS OUTSIDE OF PROPOSED TREE, SHRUB, AND GROUNDCOVER PLANTINGS SHALL BE SODDED. SEE CIVIL PLANS FOR SODDING INFORMATION FOR STORMWATER FACILITIES. SOD SHALL BE SAND-GROWN, STRONGLY ROOTED, WITHOUT SYNTHETIC STABILIZING MATERIALS, FREE OF PESTS, AND CERTIFIED FREE OF NOXIOUS WEEDS BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY.
- MULCH: THREE INCHES OF MULCH SHOULD COVER TREE RING PLANTING AREAS AND ALL SHRUB AND GROUNDCOVER PLANTING AREAS. MULCH SHOULD BE NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS. USE PINE STRAW MULCH FOR ALL PLANTING AREAS. MULCH TO BE FREE OF DEBRIS, STICKS, AND CONES. NO PLASTIC OR NON-BIODEGRADABLE WEED CLOTH OR SURFACE COVERS TO BE USED.
- IRRIGATION: IRRIGATION WILL BE PROVIDED BY HAND WATERING THROUGH THE PLANT ESTABLISHMENT PERIOD AS AN EFFICIENT, XERISCAPE IRRIGATION SOLUTION. ALL PLANTINGS AREA CONSIDERED FLORIDA FRIENDLY AND LOW WATER USE, AND AS SUCH, WILL NOT REQUIRE SUPPLEMENTAL IRRIGATION POST ESTABLISHMENT. LDR SECTION 6.2.2.D.7.B.vi.c. ALLOWS FOR A WATER SUPPLY WITHIN 50 FT. TO SERVE PROPOSED PLANTINGS TO SUPPLEMENT THROUGH ESTABLISHMENT. HOSE BIBS OR WATER SERVICE WILL BE PROVIDED WITHIN THIS PROXIMITY TO PROPOSED PLANTINGS.
- RESPONSIBILITY: THE OWNER OF THE PARCEL SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PRESERVED, RELOCATED, OR REPLACEMENT TREES. ALL TREES WILL BE INSPECTED BY AN ARBORIST, FORESTER, OR REGISTERED LANDSCAPE ARCHITECT, HIRED BY THE OWNER, WITHIN SIX MONTHS AFTER PLANTING TO ENSURE THE TREES ARE SURVIVING IN A HEALTHY CONDITION. A CERTIFIED REPORT SHALL BE PROVIDED TO THE LAND DEVELOPMENT REGULATIONS ADMINISTRATOR DESCRIBING THE CONDITION OF TREES. TREES FOUND TO BE IN DECLINING CONDITION SHALL BE REPLACED BY THE OWNER OF THE PARCEL WITHIN 30 DAYS OF SUBMITTAL OF THE REPORT. IF REPLACEMENT IS NECESSARY, THERE SHALL BE A REINSPECTION REPORT SUBMITTED WITHIN SIX MONTHS AFTER THE REPLACEMENT REPLANTING. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ALL PLANT LIFE SHOWN ON A LANDSCAPE PLAN SHALL BE REPLACED IF IT DIES, IS SERIOUSLY DAMAGED, OR REMOVED.



FLORIDA FRIENDLY LANDSCAPING PRACTICES

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.C.8: Proposed design adheres to the nine principles of Florida Friendly Landscaping as follows.

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.d.7.b.ix. The amount of any required site or perimeter buffering landscaping may be reduced by 10% if the development area is completely (100%) landscaped using Florida Friendly practices and plant material as certified by a registered landscape architect. This project uses Florida Friendly plant material and qualifies for the 10% reduction - See calculation notes.

- Right Plant Right Place - Proposed plant materials are Florida-friendly species that are well adapted to the project's location. Plants are located outside of traffic and security view zones. Plants are also located outside of the required offset distances from underground and overhead utilities as per GRU requirements.
- Water Efficiently - See Note 13, Landscape Notes Above.
- Fertilize Appropriately - Reference 'maintenance recommendations' below.
- Mulch - Mulching is proposed for all planting areas. Mulch to be of a type per City of Alachua requirements. Reference planting details, notes, and below recommendations.
- Attract Wildlife - Proposed plants are either Florida native or Florida friendly species that offer habitat for wildlife cover and nesting. Some proposed species offer berries attractive to local bird species, and proposed Oaks and Elms attract birds, butterflies, and other species regarding blooms and seeds.
- Manage Yard Pests Responsibly- Proposed pest management will be per best management practices.
- Recycle Yard Waste - Yard waste will be disposed of as required within Alachua County and the City of Alachua.
- Reduce Stormwater Runoff - Stormwater management meets regulating agency requirements. See Civil plans.
- Protect the Waterfront - Wetland areas are protected as per Water Management Division and City of Alachua requirements. See Civil plans.

As a Registered Landscape Architect and as per the seal on this drawing sheet, I certify that the project meets the above Florida Friendly landscape best practices.

TREE CREDITS & TREE MITIGATION

Per City of Alachua ULDR, Article 6, Sec. 6.2.1.D, Tree Protection/Landscape/Xeriscape Standards

Use of Credits: Where a minimum number of trees are required to meet the landscaping requirements of these land development regulations or an approved planned development, credit shall be given for the retention of healthy existing native trees. No credit will be given for the preservation of trees on the nuisance tree list. Double credit for will be given for each preserved healthy heritage tree accommodated by a change in design within portions of the site proposed for development. Tree credits can be used to comply with the landscaping standards for Subsections 6.2.2(D)(1), Site landscaping; 6.2.2(D)(2), Parking lot landscaping; or 6.2.2(D)(3), Perimeter buffers.

TREE CREDITS	
See "Tree Removal and Tree Credits Plan" for Tree Credit Calculations	
Total Tree Credits Available	39
Total Tree Credits Used (only for site landscape, parking lot landscape and buffers, and perimeter buffers)	39
Remaining Credits	0

TREE MITIGATION: 50% mitigation trees to be canopy trees and 75% to be site specific species. Up to 25% of the trees required to meet site landscaping, parking lot landscaping, or perimeter buffer landscaping may be used to meet tree mitigation replacement trees.

MITIGATION		PROVIDED	
	Canopy Trees, count	Understory Trees, count	
Total Trees Required by Land Development Code (LDC)	24	19	
Only 25% of LDC Trees can be used towards Mitigation	6	4.75	
Total Mitigation Trees Provided/Allowed	6	4.75	
Total Mitigation Trees Provided by Canopy and Understory Trees	10.75		
Total Mitigation Trees Required - See Tree Removal and Credits Plan	2		
Difference (Surplus)	8.75		

SITE LANDSCAPE REQUIREMENTS

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.D.1, Landscape Standards (c.) Business Uses, Non-industrial

REQUIREMENTS, for sites larger than 1-acre =

- Canopy Trees, Primary/Street Facing Site Areas: (3) canopy trees per acre located on primary side.
- Canopy Trees, Side and Rear Site Areas: (2) canopy trees per acre located on sides and rear sides.
- Understory Trees, Entire Site: (6) ornamental/understory trees/acre, 50% planted in front of the bldg, and 25% planted on each side.
- Grassing, Entire Site: A combination of solid sod, seeding and sprigs to cover 100% of the lot site disturbed by construction activities. Areas of native vegetation do not have to be sodded. An area within 20 feet of the front building facade shall be sodded with other disturbed areas to be sodded, seeded or sprigged.
- Building Facade: An additional (4) canopy trees for each 100 lineal feet of facade, planted in front of the facade. An existing canopy tree that is a native species and in very good to excellent health can be utilized to fulfill this requirement if it is located within 25 feet of the building. It is encouraged that the tree be located so that it may provide shade on the structure during the summer afternoon. A row of shrubs planted along all facades of the structure, with consideration given to access to utility meters or mechanical equipment. In lieu of a horizontal line of shrubs along the front facade, shrub masses of three or more species may be utilized. Shrubs shall not be planted directly against the structure, but a minimum of two feet from the facade to facilitate adequate air circulation.

PROVIDED = Total Area 3.3 AC

SITE LANDSCAPE REQUIREMENTS - BUSINESS USE

(c) Business uses other than those use types found in the Industrial Services, Manufacturing and Production, and Warehouse and Freight Movement Use Categories					REQUIRED	PROVIDED	CREDITS USED
TOTAL PROJECT AREA	142483	3.3 AC	10% FL FRIENDLY REDUCTION				
SITE CANOPY TREE REQUIREMENTS							
FRONT = 3 CANOPY TREES /AC	10	TREES	CANOPY	9	16	0	
REAR = 2 CANOPY TREES /AC	7	TREES	CANOPY	7	5	2	
E SIDE = 2 CANOPY TREES /AC	7	TREES	CANOPY	7	2	5	
W SIDE = 2 CANOPY TREES /AC	7	TREES	CANOPY	7	1	6	
SITE UNDERSTORY TREE REQUIREMENTS							
TOTAL SITE UNDERSTORY = 6 UNDERSTORY TREES /AC	20	TREES	UNDERSTORY	18			
50% UNDERSTORY AT FRONT	10	TREES	UNDERSTORY	9	11	0	
25% UNDERSTORY AT EAST SIDE	5	TREES	UNDERSTORY	5	3	2	
25% UNDERSTORY WEST SIDE	5	TREES	UNDERSTORY	3	2	1	
BUILDING FAÇADE TREE REQUIREMENTS							
FRONT = 4 CANOPY / 100 LF = 330 LF TOTAL FAÇADE	14	TREES	CANOPY	13	0	13	
					TOTAL TREE CREDITS USED	29	

TREE DIVERSITY REQUIREMENTS

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.D.8: Plantings

REQUIREMENTS =

- When fewer than (20) trees are required on a site, no more than 50% shall be of one type, OR
- When more than (20) but fewer than (40) trees are required , no more than 50% shall be of one single species, OR
- When (40) or more trees are required, no more than 50% of the required trees shall be of one single species.

TREE DIVERSITY	
Total Trees Required	43
50% of one species allowed	21
Most of one species	11

MAINTENANCE PRACTICES

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.D.7.B.vii. A maintenance schedule must be submitted addressing the following:

- Checking, adjusting, and repairing of the irrigation system
- Resetting of the irrigation schedule according to the season
- Remulching
- Fertilizing
- Weeding
- Pruning
- Mowing

PARKING LOT LANDSCAPE REQUIREMENTS

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.D.2, Parking Lot Landscaping

REQUIREMENTS =

- Offset: Allow for a 2½-foot bumper overhang from the face of the curb to new plantings.
- Parking Interior Areas: (1) canopy or understory tree/1,800 SF with (10) shrubs per island. Interior planting requirements shall be reduced by 50% when all parking bays within the parking lot area are located in the rear or side of the property.
- Parking Perimeter Buffer: Shall be a minimum of five feet, and an average of seven feet in width along the entire length of the perimeter of the parking lot. The width of the buffer may vary with a minimum width of five feet. Include (4) canopy trees for every 100 lineal feet, (2) understory/ornamental trees per 100 lineal feet, and a continuous, opaque screen of shrub material parallel to the parking lot area. The parking lot screen shall reach 36 inches in height within three years. Other landscaping materials provided to meet any other landscaping requirement may be considered a part of and count toward the requirement parking lot buffer if such materials are located within 30 feet of the parking lot area. For non-retail uses, up to 50 percent of the parking lot buffer on any single lot side may be replaced with a short fence or wall that is a minimum height of three feet.

PROVIDED =

PARKING INTERIOR						
LDC Sec. 6.2.2.D.2.a.						
AREA	REQUIRED			PROVIDED		CREDITS USED
1 Tree/1800 SF of total parking lot and islands, every 11 sp	3960 SF	3	TREES	2	CANOPY	1
TOTAL TREE CREDITS USED						1

PARKING PERIMETER									
LDC Sec. 6.2.2.D.2.b.									
AREA		REQUIRED			PROVIDED				CREDITS USED
WEST	LF								
	4 canopy / 100 LF	90	CANOPY	4	1	TREES	CANOPY	3	
	2 understory/ 100 LF	90	UNDERSTORY	2	2	TREES	UNDERSTORY	0	
	Screening	CONTINUOUS HEDGE			CONTINUOUS HEDGE				
NORTH	LF								
	4 canopy / 100 LF	50	CANOPY	2	1	TREES	CANOPY	1	
	2 understory/ 100 LF	50	UNDERSTORY	1	1	TREES	UNDERSTORY	0	
	Screening	CONTINUOUS HEDGE			CONTINUOUS HEDGE				
TOTAL TREE CREDITS USED								4	

SITE PERIMETER LANDSCAPE BUFFER REQUIREMENTS

Per City of Alachua ULDR, Article 6, Sec. 6.2.2.D.3, Perimeter Buffers

REQUIREMENTS =

- Use of existing trees credits: If an existing tree proposed to remain is being used as credit towards perimeter buffer, it must be located within the area designated for that perimeter buffer.
- Distribution of trees in buffer: Trees required for buffering shall be distributed evenly along each perimeter, except that up to 33% of the required number of trees may be clustered.
- Land uses that do not require buffers (Sec. 6.2.2.D.3.a.i.): Development located within the CSV, AG, CBD and PD districts shall not be required to provide a perimeter buffer in accordance with the requirements of this section.
- Vacant Adjacent Parcel (Sec. 6.2.2.D.3.d.i.): Where a developing parcel is adjacent to a vacant parcel, the developing parcel may provide one-half of the perimeter buffer required adjacent to the vacant land in accordance with Table 6.2-2, Buffer Class Application.
- Existing Buffers (Sec. 6.2.2.D.3.d.ii.): Where a developing parcel is adjacent to an existing use, then the developing parcel shall provide the full buffer required adjacent to the existing use, unless a perimeter buffer meeting the standards of this section already exists on either lot.
- Existing Trees to Remain Credits (Sec. 6.2.2.D.4.): Canopy or ornamental/understory trees that are in very good to excellent health, that are protected before and during development of the site and maintained thereafter in a healthy growing condition, can be used to comply with the landscaping standards for Subsections 6.2.2(D)(1), Site landscaping; 6.2.2(D)(2), Parking lot landscaping; or 6.2.2(D)(3), Perimeter buffers, of this section. Credits for the preservation of existing canopy or ornamental/understory trees will be based on the standards in Table 6.2-3, Credit for Existing Trees Preserved.

PROVIDED =

SITE PERIMETER BUFFERS							
LDC Sec. 6.2.2.D.3.							
AREA	REQUIRED BUFFER	REQ. WIDTH	REQUIRED TREES		FL FRIENDLY REDUCTION	PROVIDED	CREDITS USED
Front/North Side	No Buffer	0	CANOPY	0	0	0	0
Eastern side	A' Buffer	7.5'	CANOPY	8	8	8	0
			UNDERSTORY	8	8	8	0
Rear/South Side	A' Buffer	7.5'	CANOPY	3*	3	1	2
			UNDERSTORY	3*	3	0	3
West Side	No Buffer	0	CANOPY	0	0	0	0
TOTAL TREE CREDITS USED							5

\* Adjacent to Vacant Parcel

ARTERIAL FRONTAGE SCREENING REQUIREMENTS

Per City of Alachua ULDR, Article 6, Sec. 6.2.3.E, Arterial Frontage

REQUIREMENTS = Arterial frontage shall be screened with a series of canopy and understory trees, shrubs and ground cover, as follows. The width of the paved driveways at the property lines shall not be counted towards the arterial frontage requirement.

- 4 canopy trees every 100 lineal feet of arterial frontage; and
- 3 understory/ornamental trees every 100 lineal feet of arterial frontage; and
- A continuous row of shrubs or groups of shrubs that forms an opaque screen for the entire length of arterial frontage
- 287 LF frontage

ARTERIAL BUFFER						
LDC Sec. 6.2.3.E.						
AREA	REQUIRED			PROVIDED		
FRONT/NORTH SIDE	LF					
4 canopy / 100 LF	287	CANOPY	12	12	CANOPY TREES	
3 understory / 100 LF	287	UNDERSTORY	9	9	UNDERSTORY TREES	
Screening	CONTINUOUS HEDGE			CONTINUOUS HEDGE		

MANLEY DESIGN

Landscape Architecture • Site Planning

Manley Design, LLC  
 224 NW 2nd Avenue, Suite E  
 Gainesville, Florida 32601  
 (352) 363-7412  
 Certificate of Authorization No. LC26000575

PROJECT NAME:

SOUTHERN WRECKER & RECOVERY

Alachua, FL

for  
 Southern Wrecker & Recovery, LLC

SEAL:

THIS DOCUMENT SET HAS BEEN DIGITALLY SIGNED AND SEALED BY:



PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON THE ELECTRONIC DOCUMENTS. THE ABOVE NAMED REGISTERED LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THIS SHEET IN ACCORDANCE WITH RULE 61G10-11.011 F.A.C.

PROJECT NO: 19-054  
 CLIENT'S NO.:  
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 26 NOV 2019  
 REVISIONS:

18 FEB 2020  
 5 MAR 2020

SCALE:

AS SHOWN

SHEET TITLE:

LANDSCAPE NOTES AND CALCULATIONS

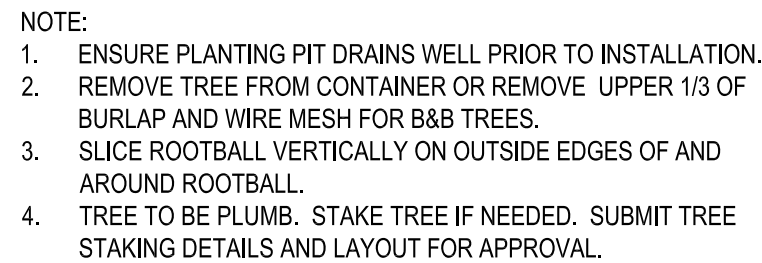
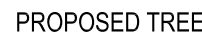
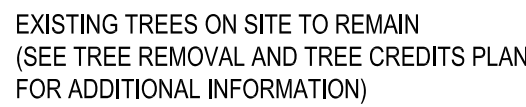
SHEET NUMBER:

L-102

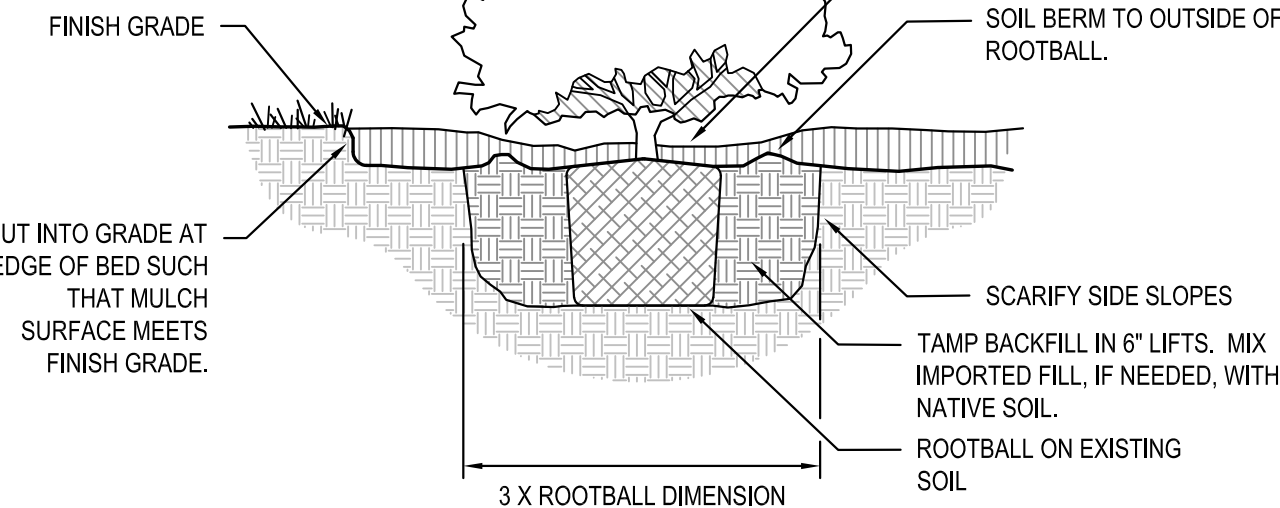




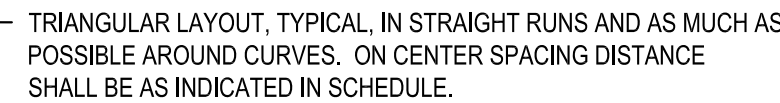
LEGEND



SCALE: N.T.S



## SCALE: N.T.S.



SCALE: N.T.S

**Alachua, FL**

SEAL:

THIS DOCUMENT SET HAS BEEN DIGITALLY  
SIGNED AND SEALED BY:



ISSUED DATE: 26 NOV 2019  
REVISIONS:

18 FEB 2020  
5 MAR 2020

SCALE



SHEET TITLE:

## SHEET NUMBER:

**L-103**



PLOTDATE: 03/05/2020 3:09 PM    USER: SARAH MCDERMOTT  
 FILENAME: C:\USERS\SARAH MCDERMOTT\BOX\PROJECT\2019\19-054 SOUTHERN WRECKER - OWNER\04\_PRODUCTION\02\_SPR\2020-03-05\_SPR\_3\01\_SHEETS\19-054 SOUTHERN WRECKER\_LP.DWG

TECHNICAL SPECIFICATIONS - PLANTING, SECTION 329000

PART 1 - GENERAL

- 1.1 SUMMARY
  - A. PROVIDE ALL LABOR, EQUIPMENT AND INCIDENTALS REQUIRED TO RENDER ALL SERVICES REQUIRED TO SUCCESSFULLY INSTALL ALL TURF AND LANDSCAPE PROPOSED WITHIN THE PROJECT AREA AS DEFINED ON PLANS.
  - B. WORK WILL INCLUDE BUT IS NOT LIMITED TO PREPARATION, INSTALLATION, AND MAINTENANCE FOR PROPOSED TURF AND LANDSCAPE MATERIAL.
- 1.2 SUBMITTALS
  - A. PROVIDE TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO ANY PLANTING ACTIVITIES. SUBMITTALS SHALL INCLUDE:
    1. A COPY OF CURRENT CERTIFICATE AS A CERTIFIED LANDSCAPE CONTRACTOR BY THE FLORIDA NURSERY, GROWERS, AND LANDSCAPE ASSOCIATION (FNGLA).
    2. A COPY OF CURRENT PEST CONTROL LICENSE (ROW, ORNAMENTAL AND/OR AQUATIC, IF APPROPRIATE)
    3. MANUFACTURER'S LABELS OR INFORMATION FOR ANY COMPONENTS INCORPORATED INTO THIS PROJECT, INCLUDING BUT NOT LIMITED TO FERTILIZERS, PESTICIDES, AND STAKING SYSTEMS.
    4. IF REGENERATED PALMS ARE PROPOSED WITHIN THE PROJECT, REPRESENTATIVE COLOR PHOTOGRAPHS OF "REGENERATED PALMS" SHALL BE PROVIDED BY THE CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY. PHOTOS SHALL CLEARLY DEPICT THE FOLLOWING: CLEAR TRUNK HEIGHT; THE TRUNK DIAMETER MEASURED AT THE BASE; THE ROOT BALL MEASUREMENTS; REGENERATED ROOTS ON ALL SIDES OF THE ROOT BALL; AND THREE FULLY EXPANDED NEW FRONDS.
    5. IF IMPORTED FILL IS REQUIRED TO AUGMENT EXISTING CONDITIONS FOR PLANTING, PROVIDE IMPORTED FILL AS DESCRIBED WITHIN PRODUCTS SECTION. PROVIDE A SOIL ANALYSIS THROUGH THE UNIVERSITY OF FLORIDA EXTENSION SOIL TESTING LABORATORY FOR EACH FILL SOURCE AND INCLUDING INCLUDE A WRITTEN REPORT CONTAINING SOIL-AMENDMENT AND FERTILIZER RECOMMENDATIONS FOR EACH SOURCE.
    6. SCHEDULE OF VALUES: PRIOR TO THE COMMENCEMENT OF THE WORK, SUBMIT INSTALLED UNIT PRICES FOR ALL PLANT MATERIALS (MULCH SHALL BE INCLUDED IN THE INSTALLED UNIT PRICING) AND SODDING. THE SCHEDULE OF VALUES SHOULD EQUAL THE TOTAL CONTRACT PRICE FOR LANDSCAPE INSTALLATION.
    7. TYPEWRITTEN INSTRUCTIONS PROVIDING A MAINTENANCE SCHEDULE AND ALL MAINTENANCE OPERATIONS NECESSARY TO MAINTAIN THE PLANTINGS DURING AND FOLLOWING INSTALLATION, AS SPECIFIED BELOW.
    8. WRITTEN WARRANTIES AS SPECIFIED BELOW.
    9. RECORD DRAWINGS: FURNISH ONE SET OF RECORD DRAWINGS THAT CLEARLY SHOW ALL CHANGES MADE TO THE ORIGINAL CONTRACT DRAWINGS DURING THE COURSE OF THE WORK. DRAWINGS SHALL BE PROVIDED IN PDF FILE FORMAT AND TO BE FULLY LEGIBLE AND TO SCALE.
- 1.3 QUALITY CONTROL
  - B. ALL WORK SHALL BE PERFORMED BY A FNGLA CERTIFIED LANDSCAPE CONTRACTOR (FCLC) WHO HAS COMPLETED LANDSCAPE WORK SIMILAR IN SCOPE, MATERIAL, DESIGN, AND EXTENT TO THAT AS INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL TREE AND SHRUB ESTABLISHMENT. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN FCLC CERTIFICATION UNDER FNGLA.
  - C. PRUNING, IF REQUIRED, SHALL BE PERFORMED BY A CERTIFIED ARBORIST, AS CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA).

ALL PLANT MATERIAL TO COMPLY WITH FLORIDA #1 GRADE QUALITY STANDARD AS DEFINED AND SPECIFIED WITHIN THE LATEST EDITION OF THE "FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRIES. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALED, INJURIES, ABRASIONS, OR DISFIGUREMENT.

  - D. UNSATISFACTORY OR DEFECTIVE MATERIAL MAY BE REJECTED AT ANY TIME, AND REJECTED MATERIAL SHALL BE REMOVED IMMEDIATELY FROM THE PROJECT SITE.
  - E. CONTRACTOR SHALL MAINTAIN AND EXPERIENCED, FULL-TIME SUPERVISOR ON THE PROJECT SITE DURING ALL PLANTING ACTIVITIES.
  - F. SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS PROOF OF NON-AVAILABILITY OR EVIDENCE OF "EQUAL" STATUS IS DEMONSTRATED PRIOR TO ORDERING AND/OR INSTALLATION. CONTRACTOR TO SUBMIT A SUBSTITUTION REQUEST TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO ORDERING, DELIVERY, OR INSTALLATION OF MATERIAL. THE SUBSTITUTION REQUEST SHALL IDENTIFY THE ISSUE WITH THE SPECIFIED MATERIAL AND PROPOSE ALTERNATIVE, EQUAL MATERIAL(S). INFORMATION TO BE PROVIDED REGARDING ALTERNATIVE MATERIALS SHALL INCLUDE SCIENTIFIC NAME, COMMON NAME, SIZE, AND SOURCE.
  - G. PACKAGE STANDARD PRODUCTS WITH MANUFACTURER'S CERTIFIED ANALYSIS OR ANALYSIS BY RECOGNIZED LABORATORY.

- 1.4 CONTRACTOR REQUIREMENTS
  - A. PROVIDE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY FOR COMPLETION OF WORK AND MAINTENANCE.
  - B. OBTAIN ALL NECESSARY PERMITS, LICENSES, AND NOTIFICATIONS AND PAY FEES NECESSARY FOR COMPLETION OF THE WORK.
  - C. COMPLY WITH ALL APPLICABLE CODES.
  - D. COORDINATE WITH OTHER TRADES WORKING ON THE PROJECT DURING PLANTING ACTIVITIES.
  - E. COORDINATION SHALL OCCUR WITH OTHER CONTRACTORS OR PROJECTS OCCURRING OFF SITE IF NECESSARY.
  - F. IDENTIFY AND VERIFY THE LOCATION OF ALL UTILITIES WITHIN PROPOSED PLANTING AREAS; CONTRACTOR TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. AS REQUIRED BY CHAPTER 556 OF FLORIDA STATUTES PRIOR TO ANY EXCAVATION OR PLANTING ACTIVITIES.
  - G. PROVIDE SAFE STORAGE FOR ALL EQUIPMENT AND MATERIALS. STORAGE OF SUCH ITEMS IS AT THE CONTRACTOR'S RISK.
  - H. REPAIR, AT NO COST TO THE OWNER, ANY DAMAGE OCCURRING DUE TO CONTRACTOR NEGLIGENCE TO EXISTING UTILITIES, STRUCTURES, FURNISHINGS, HARDSCAPE, LANDSCAPE, OR OTHER ELEMENTS TO REMAIN. ANY DAMAGED WORK SHALL BE REPAIRED AS PER PLANS, OTHER SPECIFICATIONS SECTIONS, OR AS INSTRUCTED BY THE OWNER'S REPRESENTATIVE.
  - I. MAINTENANCE DURING INSTALLATION AND UNTIL FINAL ACCEPTANCE.

- 1.5 WARRANTY
  - A. EXISTING LANDSCAPE AND VEGETATION
    1. ALL EXISTING LANDSCAPE AND TURF TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES.
  - B. NEW PLANTS
    1. WARRANTY SHRUBS AND GROUNDCOVER FOR A PERIOD OF TWELVE (12) MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR THAT WHICH IS A RESULT OF NEGLIGENCE BY OWNER, ABUSE, DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTOR'S CONTROL.
    2. REMOVE AND REPLACE ANY LANDSCAPE MATERIAL FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD.
  - B. NEW SOD:
    1. WARRANTY ALL GRASS FOR A PERIOD OF SIX (6) MONTHS AFTER SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR THE UNUSUAL PHENOMENA OR INCIDENTS, WHICH ARE BEYOND THE CONTRACTOR'S CONTROL.
    2. REMOVE AND REPLACE ALL TURF FOUND TO BE DEAD OR IN AN UNHEALTHY CONDITION DURING WARRANTY PERIOD AS DETERMINED BY THE LANDSCAPE ARCHITECT.
  - C. REPAIR GRADES, LAWN AREAS, PAVING, AND ANY OTHER DAMAGE RESULTING FROM REPLACEMENT PLANTING OPERATIONS, AT NO ADDITIONAL COST TO OWNER.
  - D. IF ANY PLANTS ARE REPLACED DURING THE WARRANTY PERIOD, THEN THE REPLACEMENT MATERIAL SHALL ALSO BE WARRANTED FOR THE SAME PERIOD AS LISTED FOR NEW MATERIAL, ABOVE. FROM THE DATE OF REPLACEMENT. ONLY ONE REPLACEMENT WILL BE REQUIRED EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH SPECIFIED REQUIREMENTS.
  - E. A FINAL INSPECTION WILL BE MADE AT THE END OF THE WARRANTY PERIOD TO DETERMINE ACCEPTANCE OR REJECTION; THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER, IN WRITING, THIRTY (30) DAYS PRIOR TO THE END OF THE WARRANTY PERIOD, AT WHICH TIME THE OWNER HAS THE OPTION TO PERFORM AN END OF WARRANTY INSPECTION. FAILURE TO NOTIFY THE OWNER OF THE END DATE OF THE WARRANTY PERIOD SHALL CAUSE THE WARRANTY PERIOD TO EXTEND UNTIL SUCH TIME AS THE CONTRACTOR GIVES THE OWNER THE REQUIRED 30 DAYS' NOTICE.

- 1.6 DELIVERY, STORAGE, AND HANDLING
  - A. PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED AT SITE.
  - B. SOD: TIME DELIVERY SO THAT SOD WILL BE PLACED WITHIN 24 HOURS AFTER STRIPPING. PROTECT SOD AGAINST DRYING AND BREAKING OF ROLLED STRIPS.
  - C. PLANTS: DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING DELIVERY. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY; IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET PLANTS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME. HANDLE PLANT MATERIALS BY ROOTBALL.

PART 1 - GENERAL, CONT

- 1.7 PROJECT CONDITIONS
  - A. COORDINATE AND COOPERATE WITH OTHER TRADES TO ENABLE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
  - B. IF WEATHER CONDITIONS DETRIMENTAL TO PLANTING ARE ENCOUNTERED OR ANTICIPATED, NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PLANTING. PLANTING SHALL NOT OCCUR DURING PERIODS OF OR WITHIN 48 HOURS OF PREDICTED TEMPERATURES LESS THAN 32 F.
  - C. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR ANTICIPATED, INCLUDING BUT NOT LIMITED TO LIMESTONE, ROAD BASE, RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OBSTRUCTIONS, OR TOXIC MATERIALS, NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  - D. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.
  - E. DETERMINE LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. CALL SUNSHINE STATE ONE CALL, 811. PERFORM WORK IN A MANNER THAT AVOIDS POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED.

PART 2 - PRODUCTS

- 2.1 FILL
  - A. IF REQUIRED TO AUGMENT EXISTING SOILS FOR LANDSCAPE AND TURF INSTALLATION, PROVIDE NEW, DEEP FILL MATERIAL AS PER USDA STANDARD TEXTURES AND THAT IS TAKEN FROM WELL-DRAINING LOCAL SOURCES WITH SIMILAR SOIL TYPES AS FOUND AT THE PROJECT SITE.
  - B. FILL TO BE SUITABLE FOR PLANT GROWTH, FRIABLE, AND FREE OF CLAY LUMPS, BRUSH, WEEDS, SEEDS, ROOTS, STUMPS, STONES, ORGANIC MUCK, HARD PAN CLAY, LITTER AND CONSTRUCTION DEBRIS INCLUDING LIMEROCK OR PAVING BASE MATERIAL, ASPHALT, AND CONCRETE, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH
  - C. FILL TO BE OF PH 5-6.5.
- 2.2 MULCH
  - A. MULCH SHALL BE PINE STRAW, FREE OF BRANCHES, CONES, AND DEBRIS.
- 2.3 COMMERCIAL FERTILIZER
  - A. SHRUBS AND GROUNDCOVERS: UTILIZE A ROOT STARTER OR EQUIVALENT SLOW RELEASE FERTILIZER TO ENCOURAGE ROOT GROWTH. APPLY AT MANUFACTURER'S RECOMMENDED RATE. ROOT STARTER SHALL BE A COMPLETE, SLOW RELEASE FERTILIZER WITH ORGANIC NITROGEN AND CONTAIN THE FOLLOWING PERCENTAGES OF AVAILABLE PLANT NUTRIENTS:
    1. BETWEEN 5-6% TOTAL NITROGEN (N) CONSISTING OF 3.5-4.5% WATER INSOLUBLE/SLOW RELEASE NITROGEN AND 1.5% WATER SOLUBLE NITROGEN
    2. BETWEEN 1-2% PHOSPHATE (P2O5)
    3. BETWEEN 0.5-3% POTASH/POTASSIUM (K)
  - A. PALMS: FERTILIZE WITH AN 8N - 2P205 - 12K20 + 4MG WITH MICRONUTRIENTS. 100% OF N, K, AND MG SHALL BE IN SLOW RELEASE FORM AND MICRONUTRIENTS SHALL BE IN SULFATE OR CHELATE (FE ONLY) FORM. 5.60 UNITS OF SLOW RELEASE NITROGEN SHALL BE POLYMER COATED. 5.60 - 8.40 UNITS OF SLOW RELEASE POTASH SHALL BE POLYMER COATED. SLOW RELEASE MG SHALL BE PRILLED (GRANULAR) KESERITE. FERTILIZER SHALL CONTAIN APPROXIMATELY 1.5 - 2% MN AND FE (0.1 - 0.2% FOR FE IF CHELATED), PLUS TRACE AMOUNTS OF B (0.15%), ZN (0.15%), AND CU (0.05%).
  - B. TURF: PROVIDE FERTILIZER WITH NOT LESS THAN SIXTEEN (16) PERCENT TOTAL NITROGEN, FOUR (4) PERCENT AVAILABLE PHOSPHORIC ACID AND EIGHT (8) PERCENT SOLUBLE POTASH. APPLY AT MANUFACTURER'S RECOMMENDED RATE.

- 2.4 PLANT MATERIALS
  - A. PROVIDE SHRUBS AND GROUNDCOVERS OF SIZE, GENUS, SPECIES, AND VARIETY AS SHOWN IN THE PLANT SCHEDULE FOR LANDSCAPE WORK THAT CONFORM TO FLORIDA NO. 1 QUALITY STANDARDS.
  - B. PROVIDE HEALTHY, VIGOROUS STOCK GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALED, INJURIES, ABRASIONS, OR DISFIGUREMENT.
  - C. LANDSCAPE MATERIAL SHALL BE CONTAINER GROWN MATERIAL UNLESS OTHERWISE SPECIFIED OR UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- 2.5 SOD
  - A. PROVIDE SAND-GROWN ONLY, STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES, AND MACHINE CUT TO PAD THICKNESS OF 3/4 INCH (PLUS OR MINUS 1/4 INCH), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED. SOD SHALL BE VIABLE AND NOT DORMANT.
  - B. PROVIDE SOD OF UNIFORM PAD SIZES WITH A MAXIMUM 5% DEVIATION IN EITHER LENGTH OR WIDTH. BROKEN PADS OR PADS WITH UNEVEN ENDS WILL NOT BE ACCEPTABLE. SOD PADS INCAPABLE OF SUPPORTING THEIR OWN WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON UPPER 10 PERCENT OF PAD WILL BE REJECTED.
  - C. STABILIZING NETTING OR OTHER SYNTHETIC MATERIALS WITHIN SOD SHALL BE PROHIBITED.
  - D. SOD TO BE AS LISTED WITHIN THE PLANT SCHEDULE.
  - E. REFER TO CIVIL PLANS FOR SOD TYPE AND INSTALLATION METHODS WITHIN STORMWATER FACILITIES.

- 2.6 WEED PRE-EMERGENT HERBICIDE
  - A. APPLY IRON STAR G' PRE-EMERGENT HERBICIDE, OR APPROVED EQUAL IN PLANTING AREAS. REVIEW AND GAIN APPROVAL FROM OWNER PRIOR TO APPLICATION.

PART 3 - EXECUTION

- 3.1 PREPARATION
  - A. CONDUCT A PRE-CONSTRUCTION CONFERENCE ON SITE WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. DISCUSS PROPOSED ACTIVITIES, REVIEW PROPOSED PLANTING AREAS, AND CONFIRM PROPOSED SCHEDULE OF WORK. PROVIDE ONE WEEK'S NOTICE OF PROPOSED CONFERENCE.
  - B. ENSURE ALL ASPHALT, LIMEROCK, AND OTHER CONSTRUCTION DEBRIS ARE REMOVED FROM AREAS OF PROPOSED PLANTING OR SODDING TO A MINIMUM DEPTH OF THREE FEET PRIOR TO INSTALLATION.
  - C. CLEAN EXISTING SOIL OF ROOTS, PLANTS, SODS, STONES, CLAY, LUMPS AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
  - D. PLANTING DEPTH OF SOIL SHALL BE A MINIMUM OF THREE (3) FEET. IF FILL MUST BE ADDED, IT SHALL CONFORM TO THE REQUIREMENTS LISTED ABOVE.
  - E. GAIN APPROVAL FROM OWNER FOR REMOVAL OF EXISTING GRASS, VEGETATION, AND TURF BY METHODS OTHER THAN HAND REMOVAL. IF APPROVED, ADHERE TO THE FOLLOWING REGARDING PREPARATION OF AREAS WITH UNCHANGED GRADE OR AREAS THAT HAVE NOT BEEN ALTERED BY CONSTRUCTION ACTIVITIES: REMOVE EXISTING GRASS, VEGETATION, AND TURF BY SPRAYING WITH "ROUND-UP" OR OTHER APPROPRIATE HERBICIDE AND PERFORM ADDITIONAL SPRAY TREATMENTS AS NEEDED TO ENSURE A COMPLETE KILL. REMOVE AND DISPOSE OF RESULTING DEAD VEGETATION AND TURF. DO NOT TURN RESULTING DEAD VEGETATION OR TURF OVER INTO SOIL. REPEAT IF NECESSARY TO REMOVE EXISTING VEGETATION.
  - F. FOR TURF AREAS INDICATED FOR RENOVATION, MECHANICALLY CUT OUT AREAS OF FAILING TURF AND CREATE A CLEAN EDGE FOR NEW SOD INSTALLATION.
  - G. FINE GRADE PROPOSED PLANTING AND SOD AREAS TO SMOOTH, EVEN SURFACES WITH LOOSE, UNIFORMLY FINE TEXTURE AND FREE OF LUMPS, CLODS, STONES, ROOTS, AND OTHER EXTRANEOUS MATTER. ROLL, RAKE, AND DRAG AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES.
  - H. ALLOW FOR SOD THICKNESS IN AREAS TO BE SODDED SUCH THAT INSTALLED SOD MEETS FINISHED GRADES.
- 3.2 TREE BARRIERS AND EXISTING TREE PROTECTION
  - A. REFER TO NOTES ON DEMOLITION PLANS OR LANDSCAPE PLANS REGARDING TREE PROTECTION AND TREE PROTECTION BARRIERS.
  - B. MINIMIZE IMPACTS ON EXISTING TREE ROOTS AS MUCH AS POSSIBLE. AVOID TREE ROOT PLATE AREAS AS DEFINED BY PERMITTING AGENCIES.
  - C. ALL ROOTS OF TREES TO REMAIN THAT ARE IMMEDIATELY ADJACENT TO EXTENSIVE EXCAVATION AND ARE 1" DIAMETER OR OVER SHALL BE HAND CUT. EXPOSE ROOTS BY HAND DIGGING, HAND CUT OR SAW CLEANLY, AND IMMEDIATELY COVER WITH SOIL. DO NOT ALLOW CUT ROOTS TO DRY OUT.
  - D. SUPPLEMENTAL IRRIGATION IS REQUIRED FOR TREES THAT HAVE UNDERGONE ROOT PRUNING. PROVIDE SUPPLEMENTAL IRRIGATION IMMEDIATELY FOLLOWING PRUNING AND CONTINUE THROUGH CONSTRUCTION.

PART 3 - EXECUTION, CONT

- 3.3 PLANTING TREES, SHRUBS, AND GROUNDCOVERS
  - A. PLANT SHRUBS AND GROUNDCOVER AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF LAWNS UNLESS OTHERWISE AUTHORIZED BY LANDSCAPE ARCHITECT. IF PLANTING OF TREES AND SHRUBS OCCURS AFTER INSTALLATION OF LAWNS, PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGE CAUSED BY LANDSCAPE INSTALLATION.
  - B. LAY OUT INDIVIDUAL SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. TRIANGLE SPACING SHALL BE USED FOR SHRUBS AND GROUNDCOVERS UNLESS OTHERWISE SPECIFIED IN PLANS OR BY LANDSCAPE ARCHITECT. OUTLINE AREAS AND SECURE LANDSCAPE ARCHITECT'S OR OWNER REPRESENTATIVE'S ACCEPTANCE BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUIRED.
  - C. EXCAVATE PITS, BEDS, AND TRENCHES SUCH THAT PITS ARE AS DEEP AS THE PLANT'S ROOTBALL AND 1.5 TIMES THE DIAMETER OF THE ROOTBALL. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. SCARIFY SIDES OF PIT.
  - D. FILL EXCAVATIONS FOR SHRUBS WITH WATER AND ALLOW WATER TO PERCOLATE OUT PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING IF PITS DO NOT DRAIN PRIOR TO PLANTING.
  - E. REMOVE PLANT MATERIAL FROM CONTAINER. LIFT TREES BY THE ROOTBALL AND NOT BY THE TRUNK. SET PLANT MATERIAL STOCK IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT 1-2" ABOVE ADJACENT FINISH LANDSCAPE GRADES.
  - F. REMOVE ANY SYNTHETIC OR STRAPPING MATERIAL PRIOR TO SETTING PLANT MATERIAL INTO PLANTING PIT OR TRENCH.
  - G. ENSURE PLANT MATERIAL IS PLUMB.
  - H. PLACE BACKFILL AROUND BASE AND SIDES OF BALL AND WORK IN EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. ENSURE ROOTBALL REMAINS 1-2" ABOVE ADJACENT FINISH GRADE. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
  - I. DISH TOP OF BACKFILL FOR TREES AND PALMS TO ALLOW FOR MULCHING.
  - J. ALL PLANT MATERIAL SHALL BE FERTILIZED AT THE TIME OF PLANTING. MIX OR APPLY FERTILIZER JUST INSIDE OF PLANT FOLIAGE/DRIPLINE. DO NOT APPLY FERTILIZER DIRECTLY ON STEMS OR EXPOSED ROOTS OF MATERIAL. MIX SPECIFIED FERTILIZERS WITH EXISTING SOIL AT RATES SPECIFIED BY THE MANUFACTURER. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN THREE (3) DAYS.
  - K. APPLY PRE-EMERGENT HERBICIDE, IF APPROVED BY OWNER, AND AS PER MANUFACTURER'S SPECIFICATIONS.
  - L. MULCH PITS, TRENCHES, AND PLANTED AREAS. PROVIDE A THREE (3) INCH THICKNESS OF MULCH AND WORK ONTO TOP OF BACKFILL. THE FINISH LEVEL OF MULCH SHOULD MEET ADJACENT FINISH GRADES. MULCH AREAS BETWEEN GROUNDCOVER PLANTS.
  - M. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER CROWNS OF PLANTS WITH WET SOILS.
  - N. GUY AND STAKE TREES IMMEDIATELY AFTER PLANTING AS NEEDED.

- 3.4 SODDING NEW LAWNS
  - A. ENSURE GRADE IS SMOOTH AND EVEN WITH A LOOSE, UNIFORM TEXTURE. ROLL, RAKE AND DRAG PROPOSED LAWN AREAS, REMOVE RIDGES, AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES AND PROVIDE AN EVEN SURFACE FOR SOD INSTALLATION.
  - B. LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING.
  - C. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.
  - D. APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES SPECIFIED AND THOROUGHLY MIX INTO UPPER TWO INCHES OF SOIL IN AREAS OF PROPOSED SOD. DELAY APPLICATION OF FERTILIZER IF LAWN PLANTING WILL NOT FOLLOW WITHIN A FEW DAYS.
  - E. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. TAP SOD FIRMLY IN PLACE ONCE LAID.
  - F. ANCHOR SOD ON SLOPES GREATER THAN 3:1 WITH WOOD PEGS TO PREVENT SLIPPAGE, IF NEEDED.
  - G. AVOID DAMAGE TO SUBGRADE OR SOD DUE TO INSTALLATION ACTIVITIES.
  - H. WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

- 3.5 CLEANUP
  - A. MAINTAIN WORK AREAS IN AN ORDERLY CONDITION. KEEP PAVEMENTS AND ADJACENT SITE AREAS CLEAN. REMOVE ALL POTS, LITTER, TOOLS, EQUIPMENT, AND EXTRANEOUS SOIL, SOD, OR MATERIALS AT THE END OF EACH WORK DAY. STORE MATERIALS AND EQUIPMENT WHERE DIRECTED. DISPOSE OF MATERIALS AS DIRECTED.

- 3.6 NEW PLANT PROTECTION
  - A. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DURING CONSTRUCTION. MAINTAIN PROTECTION DURING INSTALLATION AND THROUGHOUT THE MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.
  - B. TREES WHICH ARE TO REMAIN IN THE CONSTRUCTION AREA SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
  - C. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN THE DRIP LINE OF EXISTING OR NEWLY PLANTED TREES. REMOVE INTERFERING BRANCHES WITHOUT INJURY TO TRUNKS.

- 3.7 MAINTENANCE
  - A. MAINTENANCE ACTIVITIES SHALL INCLUDE THE FOLLOWING ACTIVITIES DURING CONSTRUCTION AND UNTIL FINAL ACCEPTANCE:
    1. WEEDING: MAINTAIN PLANTINGS AND TURF AS WEED FREE.
    2. MULCHING: MAINTAIN MULCH AT TREES, PALMS, AND WITHIN PLANTING BEDS AT A 3" DEPTH.
    3. PEST CONTROL: SPRAY AS REQUIRED TO KEEP PLANTINGS AND TURF FREE OF INSECTS AND DISEASE.
    4. MOWING: MOW TURF AREAS AS NEEDED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
    5. REPLACEMENT: REPLACE PLANTS OR SOD AREAS THAT ARE IN POOR CONDITION.
    6. LITTER REMOVAL: REMOVE LITTER AND DEBRIS FROM LANDSCAPE AND TURF AREAS.
    7. RESTORE PLANTING SAUCERS OF TREES AND SHRUBS.
    8. TIGHTEN AND REPAIR STAKE AND GUY WIRE SUPPORTS, IF PRESENT, AND RESET TREES AND SHRUBS TO PROPER GRADES OF VERTICAL POSITION AS REQUIRED.
    9. REMOVE ALL TREE STAKING, IF PRESENT, WITHIN ONE YEAR AFTER PLANTING.

- 3.8 REPLACEMENT OF EXISTING LANDSCAPE DAMAGED DURING PROJECT
  - A. ANY EXISTING VEGETATION, INCLUDING TREES AND SHRUBS, DAMAGED OR DESTROYED SHALL BE REPLACED OR MITIGATED BY THE CONTRACTOR WITH LIKE SPECIES OR ANOTHER SPECIES APPROVED BY THE OWNER'S REPRESENTATIVE. ANY AREA OF VEGETATION THAT IS DAMAGED DURING CONSTRUCTION WILL BE RESTORED TO ITS ORIGINAL STATE WITHIN 72 HOURS OF THE COMPLETION OF THE ASSOCIATED CONSTRUCTION WORK.
  - B. IF REMOVAL OF AN EXISTING TREE REQUIRES MITIGATION, THE CONTRACTOR SHALL BE HELD LIABLE FOR THE COMPLETE COST, INCLUDING BUT NOT LIMITED TO TREE REPLACEMENT COSTS AND PAYMENTS REQUIRED TO PERMITTING AGENCIES.
  - C. TREE REPLACEMENT SPECIES AND PROCEDURES SHALL BE DISCUSSED WITH AND APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF ACTIVITIES.

- 3.9 INSPECTION AND ACCEPTANCE
  - A. WHEN ALL LANDSCAPE WORK IS SUBSTANTIALLY COMPLETE, THE LANDSCAPE ARCHITECT WILL, UPON REQUEST, MAKE A SUBSTANTIAL COMPLETION INSPECTION TO DETERMINE ACCEPTABILITY AND COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE LANDSCAPE ARCHITECT WILL PRODUCE A WRITTEN PUNCH LIST FOR THE CONTRACTOR AND OWNER'S REPRESENTATIVE TO IDENTIFY ITEMS THAT SHALL BE ADDRESSED PRIOR TO FINAL ACCEPTANCE.
  - B. ONCE ITEMS OF THE PUNCH LIST ARE ADDRESSED, THE LANDSCAPE ARCHITECT WILL CONDUCT A FINAL COMPLETION INSPECTION. IF NECESSARY, THE LANDSCAPE ARCHITECT WILL PRODUCE A FINAL PUNCH LIST FOR THE CONTRACTOR AND OWNER'S REPRESENTATIVE TO IDENTIFY ITEMS TO BE ADDRESSED PRIOR TO FINAL ACCEPTANCE.
  - C. FINAL ACCEPTANCE WILL NOT BE ISSUED UNTIL ALL PUNCH LIST ITEMS HAVE BEEN COMPLETED AND ACCEPTED BY THE OWNER AND ALL SUBMITTALS HAVE BEEN MADE.
  - D. WORK MAY BE INSPECTED FOR ACCEPTANCE IN PORTIONS AS PHASES OF INSTALLATION ARE COMPLETED AND AS AGREEABLE TO THE LANDSCAPE ARCHITECT, PROVIDED EACH PORTION OF WORK OFFERED FOR INSPECTION IS SUBSTANTIALLY COMPLETE.

END OF SECTION

Manley Design, LLC  
 224 NW 2nd Avenue, Suite E  
 Gainesville, Florida 32601  
 (352) 363-7412  
 Certificate of Authorization No. LC26000575

PROJECT NAME:

SOUTHERN  
 WRECKER &  
 RECOVERY

Alachua, FL

for  
 Southern Wrecker &  
 Recovery, LLC

SEAL:  
 THIS DOCUMENT SET HAS BEEN DIGITALLY  
 SIGNED AND SEALED BY:



PRINTED COPIES OF THIS DOCUMENT ARE NOT  
 CONSIDERED SIGNED AND SEALED. THE  
 SIGNATURE MUST BE VERIFIED ON THE  
 ELECTRONIC DOCUMENTS. THE ABOVE NAMED  
 REGISTERED LANDSCAPE ARCHITECT SHALL BE  
 RESPONSIBLE FOR THIS SHEET IN ACCORDANCE  
 WITH RULE 61G10-11.011 F.A.C.

PROJECT NO: 19-054  
 CLIENT'S NO:  
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 26 NOV 2019  
 REVISIONS:

18 FEB 2020  
 5 MAR 2020

SCALE:

SHEET TITLE:

LANDSCAPE  
 TECHNICAL  
 SPECIFICATIONS

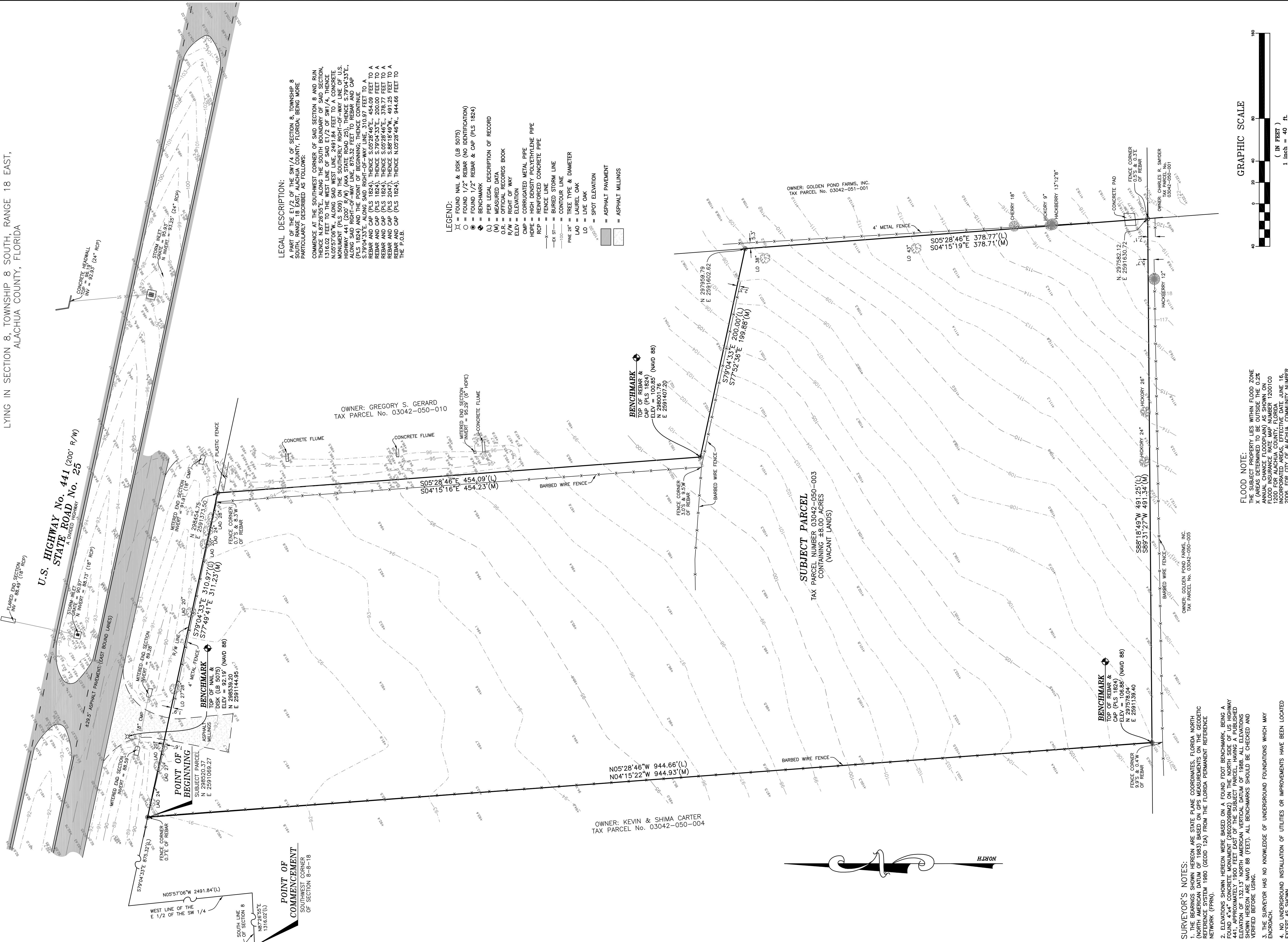
SHEET NUMBER:

L-104



BOUNDARY and TOPOGRAPHIC SURVEY

LYING IN SECTION 8, TOWNSHIP 8 SOUTH, RANGE 18 EAST,  
ALACHUA COUNTY, FLORIDA



LEGAL DESCRIPTION:

A PART OF THE E1/2 OF THE SW 1/4 OF SECTION 8, TOWNSHIP 8 SOUTH, RANGE 18 EAST, ALACHUA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 8 AND RUN THENCE S79°04'33"E 241.84' (L) TO A CONCRETE MONUMENT (PLS 509) ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441 (200' R/W) (AIA STATE ROAD 25), THENCE S79°04'33"E 110.00' (L) TO A CONCRETE MONUMENT (PLS 1824) AND THE POINT OF BEGINNING; THENCE CONTINUE S79°04'33"E ALONG SAID RIGHT-OF-WAY LINE, 310.97 FEET TO A REBAR AND CAP (PLS 1824), THENCE S05°28'46"E 454.09 FEET TO A REBAR AND CAP (PLS 1824), THENCE S05°28'46"E 454.23' (M) TO A REBAR AND CAP (PLS 1824), THENCE S88°18'49"W 491.25 FEET TO A REBAR AND CAP (PLS 1824), THENCE S05°28'46"W 944.66 FEET TO THE P.O.B.

LEGEND:

- X = FOUND NAIL & DISK (LB 5075)
- O = FOUND REBAR (NO BENCHMARK)
- = FOUND 1/2" REBAR & CAP (PLS 1824)
- ◆ = BENCHMARK
- (L) = PER LEGAL DESCRIPTION OF RECORD
- (M) = MEASURED DATA
- O.R. = OFFICIAL RECORDS BOOK
- R/W = RIGHT OF WAY
- ELEV = ELEVATION
- OMP = CORRUGATED METAL PIPE
- HDPE = HIGH DENSITY POLYETHYLENE PIPE
- RCP = REINFORCED CONCRETE PIPE
- 18" — = FENCE USED FOR BOUNDARY
- 36" — = BURIED STORM LINE
- PKS 36" = TREE TYPE & DIAMETER
- LAO = LAUREL OAK
- LO = LIVE OAK
- LO 100' = SPOT ELEVATION
- = ASPHALT PAVEMENT
- = ASPHALT MILLINGS

- SURVEYOR'S NOTES:
1. THE SURVEYOR HAS REVIEWED THE ORIGINAL RECORDS OF THE SURVEY AND THE ORIGINAL RECORDS OF THE SURVEY TO THIS MAP BY ANYONE OTHER THAN THIS SURVEYOR IS PROHIBITED.
  2. ELEVATIONS SHOWN HEREIN WERE BASED ON A FOUND FDOT BENCHMARK, BEING A FOUND 4"x4" CONCRETE MONUMENT (2602009BM2) ON THE NORTH SIDE OF U.S. HIGHWAY 441, APPROXIMATELY 1900 FEET EAST OF THE SUBJECT PARCEL, HAVING A PUBLISHED ELEVATION OF 100.85' (NAVD 83). THE SURVEYOR HAS VERIFIED THE ELEVATIONS SHOWN HEREIN ARE NAVD 83 (FEET). ALL BENCHMARKS SHOULD BE CHECKED AND VERIFIED BEFORE USING.
  3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
  4. NO UNDERGROUND INSTALLATION OF UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
  5. RECORDED EASEMENT AND/OR DEEDS NOT FURNISHED TO THE SURVEYOR ARE NOT SHOWN.
  6. ALL TREES 8" AND LARGER, AS MEASURED AT CHEST HEIGHT, ON THE SUBJECT PARCEL ARE SHOWN HEREIN.

FLOOD NOTE:  
THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD FLOODPLAIN. THE FLOOD FLOOD INSURANCE RATE MAP NUMBER 1200100 1200 FOR ALACHUA COUNTY, FLORIDA, COMMENCED ON JUNE 18, 2006, FOR CITY OF ALACHUA, COMMUNITY NUMBER 120664, PANEL NUMBER 0120 SUFFIX D.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RECORDS OF THE SURVEY TO THIS MAP BY ANYONE OTHER THAN THIS SURVEYOR IS PROHIBITED.	LEIGH ANN FLOWERS PROFESSIONAL SURVEYOR & MAPPER FLA LICENSE NO. 6602	CERTIFIED TO: SOUTHERN WRECKER GUMIER ENGINEERING	FIELD BOOK - SEE FOLDER DRAFTED: JAF CHECKED: JAF SURVEY DATE: 7/30/19	JOB NUMBER: 19-185 SHEET 1 OF 1

FLOWERS SURVEYING AND MAPPING INC.  
207 SE CONDOR GLEN  
HIGH SPRINGS, FLORIDA 32643  
PHONE: (386) 462-0130  
EMAIL: FLOWERSURVEYING@GMAIL.COM

REVISED 12/4/19 - ADDED TOPO OF MEDIAN



CODE COMPLIANCE DATA

OCCUPANCY CLASSIFICATION: Business Group "B" / Storage Group "S-1"  
FBC CONSTRUCTION TYPE: Type II-B (non-combustible, unprotected)  
FIRE RESISTANCE RATINGS:  
STRUCTURAL FRAME: 0 Hour Rated  
BEARING WALLS: 0 Hour Rated  
NON-BEARING WALLS & PARTITIONS:  
EXTERIOR - 0 Hour Rated (min 10 ft separation)  
INTERIOR - 0 Hour Rated  
CORRIDORS - 0 Hour Rated  
FLOOR: 0 Hour Rated  
ROOF: 0 Hour Rated  
STAIR & SHAFT WALLS: Not Applicable  
Fire Area Separation: the Maintenance Bays and Offices are separated with a 3-hour fire rated wall to define a fire area of less than 5,000 sf

FIRE SUPPRESSION: SPRINKLERS: Building is NOT Sprinklered  
HAZARD CLASSIFICATION: Moderate Hazard  
FIRE EXTINGUISHERS: 75' Max Travel Distance and adjacent to combustible liquid storage  
10 lb, Type ABC Extinguishers

- SPECIAL OCCUPANCY REQUIREMENTS: Repair Garages
- Mechanical ventilation required with controls at entrance (FBC 406.8.2)
  - Noncombustible & nonabsorbent floor material required (FBC 406.8.3)
  - Heating equipment is required (FBC 406.8.4)
  - Non-odorized gas is not used in this garage (406.8.5 is not applicable)
  - Automatic sprinkler system is not required (406.8.6 is not applicable since building is single story with no basement and fire area is less than 5,000 sf – per 903.2.9.1), 3-hour fire rated wall provided between maintenance bays and offices to define the fire area as 4,000 sf (707.3.10)
  - No bulk storage of tires occurs (less than max allowed per 903.2.9.2)
  - Stored amount of Motor oil (Class III-B combustible liquid) is 255 gallons, less that the max allowed per Table 307.1 (1)

BUILDING HEIGHT & AREA:		ALLOWABLE	ACTUAL PROVIDED
Stories		3 Stories	1 Story
Height		75 ft	24 ft
Area		52,500 SF	5,980 sf (Not Sprinklered)

OCCUPANT LOAD:		OCC GROUP	BLDG AREA	OCC FACTOR	OCC LOAD
Offices		B	1,980sf	100/sf	20
Maintenance		S-1	4,000sf	200/sf	20
Total Building			5,980sf		40

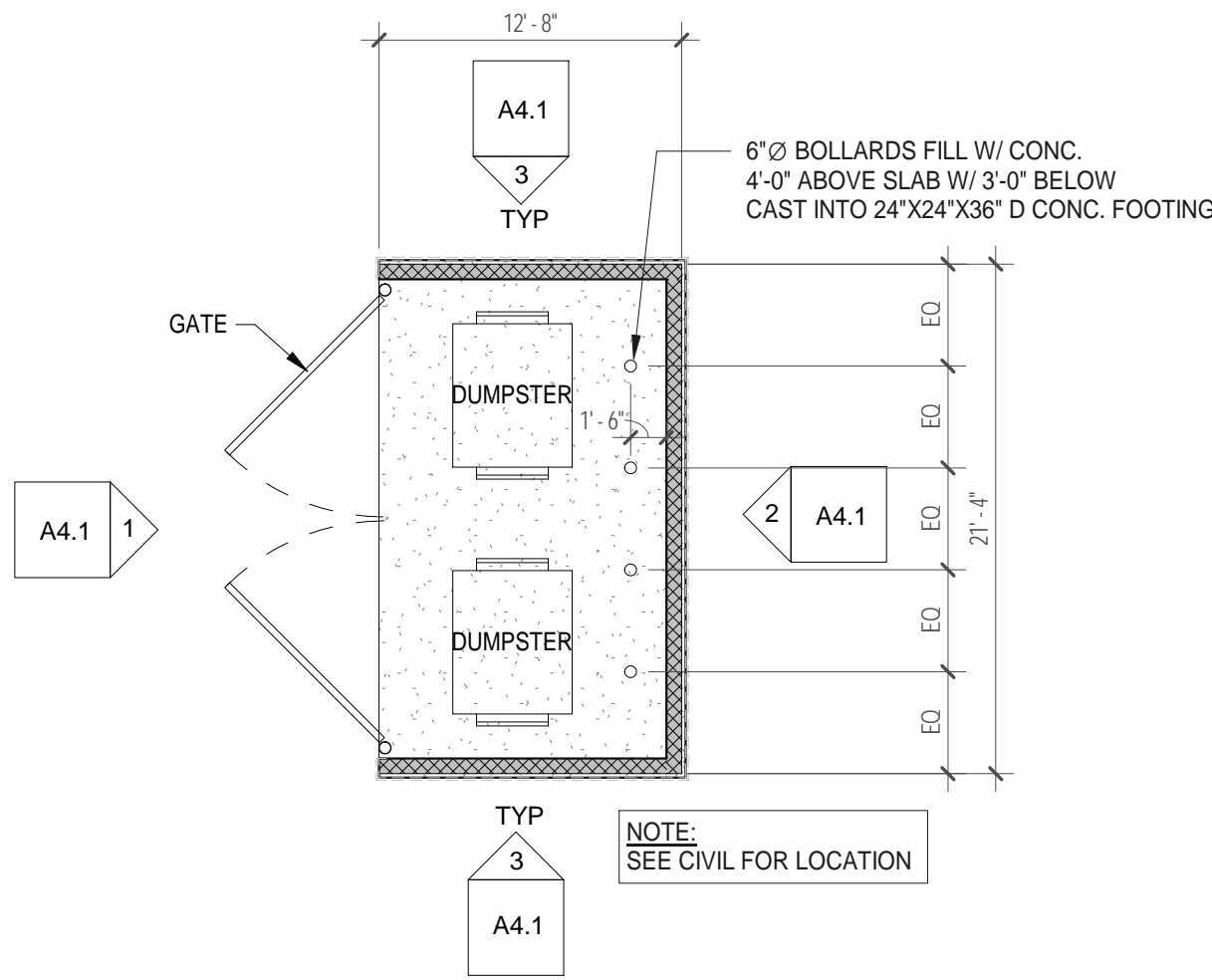
EGRESS DISTANCES:		ALLOWABLE	ACTUAL PROVIDED
Travel Distance =		200 ft	68 ft
Common Path =		100 ft	68 ft
Dead End Corridor =		20 ft	20 ft

EXITS: Exit Width = 40 Occupants x 0.2 in = 8 in Required  
4 Exits Provided x 33 in each = 132 in Provided  
Corridor Width = Min 44 in Required, 60 in Provided  
FBC Table 1006.3.2: Only 1 Exit Required where Occupant Load is less than 49 for Group B, and less than 29 for Group S

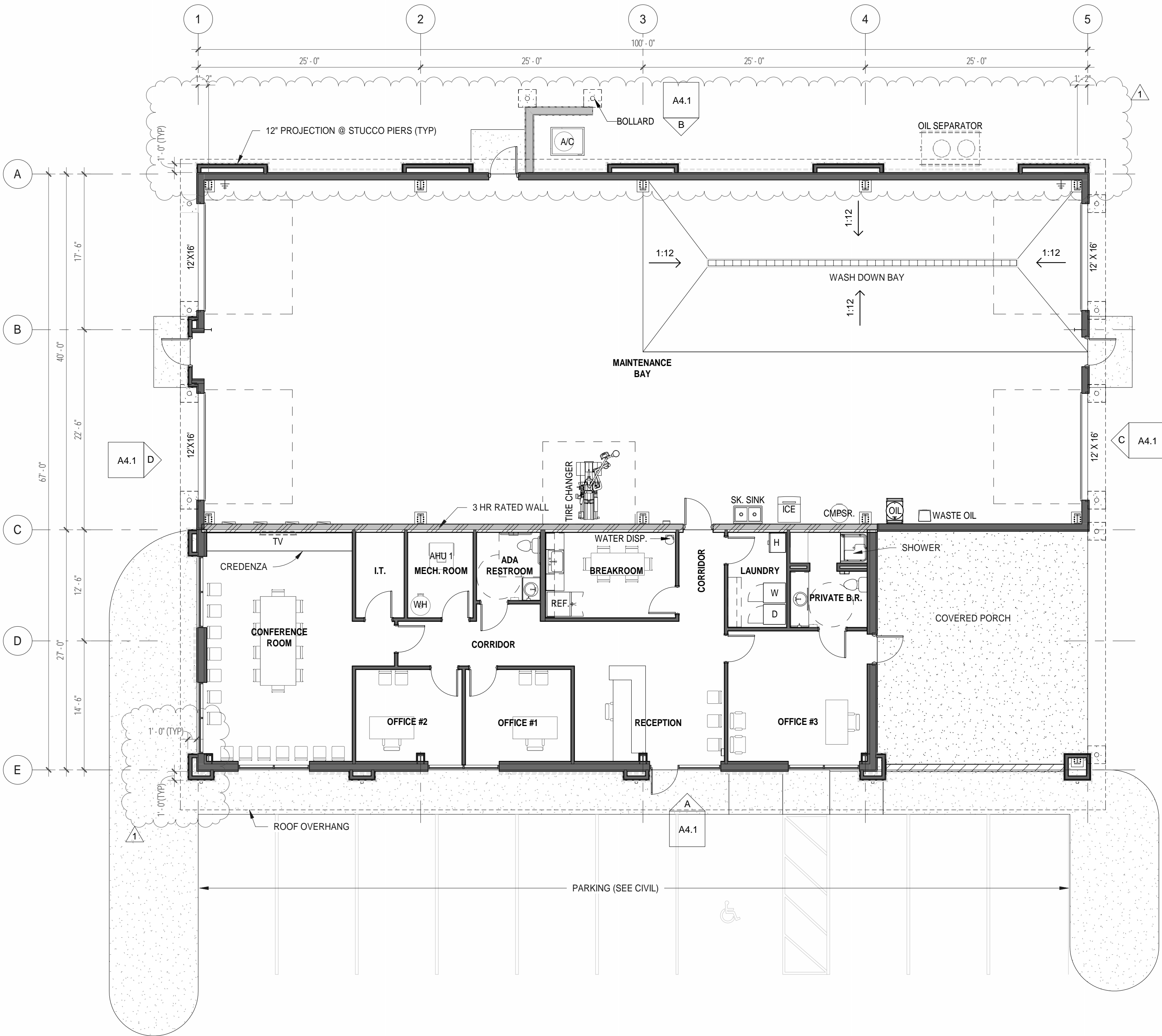
PLUMBING FIXTURES:	OCC	WC	LAV	DF	SERV SK
B		1 per 25	1 per 40	1 per 100	1
S-1		1 per 100	1 per 100	1 per 1,000	1
		2 Provided	2 Provided	1 Provided	1 Provided

Top loading water dispenser is provided to meet requirement for a drinking fountain

APPLICABLE CODES:  
Florida Building Code (FBC) – 2017 (6<sup>th</sup> Edition)  
Florida Accessibility Code for Building Construction – 2017 (6<sup>th</sup> Edition)  
Florida Fire Prevention Code – 2017 (6<sup>th</sup> Edition)  
Florida Plumbing Code – 2017  
Florida Mechanical Code – 2017  
Florida Fuel-Gas Code – 2017  
National Electric Code, NFPA 70 – 2017  
Life Safety Code (LSC), NFPA 101 – 2018



B  
A0.1 DUMPSTER ENCLOSURE FLOOR PLAN  
1/8" = 1'-0"



A  
A0.1 FLOOR PLAN  
1/8" = 1'-0"



2504 NW 71st Place  
Gainesville FL 32653  
Tel: (352) 371-1417

2926 Edison Avenue  
Jacksonville, FL 32254  
Tel: (904) 288-6060



SOUTHERN WRECKER  
SOUTHERN WRECKER & RECOVERY  
ALACHUA, FL

COPYRIGHT (c) 2020 by Scherer  
Construction of North Florida, LLC  
All rights reserved.

NO.	DATE	REVISION	SITE REVIEW
1	02-06-2020		

ARCHITECT'S SEAL:

ROBERT S. TAYLOR, SR., ARCHITECT  
FLORIDA REGISTRATION AR-0007526

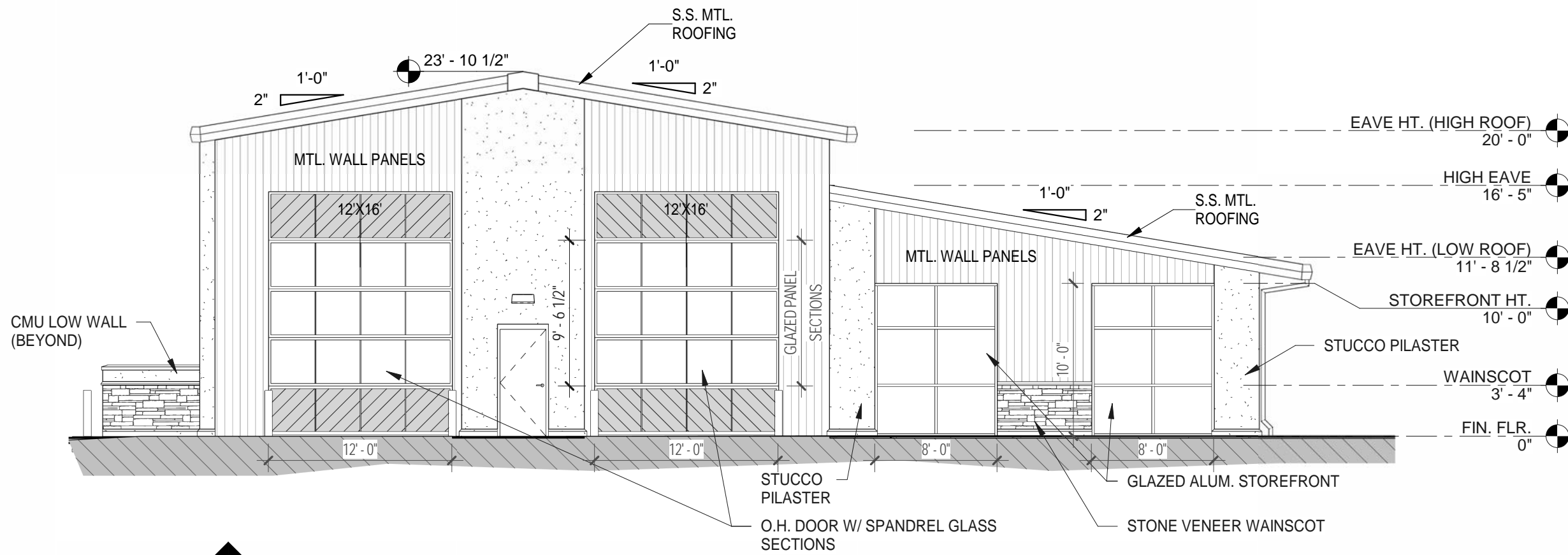
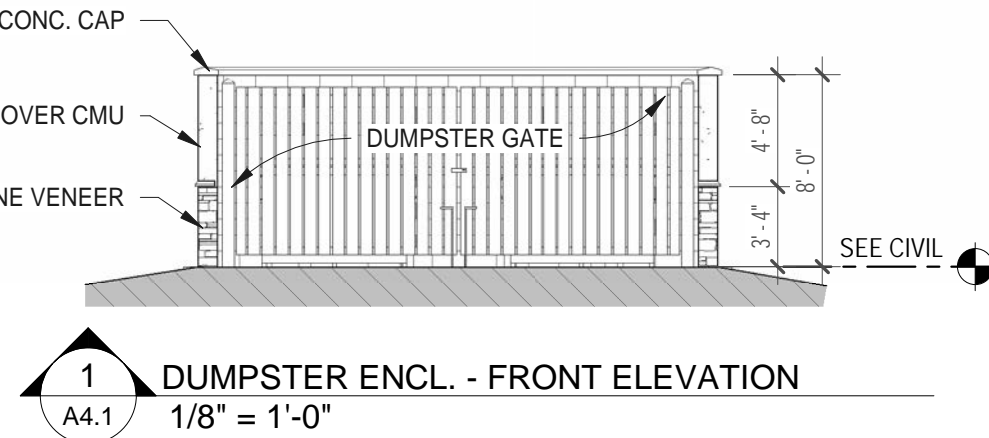
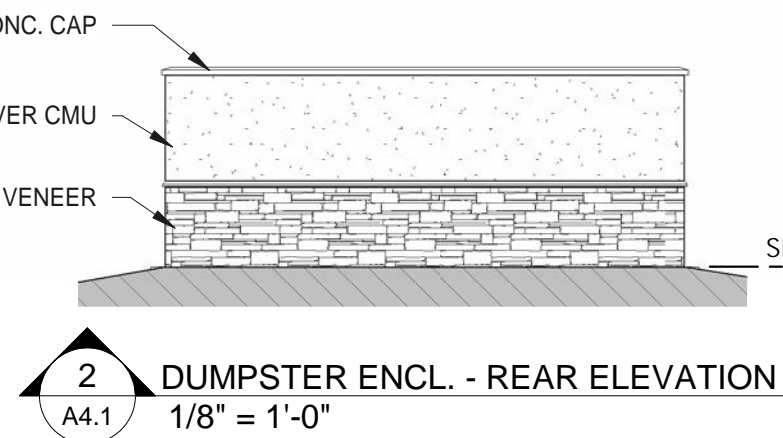
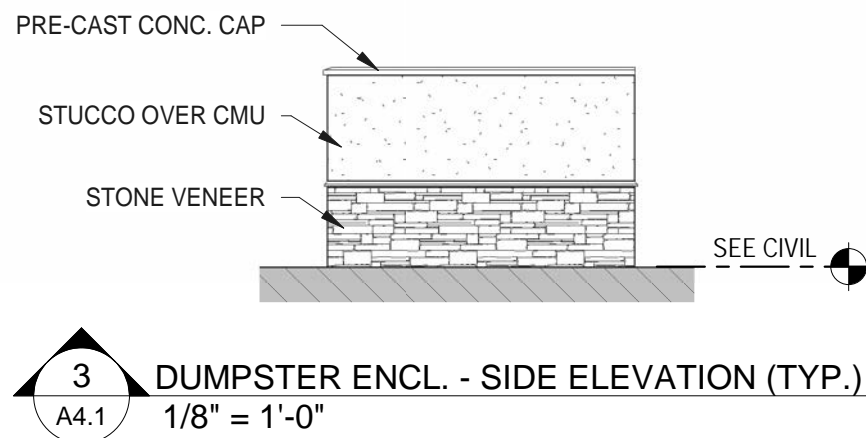
DESCRIPTION:  
FLOOR PLAN

JOB NO. 19-675A  
DRAWN BY: JMR  
DATE: 01/16/2020

A0.1

DESIGN PHASE: SITE SUBMITTAL



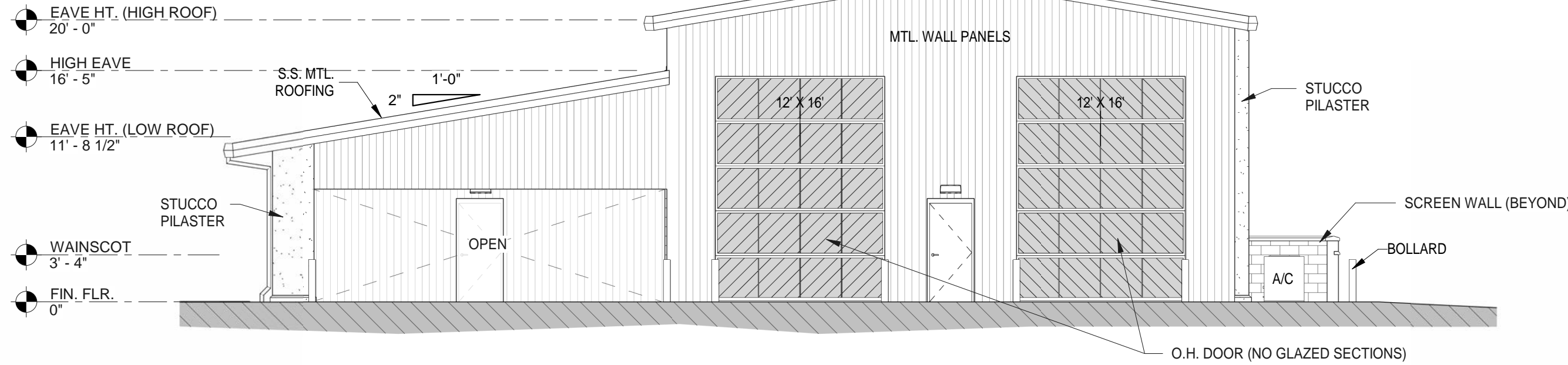


**FACADE CALCULATIONS:**

TOTAL NORTH FACADE AREA = 1,234 sf

MATERIAL	AREA	ACTUAL%	REQ'D%
GLAZING	389 sf	31%	20% MIN.
METAL PANELS	391 sf	32%	50% MAX.
STONE WAINSCOT	22 sf	2%	N/A
STUCCO PILASTER	253 sf	20%	N/A

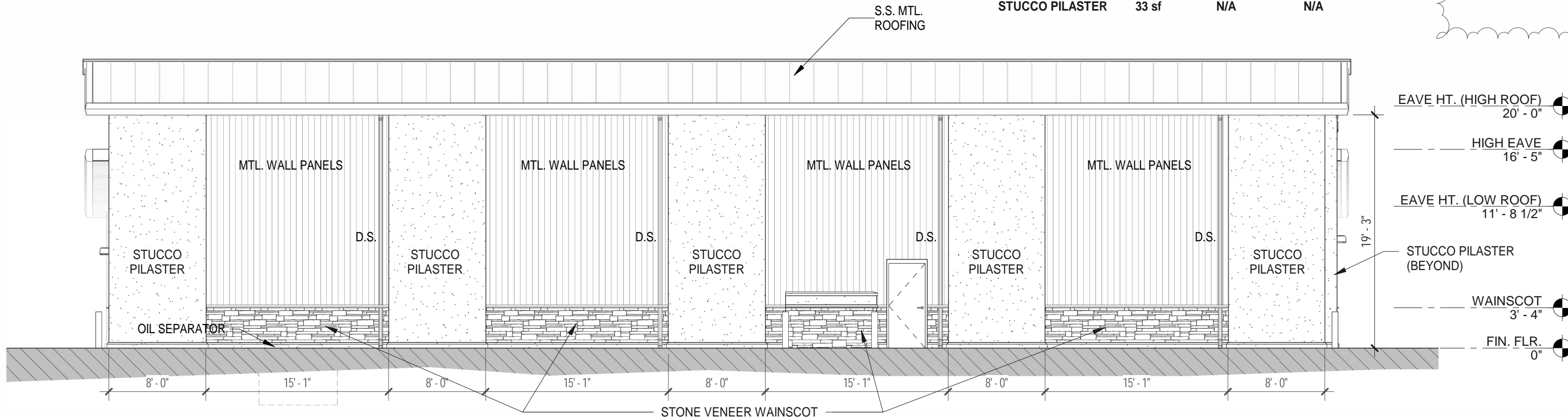
NOTE: Garage Door Glazed Sections:  
(2) 9.54' x 12' = 229 sf + Storefront: (2) 8' x 10' = 160 sf = **389 sf**



**FACADE CALCULATIONS:**

TOTAL SOUTH FACADE AREA = 1,017 sf

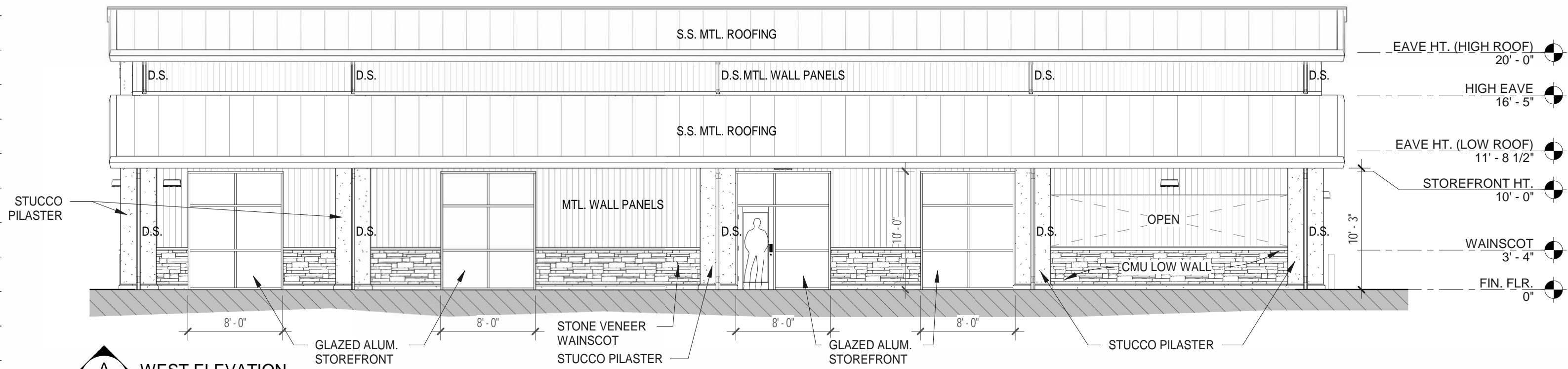
MATERIAL	AREA	ACTUAL%	REQ'D%
GLAZING	0 sf	N/A	N/A
METAL PANELS	575 sf	N/A	N/A
STONE WAINSCOT	0 sf	N/A	N/A
STUCCO PILASTER	33 sf	N/A	N/A



**FACADE CALCULATIONS:**

TOTAL EAST FACADE AREA = 1,932 sf

MATERIAL	AREA	ACTUAL%	REQ'D%
GLAZING	0 sf	N/A	N/A
METAL PANELS	935 sf	48%	50% MAX.
STONE WAINSCOT	215 sf	11%	N/A
STUCCO PILASTER	770 sf	40%	N/A



**FACADE CALCULATIONS:**

TOTAL WEST FACADE AREA = 952 sf

MATERIAL	AREA	ACTUAL	REQ'D
GLAZING	320 sf	34%	20% MIN.
METAL PANELS	284 sf	30%	50% MAX.
STONE WAINSCOT	193 sf	20%	N/A
STUCCO PILASTER	154 sf	16%	N/A

NOTE: (Storefront: (4) 8' x 10' = 320 sf)